



City of Danville

427 Patton Street, Suite 208

Danville VA, 24541

Phone: (434) 799-5260

Commission of Architectural Review

JULY 22, 2021

3:30 P.M.

FOURTH FLOOR CONFERENCE ROOM

AGENDA

- I. WELCOME AND CALL TO ORDER**
- II. ROLL CALL**
- III. NEW BUSINESS**
 - 1. Certificate of Appropriateness Request 2021-225, to install a side yard privacy fence at 936 Main Street.
 - 2. Certificate of Appropriateness Request 2021-244, to install roof-mounted solar panels at 918 Green Street.
 - 3. Certificate of Appropriateness Request 2021-245, to install roof-mounted solar panels at 154 Chestnut Street.
 - 4. Certificate of Appropriateness Request 2021-250, to install a paved driveway at 842 Main Street.
 - 5. Certificate of Appropriateness Request 2021-253, to remove a magnolia tree and surrounding retaining walls at 1002 Main Street.
- IV. APPROVAL OF MINUTES FROM JULY 7, 2021**
- V. ADJOURNMENT**

Commission of Architectural Review

STAFF REPORT

MEETING DATE: JULY 22, 2021

RE: CERTIFICATE OF APPROPRIATENESS REQUEST - 936 MAIN STREET

APPLICANT'S REQUEST

Request Certificate of Appropriateness, 2021-225, to install a side yard privacy fence at 936 Main Street.

STAFF EVALUATION

The CAR certificate of appropriateness application subject property is the north side of Main Street in between Chestnut Place and Chambers Street. The applicant would like a side yard privacy fence as indicated in the application.

The relevant sections of the Commission of Architectural Design Guidelines include the following:

Section 6.B. Site Guidelines for Existing Residential Buildings

Fences and Hedges.

Many front yards in the OWE do not have fences or hedges, perhaps because the front yards are often quite small. Where they are fences, there is a variety, from wooden pickets to elaborate wrought iron. Some pictures of these appear on the next page. Original wooden fences are likely not to have survived, but if a fence is desired there may be historic images of the property illustrating the original style. There are also many sources available illustrating historic picket fence styles, and a variety of styles might be appropriate.

Fencing should not exceed 30-48" in front yards, and 6' in side and rear yards. An additional 2' of open work maybe added to the top of a 6' wood fence, as shown in the photo to the left. If one side has supports showing, this must face the owner building the fence. Solid fencing is not permitted in front yards, but is permitted in side yards behind the facade of the main building and in rear yards. Solid fencing may be considered in the side yards in front of the facade of the main building where a non-residential use abuts a residential use. The same height guidelines apply to hedges. Chain link and welded wire fencing is not allowed in the front or visible side yards of any buildings in the OWE, except as a temporary measure with staff approval. PVC are also not permitted.



Figure 1 – Street view of proposed fence location.

ATTACHMENTS

- ✓ Application

DANVILLE
COMMISSION OF ARCHITECTURAL REVIEW

POST OFFICE BOX 3300

DANVILLE, VIRGINIA

(434) 799-5260

CERTIFICATE OF APPROPRIATENESS APPLICATION

Article 3.R.C.1.

No zoning, site plan, subdivision plat, or building permit shall be issued for the erection, reconstruction, exterior alteration, restoration, rehabilitation, razing, relocation or demolition of any building, structure, signs, fences, walls, light fixtures, accessory buildings, pavements, grading, site improvements, significant landscaping features or other appurtenant element in an HP-O District unless and until such building or site element has been approved by the issuance of a Certificate of Appropriateness by the Commission of Architectural Review for the City.

INFORMATION TO BE PROVIDED BY PLANNING DIVISION

Application Number: PLCAR-2021-0225

CAR Date: July 22, 2021

Date submitted: 6-28-21

Received by: LISA Jones

Tax Map Number: _____

Zoning Map Number: _____

Architectural Inventory Rating: _____

Zoning District: _____

Additional Zoning Information: _____

All buildings, structures or improvements located in the Old Westend Historic District and visible from a public right-of-way shall not be located, constructed, reconstructed, altered, or repaired unless a Certificate of Appropriateness has been issued by the Commission

of Architectural Review. The Commission meets once a month on the fourth Thursday of the month at 3:30 P.M. in the fourth floor City Council Conference Room located in the Municipal Building. All questions or applications should be submitted to the Planning Division, located on the second floor of the Municipal Building, 427 Patton Street, Room 207, Danville, VA 24541; (434)-799-5260. As of July 1, 2018 a \$26.00 fee will be required for each application submitted for review.

INFORMATION TO BE PROVIDED BY APPLICANT

Important-Please read before completing application

- a) All questions on this application must be fully answered
- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/credit of money used during substantial rehabilitation projects? yes

Would you like more information about these programs? yes

Which one(s)? not sure - need to discuss

Property Location: 936 Main Street Danville, VA 24541 Old West End

Name of Applicant: Amy Whitehouse

Applicant's Address: 936 Main Street

Applicant's Phone Number: 434-203-1961 Email Address: Text 434-203-1961

Work Proposed (please circle one): Alteration addition rehabilitation/new construction/sign

to side of property
8 foot wooden privacy fence to replace a line of Leland Cypress trees that this horrible neighbor at 944 Main Street Butchered & destroyed. Neighbor is Tim

Type of material(s) to be used: wood

Signature of Property Owner (if not applicant)

Signature of Applicant

Amy Whitehouse
This neighbor, Tim Norton, is the neighbor from hell & he cut down my privacy trees and I need some relief from his constant intrusions & aggressive invasion of privacy. Thank You.
A. Whitehouse

Tim Norton
of the Council
is the neighbor
from hell
who cut down
my privacy trees
and I need some
relief from his
constant
intrusions &
aggressive
invasion of
privacy.
Thank You.



City of Danville

427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

Commission of Architectural Review

STAFF REPORT

MEETING DATE: JULY 22, 2021

RE: CERTIFICATE OF APPROPRIATENESS REQUEST - 918 GREEN STREET

APPLICANT'S REQUEST

Certificate of Appropriateness Request 2021-244, to install roof-mounted solar panels at 918 Green Street.

STAFF EVALUATION

The CAR certificate of appropriateness application subject property is the north side of Green Street in between Chestnut Street and Sutherlin Avenue. The applicant would like to install rooftop solar panels as indicated in the application.

The relevant sections of the Commission of Architectural Design Guidelines include the following:

Section 3.B General Guidelines

Technology is an important part of modern life, but it should be shielded from view. All antennas, satellite dishes, solar panels and other such items attached to buildings should be screened from view as much as possible (typically by placing these items where they are not visible from the street).

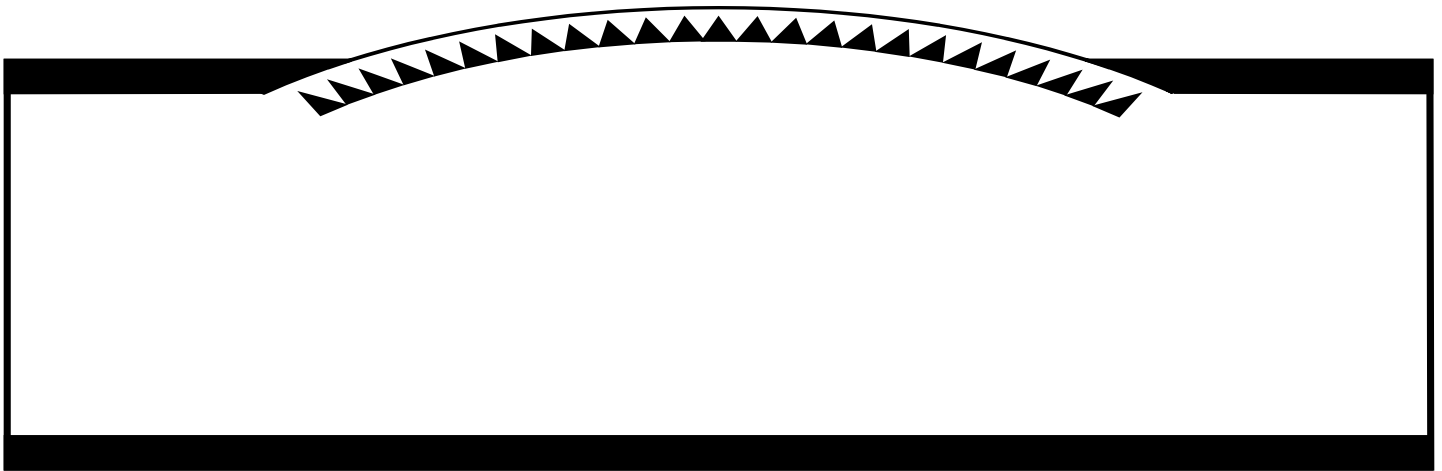


Figure 1 – Street view of 918 Green Street.

ATTACHMENTS

- ✓ Application

DANVILLE
COMMISSION OF ARCHITECTURAL REVIEW



CERTIFICATE OF APPROPRIATENESS APPLICATION

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INFORMATION TO BE PROVIDED BY PLANNING DIVISION

Application Number: _____

CAR Date: _____

Date submitted: _____

Received by: _____

Tax Map Number: _____

Zoning Map Number: _____

Architectural Inventory Rating: _____

Zoning District: _____

Additional Zoning Information: _____

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- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/ credit of money used during substantial rehabilitation projects? yes

Would you like more information about these programs? _____

Which one(s)? _____

Property Location: 918 Green St Danville VA 24541

Name of Applicant: Hope Hampton-Titan Solar Power

Applicant's Address: 525 W Baseline Rd Mesa, AZ 85210

Applicant's Phone Number: 480-237-2375 Email Address: hhampton@titansolarpower.com

Work Proposed (please circle one): Alteration/addition/rehabilitation/new construction/sign

Installation of 11.470kW PV system roof mount

Type of material(s) to be used: Titan Solar Panel Silfab 370 (31) and Inverter 1

Signature of Property Owner (if not applicant)

Signature of Applicant

Article 3RC6 Application Submission Requirements: In consideration of a complete application, the Planning Director and the Review Commission may require any or all of the following information and any other materials as may be deemed necessary for its review:

- A. Statement of proposed use and user.
- B. Statement of estimated construction time.
- C. Photographs and maps relating proposed use to the surrounding property and/or the corridor on which it is located.
- D. Site plan drawings, prepared to meet the City site development plan submission requirements for a Preliminary Site Plan or Preliminary Subdivision Plat, and other exhibits showing the location of the existing and proposed building and site improvements, including:
 - (1) Existing property boundaries, building placement and site configuration;
 - (2) Existing topography and proposed grading;
 - (3) Location of parking, pedestrian access, signage, exterior lighting, fencing and other site improvements;
 - (4) Relationship to adjacent land uses;
 - (5) Proposed site improvements, including location of parking, access, signage, exterior lighting, fencing, buildings and structures and other appurtenant elements;
 - (6) Proposed building color and materials;
 - (7) Relationship of building and site elements to existing and planned corridor development;
 - (8) Relationship of parking, pedestrian facilities, and vehicular accessways to existing and planned corridor development; and
 - (9) Other site plans and subdivision plats as may be required by Danville for development approval.
- E. Architectural drawings showing plan view and elevations of new planned construction or renovations, including drawings of original building.
- F. A landscaping and buffer plan.
- G. Designs for exterior signing, lighting and graphics, to include description of materials, colors, placement and means of physical support, lettering style and message to be placed on signs.
- H. Graphic exhibits depicting compliance with other design elements.

Additional Zoning Information: _____

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- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/ credit of money used during substantial rehabilitation projects? yes

Would you like more information about these programs? _____

Which one(s)? _____

Property Location: 918 Green St Danville VA 24541

Name of Applicant: Hope Hampton-Titan Solar Power

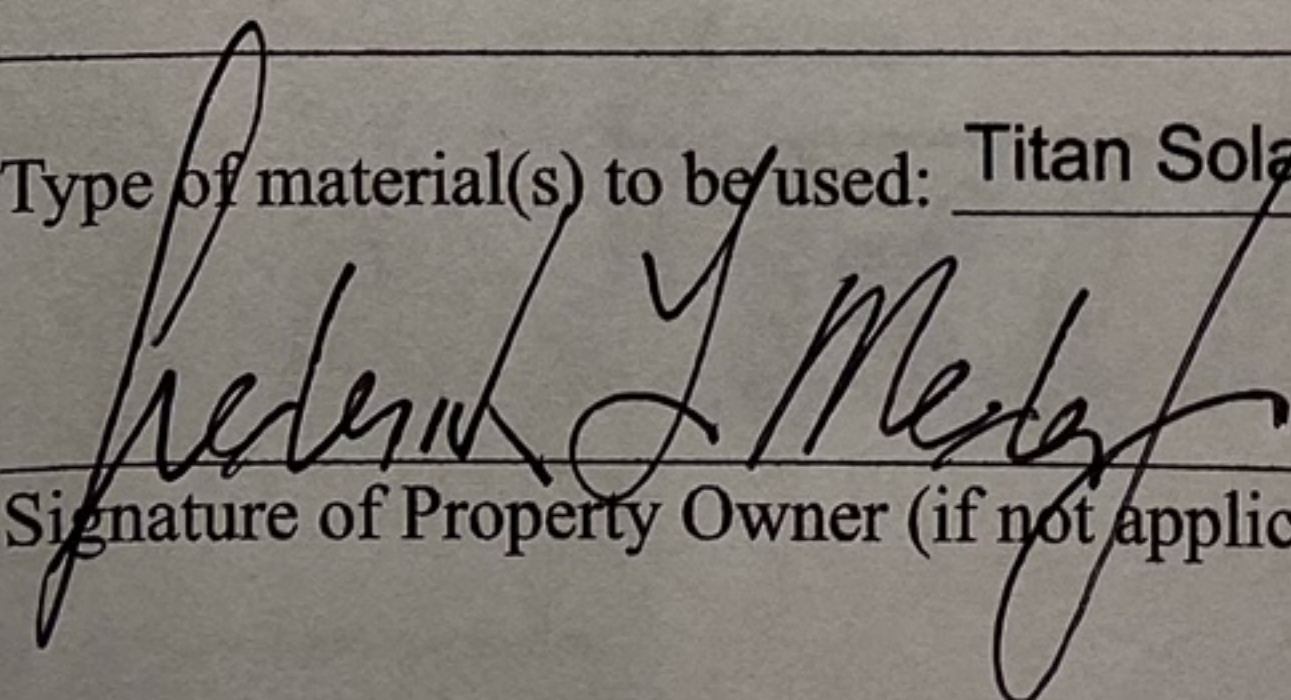
Applicant's Address: 525 W Baseline Rd Mesa, AZ 85210

Applicant's Phone Number: 480-237-2375 Email Address: hhampton@titansolarpower.com

Work Proposed (please circle one): Alteration/addition/rehabilitation/new construction/sign

Installation of 11.470kW PV system roof mount

Type of material(s) to be used: Titan Solar Panel Silfab 370 (31) and Inverter 1


Signature of Property Owner (if not applicant)

Hope Hampton
Signature of Applicant

SHEET CATALOG	
INDEX NO.	DESCRIPTION
T-1	COVER PAGE
M-1	MOUNTING DETAIL
M-2	STRUCTURAL DETAIL
E-1	SINGLE LINE DIAGRAM
E-2	THREE LINE DIAGRAM
E-3	STRING WIRING DIAGRAM
PL-1	WARNING PLACARDS
PL-2	SAFETY PLANS-1
PL-3	SAFETY PLANS-2
SS	SPEC SHEET(S)

SCOPE OF WORK

GENERAL SYSTEM INFORMATION:
SYSTEM SIZE:
11470W DC, 10000W AC
MODULES:
(31)TITAN SOLAR SIL-370NX
INVERTER:
(1)SOLAREEDGE TECHNOLOGIES
SE10000H-US(240V)
OPTIMIZER:
(31)SOLAREEDGE P370 POWER OPTIMIZER

APPLICABLE CODES

- ELECTRIC CODE:NEC 2017
- FIRE CODE:IFC 2018
- BUILDING CODE:IBC 2018
- RESIDENTIAL CODE:IRC 2018

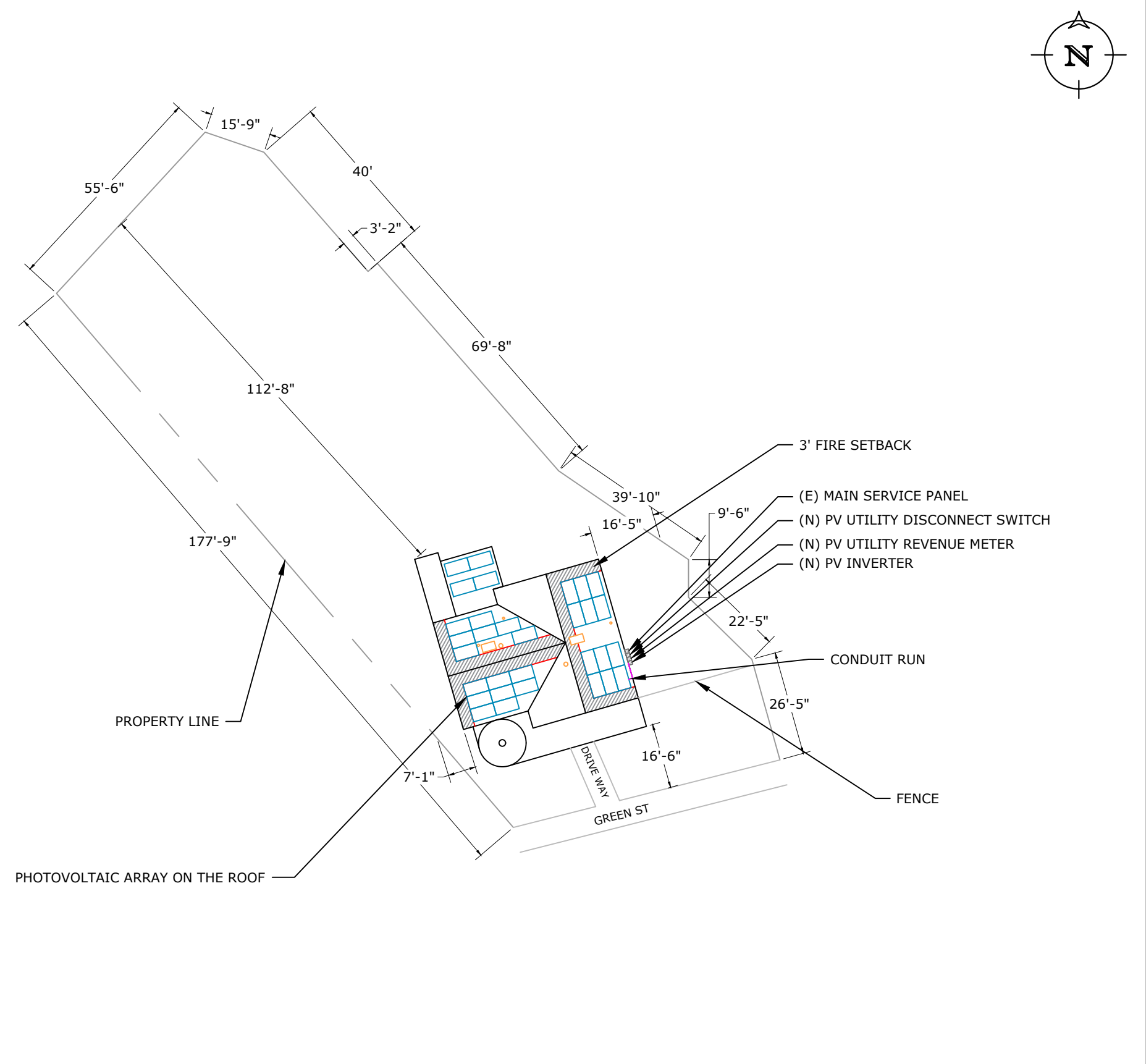
GENERAL NOTES

- 1.MODULES ARE LISTED UNDER UL 1703 AND CONFORM TO THE STANDARDS.
- 2.INVERTERS ARE LISTED UNDER UL 1741 AND CONFORM TO THE STANDARDS.
- 3.DRAWINGS ARE DIAGRAMMATIC, INDICATING GENERAL ARRANGEMENT OF THE PV SYSTEM AND THE ACTUAL SITE CONDITION MIGHT VARY.
- 4.WORKING CLEARANCES AROUND THE NEW PV ELECTRICAL EQUIPMENT WILL BE MAINTAINED IN ACCORDANCE WITH NEC 110.26.
- 5.ALL GROUND WIRING CONNECTED TO THE MAIN SERVICE GROUNDING IN MAIN SERVICE PANEL/ SERVICE EQUIPMENT.
- 6.ALL CONDUCTORS SHALL BE 600V, 75°C STANDARD COPPER UNLESS OTHERWISE NOTED.
- 7.WHEN REQUIRED, A LADDER SHALL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS.
- 8.THE SYSTEM WILL NOT BE INTERCONNECTED BY THE CONTRACTOR UNTIL APPROVAL FROM THE LOCAL JURISDICTION AND/OR THE UTILITY.
- 9.ROOF ACCESS POINT SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREES, WIRES OR SIGNS.
- 10.PV ARRAY COMBINER/JUNCTION BOX PROVIDES TRANSITION FROM ARRAY WIRING TO CONDUIT WIRING

FRED MEDER - 11.470kW DC, 10.000kW AC

SITE PLAN LAYOUT

NOTE: NO GATE



SCALE:1"=30'-0"

VICINITY MAP

ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:918 GREEN ST, DANVILLE, VA
24541

36.580219, -79.397709
APN: 20701

AHJ:VA- CITY OF DANVILLE

UTILITY:DANVILLE UTILITIES

PRN NUMBER:TPS-25626

Because quality matters

COVER PAGE

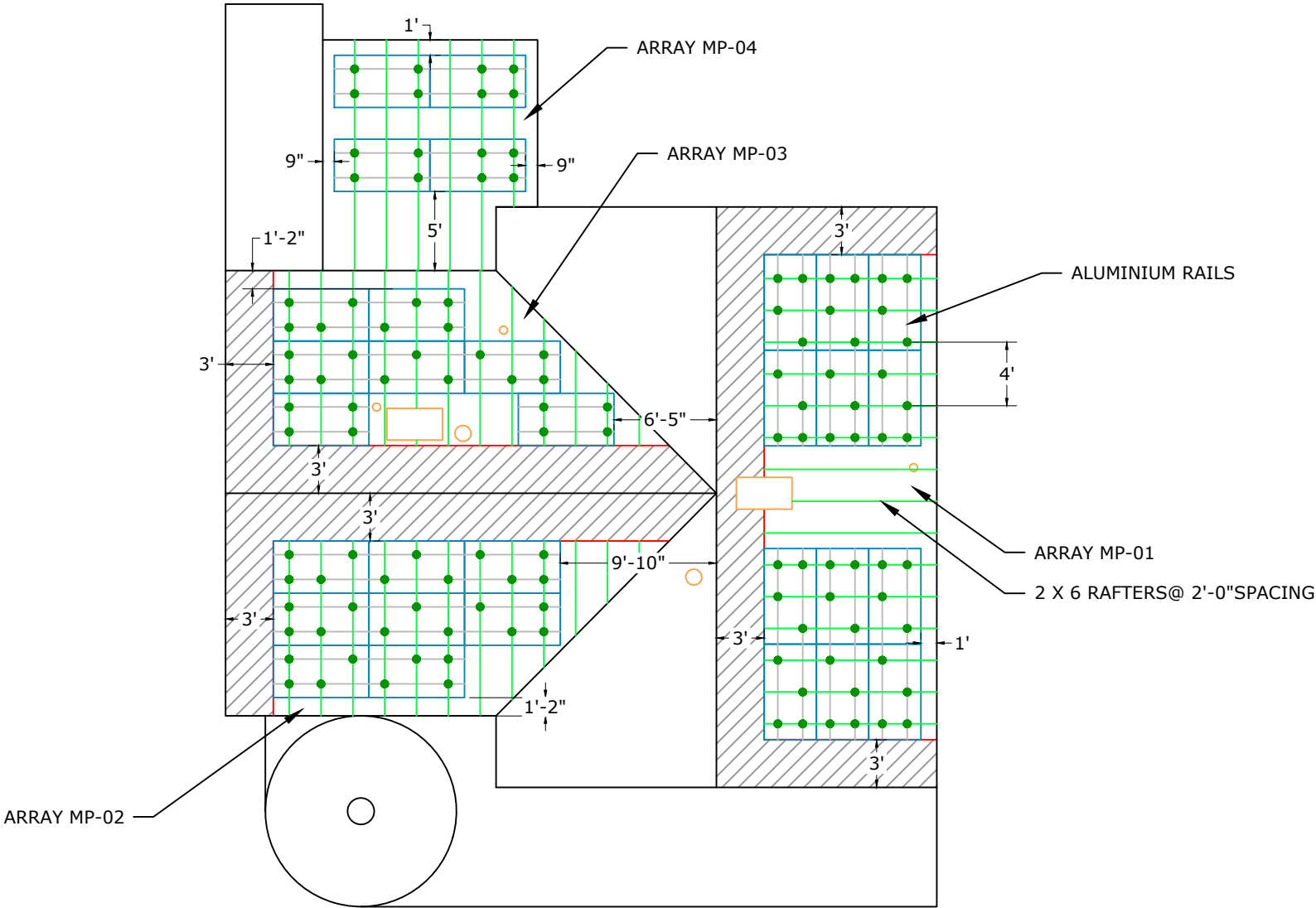
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DATE:5/9/2021	T-1

INSTALLATION NOTES

1.STRUCTURAL ROOF MEMBER LOCATIONS ARE ESTIMATED AND SHOULD BE LOCATED AND VERIFIED BY THE CONTRACTOR WHEN LAG BOLT PENETRATION OR MECHANICAL ATTACHMENT TO THE STRUCTURE IS REQUIRED.
2.ROOFTOP PENETRATIONS FOR SOLAR RACKING WILL BE COMPLETED AND SEALED WITH APPROVED SEALANT PER CODE BY A LICENSED CONTRACTOR.
3.LAGS MUST HAVE A MINIMUM 2.5" THREAD EMBEDMENT INTO THE STRUCTURAL MEMBER.
4.ALL PV RACKING ATTACHMENTS SHALL BE STAGGERED BY ROW BETWEEN THE ROOF FRAMING MEMBERS AS NECESSARY.
5.ROOF MOUNTED STANDARD RAIL REQUIRES ONE THERMAL EXPANSION GAP FOR EVERY RUN OF RAIL GREATER THAN 40'.
6.ALL CONDUCTORS AND CONDUITS ON THE ROOF SHALL BE MINIMUM 7/8" ABOVE THE ROOF SURFACE (INCLUDING CABLES UNDERNEATH MODULES AND RACKING).
7.THE PV INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL OR BUILDING ROOF VENTS.
ROOF ACCESS PATHWAYS AND SETBACKS:
1204.2.1 SOLAR PHOTOVOLTAIC SYSTEMS FOR GROUP R-3BUILDINGS.SOLAR PHOTOVOLTAIC SYSTEMS FOR GROUP R-3 BUILDINGS SHALL COMPLY WITH SECTIONS 1204.2.1.1 THROUGH 1204.2.1.3.
EXCEPTIONS:
1.THESE REQUIREMENTS SHALL NOT APPLY TO STRUCTURES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
2.THESE REQUIREMENTS SHALL NOT APPLY TO ROOFS WITH SLOPES OF 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL OR LESS.
1204.2.1.1 PATHWAYS TO RIDGE. NOT FEWER THAN TWO 36-INCH-WIDE (914 MM) PATHWAYS ON SEPARATE ROOF PLANES,FROM LOWEST ROOF EDGE TO RIDGE, SHALL BE PROVIDED ON ALL BUILDINGS. NOT FEWER THAN ONE PATHWAY SHALL BE PROVIDED ON THE STREET OR DRIVEWAY SIDE OF THE ROOF. FOR EACH ROOF PLANE WITH A PHOTOVOLTAIC ARRAY, NOT FEWER THAN ONE 36-INCH-WIDE (914 MM) PATHWAY FROM LOWEST ROOF EDGE TO RIDGE SHALL BE PROVIDED ON THE SAME ROOF PLANE AS THE PHOTOVOLTAIC ARRAY, ON AN ADJACENT ROOF PLANE OR STRADDLING THE SAME AND ADJACENT ROOF PLANES
1204.2.1.2 SETBACKS AT RIDGE.FOR PHOTOVOLTAIC ARRAYS OCCUPYING 33 PERCENT OR LESS OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 18 INCHES (457 MM)WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 36 INCHES (457 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.
1204.2.2 EMERGENCY ESCAPE AND RESCUE OPENINGS. PANELS AND MODULES INSTALLED ON GROUP R-3 BUILDINGS SHALL NOT BE PLACED ON THE PORTION OF A ROOF THAT IS BELOW AN EMERGENCY ESCAPE AND RESCUE OPENING. A PATHWAY OF NOT LESS THAN 36 INCHES (914 MM) WIDE SHALL BE PROVIDED TO THE EMERGENCY ESCAPE AND RESCUE OPENING
1204.2.1.3 ALTERNATIVE SETBACKS AT RIDGE. WHERE AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED WITHIN THE DWELLING IN ACCORDANCE WITH SECTION 903.3.1.3, SETBACKS AT THE RIDGE SHALL CONFORM TO ONE OF THE FOLLOWING:
1.FOR PHOTOVOLTAIC ARRAYS OCCUPYING 66 PERCENT OR LESS OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 18 INCHES (457 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.
2.FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 66 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 36 INCHES (914 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE

SITE INFORMATION - WIND SPEED: 110 MPH AND SNOW LOAD: 20 PSF												
SR. NO	AZIMUTH	PITCH	NO. OF MODULES	ARRAY AREA (SQ. FT.)	ROOF TYPE	ATTACHMENT	ROOF EXPOSURE	FRAME TYPE	FRAME SIZE	FRAME SPACING	MAX RAIL SPAN	OVER HANG
MP-01	74°	17°	12	236.8	COMPOSITION SHINGLE	EVEREST EVERFLASH ECOMP KIT	ATTIC	RAFTERS	2 X 6	2'-0"	4'-0"	1'-6"
MP-02	164°	17°	8	157.9	COMPOSITION SHINGLE	EVEREST EVERFLASH ECOMP KIT	ATTIC	RAFTERS	2 X 6	2'-0"	4'-0"	1'-6"
MP-03	344°	17°	7	138.1	COMPOSITION SHINGLE	EVEREST EVERFLASH ECOMP KIT	ATTIC	RAFTERS	2 X 6	2'-0"	4'-0"	1'-6"
MP-04	164°	18°	4	78.9	ROLLED COMPOSITION	EVEREST CROSSRAIL TILT UP KIT SYSTEM	EXPOSED	RAFTERS	2 X 6	2'-0"	4'-0"	1'-6"

NOTE: PENETRATIONS ARE STAGGERED



SCALE: 1"=10'-0"

AERIAL VIEW





ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:918 GREEN ST, DANVILLE, VA 24541

36.580219, -79.397709
APN: 20701

AHJ:VA- CITY OF DANVILLE

UTILITY:DANVILLE UTILITIES

PRN NUMBER:TPS-25626



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MOUNTING DETAIL

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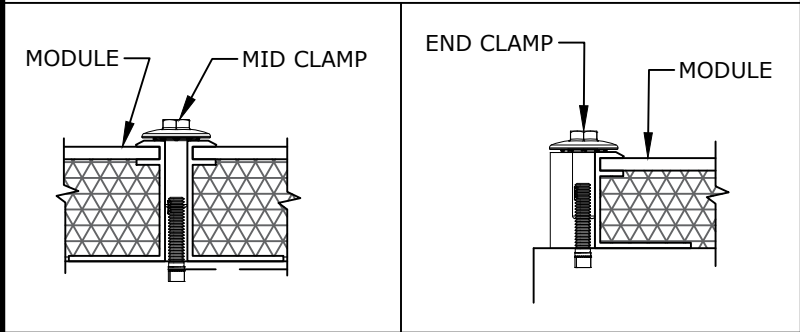
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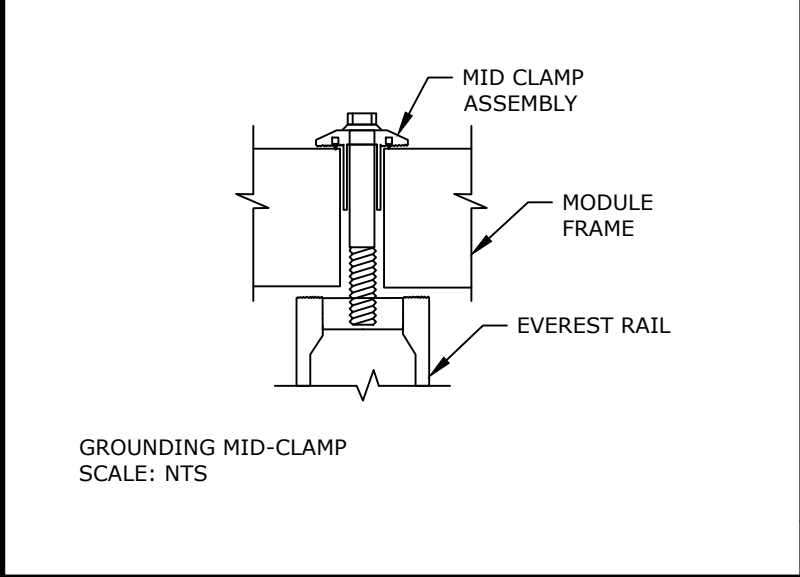
M-1

DEAD LOAD CALCULATIONS			
BOM	QUANTITY	LBS/UNIT	TOTAL WEIGHT (LBS)
MODULES	31	44.4	1376.40
MID-CLAMP	32	0.300	9.60
END-CLAMP	60	0.310	18.60
RAIL LENGTH	325	0.560	182.00
SPLICE BAR	6	0.650	3.90
EVEREST EVERFLASH ECOMP KIT	105	1.45	152.25
EVEREST CROSSRAIL TILT UP KIT SYSTEM	16	2.42	38.72
TOTAL WEIGHT OF THE SYSTEM (LBS)			1781.47
TOTAL ARRAY AREA ON THE ROOF (SQ. FT.)			611.80
WEIGHT PER SQ. FT.(LBS)			2.91
WEIGHT PER PENETRATION (LBS)			14.72

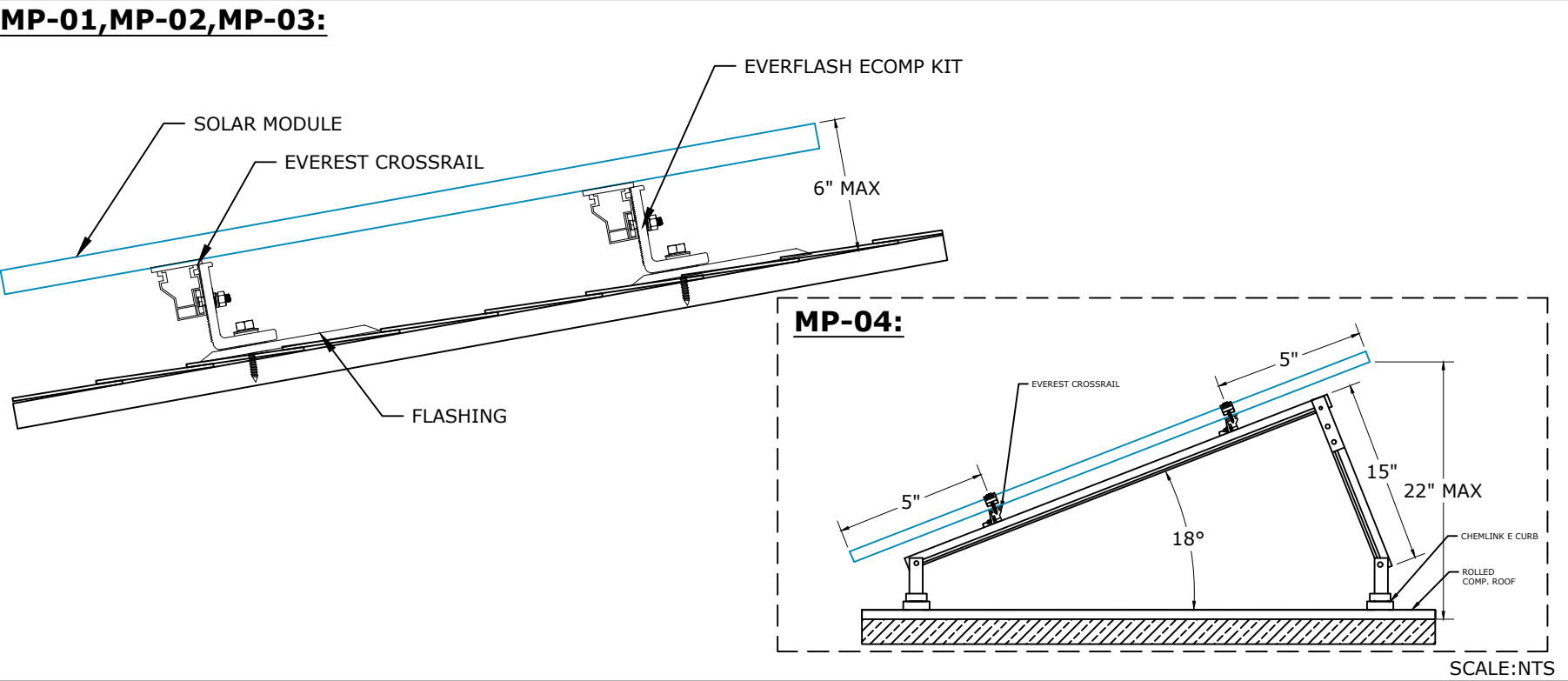
MID-CLAMP AND END-CLAMP ANATOMY



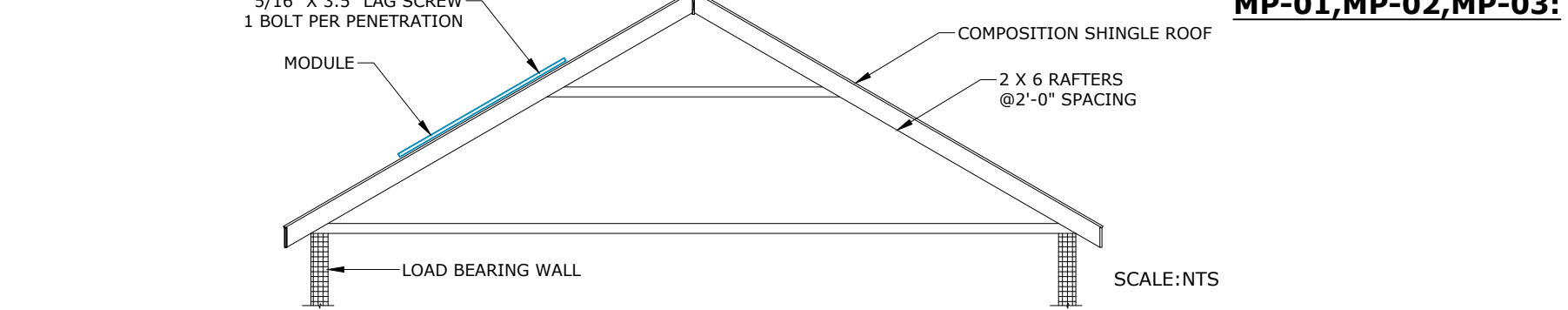
MODULE TO MODULE & MODULE TO RAIL



ATTACHMENT DETAIL-EVEREST EVERFLASH ECOMP KIT & EVEREST CROSSRAIL TILT UP KIT SYSTEM

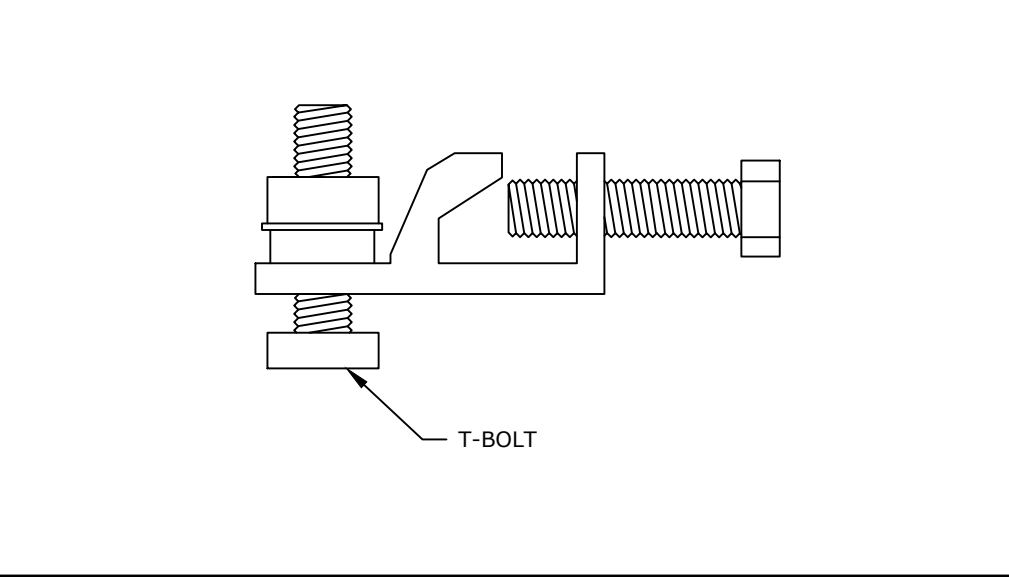


ROOF FRAMING DETAILS

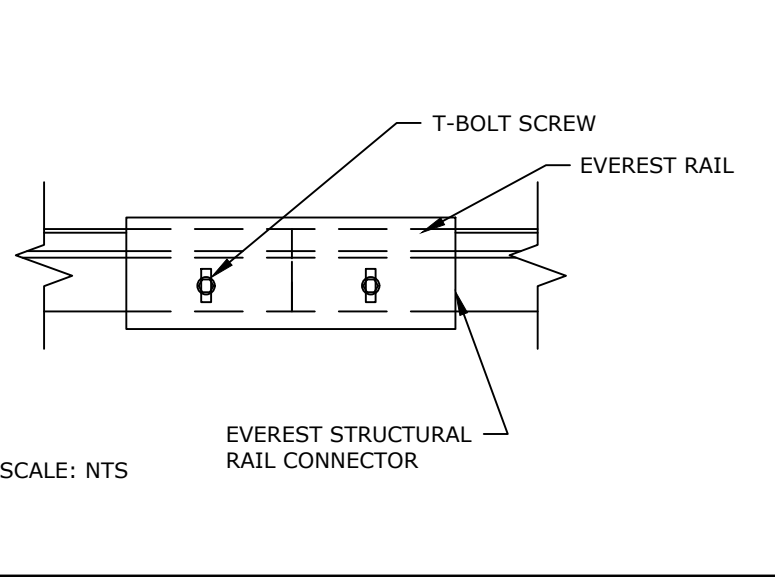


GROUNDING DETAILS

GROUNDING LUG



RAIL TO RAIL



MODULES DATA

TITAN SOLAR SIL-370NX	
MODULE DIMS	72.13"x39.4"x1.5"
LAG SCREWS	5/16"x3.5":2.5"MIN EMBEDMENT

UPLIFT CALCULATIONS

UPLIFT	18354.1	LBS
PULL OUT STRENGTH	64575	LBS
POINT LOADING	13	LBS

ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER
ADDRESS:918 GREEN ST, DANVILLE, VA 24541
36.580219, -79.397709 APN: 20701

AHJ:VA- CITY OF DANVILLE
UTILITY:DANVILLE UTILITIES
PRN NUMBER:TPS-25626

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STRUCTURAL DETAIL

DESIGNER /CHECKED BY: KSN/SN	PAPER SIZE:17"X11"
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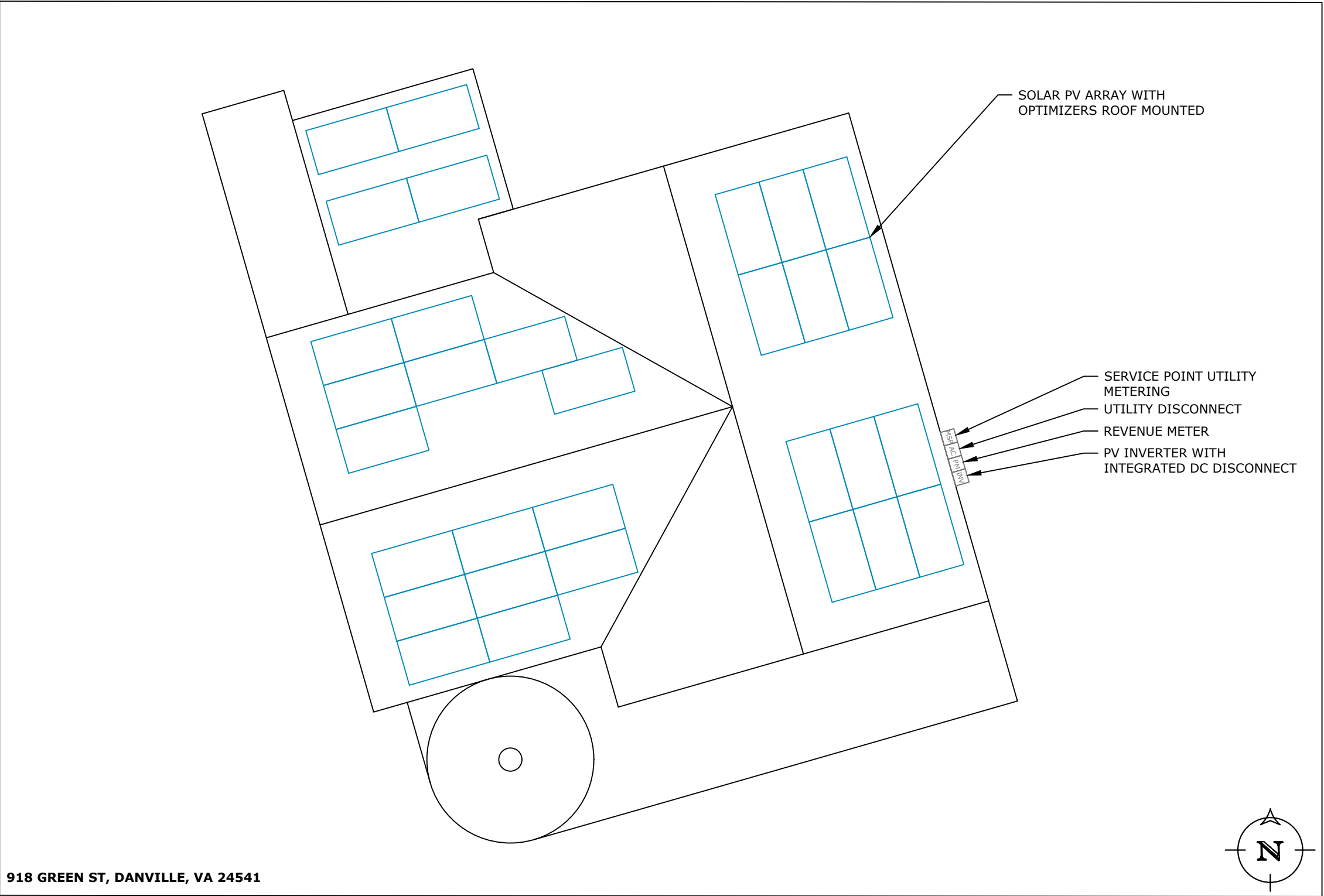
SAFETY PLANS

SAFETY PLANS

- NOTES:
- 1. INSTALLERS SHALL DRAW IN DESIGNATED SAFETY AREA AROUND HOME.
 - 2. INSTALLERS SHALL UPDATE NAME ADDRESS AND PHONE NUMBER OF NEAREST.
 - 3. URGENT CARE FACILITY RELATIVE TO THE SITE BEFORE STARTING WORK.

LOCATION OF NEAREST URGENT CARE FACILITY

NAME:
ADDRESS:
PHONE NUMBER:



ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:918 GREEN ST, DANVILLE, VA
24541

36.580219, -79.397709
APN: 20701

AHJ:VA- CITY OF DANVILLE

UTILITY:DANVILLE UTILITIES

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SAFETY PLANS-1

DESIGNER /CHECKED BY: KSN/SN	PAPER SIZE:17"X11"
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SPEC SHEET



TITAN

SOLAR PANEL

HIGH EFFICIENCY PREMIUM MONO-PERC PV MODULE



CHUBB
* Chubb provides error and omission insurance to Silfab Solar Inc.

SIL-370 NX
POWERED BY
SILFAB SOLAR



INDUSTRY LEADING WARRANTY

The Titan Solar Panel is manufactured by Silfab Solar and includes an industry leading 25-year product workmanship and 30-year performance warranty.

MAXIMUM ENERGY OUTPUT

Leveraging over 35+ years of worldwide experience in the solar industry, Silfab is dedicated to superior manufacturing processes and innovations such as Bifacial and Back Contact technologies, to ensure our partners, such as Titan Solar have the latest in solar innovation.

NORTH AMERICAN QUALITY

Silfab is the leading automated solar module manufacturer in North America. Utilizing premium quality materials and strict quality control management to deliver the highest efficiency, premium quality PV modules.



BAA / ARRA COMPLIANT

These panels are designed and manufactured to meet Buy American Act Compliance. The US State Department, US Military and FAA have all utilized Silfab panels in their solar installations.

LIGHT AND DURABLE

Engineered to accommodate high wind load conditions for test loads validated up to 4000Pa uplift. The light-weight frame is exclusively designed for wide-ranging racking compatibility and durability.

QUALITY MATTERS

Total automation ensures strict quality controls during the entire manufacturing process at ISO certified facilities.

DOMESTIC SUPPORT / SERVICES

Our 500+ North American team is ready to help Titan Solar win the hearts and minds of customers, providing customer service and product delivery that is direct, efficient and local.

AESTHETICALLY PLEASING

All black sleek design, ideal for high-profile residential or commercial applications.

PID RESISTANT

PID Resistant due to advanced cell technology and material selection. In accordance to IEC 62804-1.

Electrical Specifications		SIL-370 NX mono PERC	
Test Conditions		STC	NOCT
Module Power (Pmax)	Wp	370	266
Maximum power voltage (Vpmax)	V	37.2	33.7
Maximum power current (Ipmax)	A	10.0	7.9
Open circuit voltage (Voc)	V	44.8	40.7
Short circuit current (Isc)	A	10.6	8.3
Module efficiency	%	20.2	18.2
Maximum system voltage (VDC)	V	1000	
Series fuse rating	A	20	
Power Tolerance	Wp	+/-3%	

Measurement conditions: STC 1000 W/m2 • AM 1.5 • Temperature 25 °C • NOCT 800 W/m² • AM 1.5 • Measurement uncertainty ≤ 3%
• Sun simulator calibration reference modules from Fraunhofer Institute. Electrical characteristics may vary by ±5% and power by +/-3%.

Temperature Ratings		SIL-370 NX mono PERC	
Temperature Coefficient Isc		0.064 %/°C	
Temperature Coefficient Voc		-0.28 %/°C	
Temperature Coefficient Pmax		-0.36 %/°C	
NOCT (± 2°C)		46 °C	
Operating temperature		-40/+85 °C	

Mechanical Properties and Components		SIL-370 NX mono PERC	
Module weight		44±0.4 lbs	
Dimensions (H x L x D)		72.13 in x 39.4 in x 1.5 in	
Maximum surface load (wind/snow)*		83.5/112.8 lb/ft²	
Hail impact resistance		ø 1 in at 51.6 mph	
Cells		66 - Si mono-PERC - 5 busbar, 62.25 x 62.25 in	
Glass		0.126 in high transmittance, tempered, DSM anti-reflective coating	
Cables and connectors (refer to installation manual)		47.2 in, ø 0.22 in, MC4 from Staubli	
Backsheet		High durability, superior hydrolysis and UV resistance, multi-layer dielectric film, fluorine-free PV backsheet	
Frame		Anodized Aluminum (Black)	
Bypass diodes		3 diodes-30SQ045T (45V max DC blocking voltage, 30A max forward rectified current)	
Junction Box		UL 3730 Certified, IEC 62790 Certified, IP67 rated	

Warranties		SIL-370 NX mono PERC	
Module product workmanship warranty		25 years**	
Linear power performance guarantee		30 years	
		≥ 97.1% end 1 st year	≥ 91.6% end 12 th year ≥ 85.1% end 25 th year ≥ 82.6% end 30 th year

Certifications		SIL-370 NX mono PERC	
Product		ULC ORD C1703, UL1703, CEC listed***, UL 61215-1/-1-1/-2, UL 61730-1/-2, IEC 61215-1/-1-1/-2***, IEC 61730-1/-2***, CSA C22.2#61730-1/-2, IEC 62716 Ammonia Corrosion; IEC61701:2011 Salt Mist Corrosion Certified, UL Fire Rating: Type 2 ISO9001:2015	

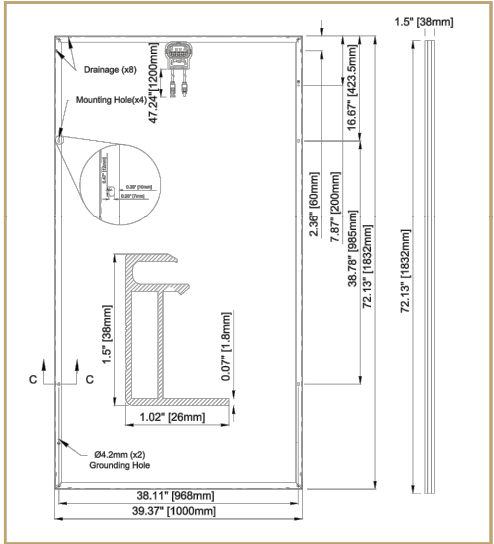
Factory	
All states except California Modules Per Pallet: 26 Pallets Per Truck: 34 Modules Per Truck: 884	California Modules Per Pallet: 26 Pallets Per Truck: 32 Modules Per Truck: 832
*⚠ Warning. Read the Safety and Installation Manual for mounting specifications and before handling, installing and operating modules. **12 year extendable to 25 years subject to registration and conditions outlined under "Warranty" at www.silfabsolar.com . ***Certification and CEC listing in progress. PAN files generated from 3rd party performance data are available for download at: www.silfabsolar.com/downloads .	



Titan Solar Power
525 W Baseline Rd
Mesa, AZ 85210
Tel 855 SAY-SOLAR
Titansolarpower.com
info@titansolarpower.com

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240 Courtneypark Drive East
Mississauga ON L5T 2Y3 Canada
Tel +1 905-255-2501 | Fax +1 905-696-0267
info@silfabsolar.com | www.silfabsolar.com

Silfab Solar Inc.
800 Cornwall Ave
Bellingham WA 98225 USA
Tel +1 360-569-4733



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ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:918 GREEN ST, DANVILLE, VA
24541

36.580219, -79.397709
APN: 20701

AHJ:VA- CITY OF DANVILLE

UTILITY:DANVILLE UTILITIES

PRN NUMBER:TPS-25626



MODULE SPEC SHEET

DESIGNER /CHECKED
BY: KSN/SN

PAPER SIZE:17"X11"

SCALE:AS NOTED

REV:A

DATE:5/9/2021

SS-1

Single Phase Inverter
with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

solaredge.com



INVERTERS

Single Phase Inverter
with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 [Ⓐ]							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, Adjustable - 0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380				400			Vdc
Maximum Input Current @240V ⁽²⁾	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V ⁽²⁾	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k Ω Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

[Ⓐ] For other regional settings please contact SolarEdge support.
[Ⓐ] A higher current source may be used; the inverter will limit its input current to the values stated



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INVERTER SPEC SHEET

DESIGNER /CHECKED BY: KSN/SN PAPER SIZE:17"X11"

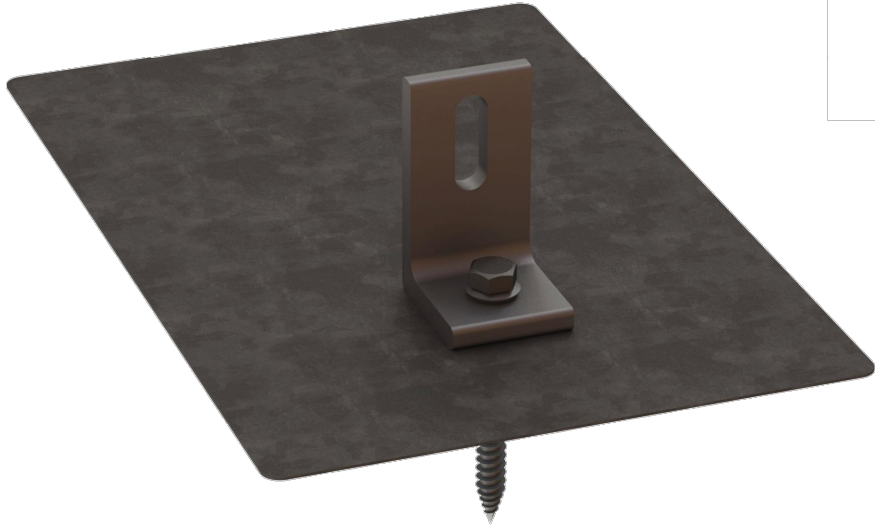
SCALE:AS NOTED REV:A

DATE:5/9/2021 SS-2

SPEC SHEET



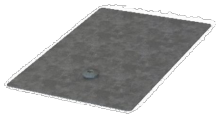
EverFlash eComp Kit



Part Number	Description
4000366	EverFlash eComp Kit, Black
4000679	EverFlash eComp Kit, Mill LF, Dark Flash
4000367	EverFlash eComp Kit, Silver

- ▶ High quality, patented design to ensure watertight seal
- ▶ Included as part of a UL 2703 Listed System
- ▶ Easy installation, can be retrofitted without removing shingles
- ▶ Meets or exceeds all known building codes
- ▶ Aluminum base with stainless steel hardware for high corrosion resistance
- ▶ Compatible with all our CrossRails

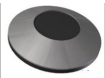
Components



EverFlash eComp, 8x12"
▶ Material: aluminum
▶ Finish: silver, black



L-Foot and Hardware
▶ Material: aluminum and stainless steel
▶ Finish: mill, dark



5/16" Sealing Washer
▶ Material: stainless steel, EPDM insert



5/16" Lag Bolt
▶ Material: stainless steel

www.everest-solarsystems.com

EverFlash eComp Kit Product Sheet US04 | 1019 · Subject to change · Product illustrations are exemplary and may differ from the original.



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MOUNT SPEC SHEET

DESIGNER /CHECKED
BY: KSN/SN

PAPER SIZE:17"X11"

SCALE:AS NOTED

REV:A

DATE:5/9/2021

SS-5

SPEC SHEET



CrossRail Tilt Up System



- ▶ High quality, German-engineered system optimized for residential installation
- ▶ MK3 mounting hardware simplifies module installation - fast easy and secure
- ▶ L-Foot provides adjustability and compatibility with common roof types
- ▶ 100% code-compliant, structural validation for all solar states
- ▶ 4 rail sizes available to suit all structural conditions
- ▶ Fast installation with minimal component count result in low total installed cost
- ▶ Flexible to several tilt angles and preengineered for 7, 10, 15 degree tilts
- ▶ Same rail used as tilt legs - minimize rail waste by using scrap as tilt legs



www.everest-solarsystems.com

Components



CrossRail 44-X

Part Number	Description
4000019	CrossRail 44-X 166", Mill
4000020	CrossRail 44-X 166", Dark
4000021	CrossRail 44-X 180", Mill
4000022	CrossRail 44-X 180", Dark



CrossRail 80

Part Number	Description
4000508	CrossRail 80 168" Rail Mill



Yeti Clamp

Part Number	Description
4000050-H	Yeti Hidden EC for CR, Mill, 13 mm Hex



L-Foot Slotted Set

Part Number	Description
4000630	L-Foot Slotted Set, Mill
4000631	L-Foot Slotted Set, Dark



EverFlash eComp

Part Number	Description
4000015	EverFlash eComp + SRS Slide Kit, Mill
4000366	EverFlash eComp Kit, Black
4000679	EverFlash eComp Kit, Mill LF, Dark Flash
4000367	EverFlash eComp Kit, Silver
4000027	EverFlash eComp+SR Slide Kit, Dark
4000029	EverFlash eComp+SR Slide, LF Mill, Dark



CrossRail 48-X

Part Number	Description
4000662	CrossRail 48-X 166", Mill
4000663	CrossRail 48-X 166", Dark
4000675	CrossRail 48-X 180", Mill
4000665	CrossRail 48-X 180", Dark



CrossRail Mid Clamp Standoff

Part Number	Description
4000601-H	CR MC Silver, 30-50mm, 13 mm Hex
4000602-H	CR MC Dark, 30-50mm, 13 mm Hex



Aluminum End Clamp

Part Number	Description
4005344	CrossRail EC Silver, AL 32-33mm
4005169	CrossRail EC Silver, AL 34-36mm
4005290	CrossRail EC Silver, AL 37-38mm
4005170	CrossRail EC Silver, AL 39-41mm
4005291	CrossRail EC Silver, AL 42-44mm
4005171	CrossRail EC Silver, AL 45-47mm
4005292	CrossRail EC Silver, AL 48mm
4005172	CrossRail EC Silver, AL 49-50mm



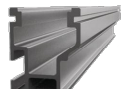
Everest Ground Lug

Part Number	Description
4000006-H	Everest Ground Lug Set, 13 mm Hex



Tilt Connector Set

Part Number	Description
4000505	CrossRail Tilt Connector Set



CrossRail 48-XL

Part Number	Description
4000695	CrossRail 48-XL 166", Mill
4000705	CrossRail 48-XL 166", Dark



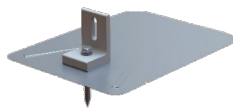
CrossRail End Clamp

Part Number	Description
4000429	CR EC Silver, 30-50mm, Shared RL 30-45mm
4000430	CR EC Dark, 30-50mm, Shared RL 30-45mm
4000003	Shared Rail EC Silver, SS 46-50mm
4000004	Shared Rail EC Dark, SS 46-50mm



CrossRail Structural Rail Connector

Part Number	Description
4000051	Rail Connector CR 44-X, Set, Mill
4000052	Rail Connector CR 44-X, Set, Dark
4000385	RailConn CR 48-X, 48-XL Struct Set, Mill
4000386	RailConn CR 48-X, 48-XL Struct Set, Dark



EverFlash XP Comp

Part Number	Description
4000054	EverFlash XP Slider Kit, Mill
4000055	EverFlash XP Slider Kit, Dark
4000057	EverFlash XP Kit, Mill LF, Dark Flash
4000060	EverFlash XP Comp Kit, Dark
4000061	EverFlash XP Comp Kit, Mill



Climber Set

Part Number	Description
4006042-H	CrossRail 48-X, 48-XL, Climber Set w/Hole
4006043	CrossRail 44-X, Climber Set w/Hole



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MOUNT SPEC SHEET

DESIGNER /CHECKED
BY: KSN/SN

PAPER SIZE:17"X11"

SCALE:AS NOTED

REV:A

DATE:5/9/2021

SS-6

CrossRail Tilt Up Product Sheet US10 | 0620 · Subject to change · Product illustrations are exemplary and may differ from the original.

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E-CURB™ SYSTEM
SOLAR PENETRATION SEALS

Technical Data Sheet

Polyether Technology

CSI Section No. 07 12 13

CHEM LINK
Construction & Maintenance

Telephone: 800-826-1681
Fax: 269-679-4448
353 E. Lyons Street
Schoolcraft, MI 49087
www.chemlink.com

Product Description

E-Curb penetration seals replace old-style metal pitch pans with versatile, precast components and pourable sealants. CHEM LINK's **E-Curb** system can usually be installed in under 15 minutes and never requires flashing or mechanical attachment.

E-Curbs are designed for use on granulated modified bitumen, asphalt and coal tar B.U.R. (built up roofing). **E-Curbs** are specified for PVC, EPDM, PIB, and TPO single ply roofing membranes. TPO Primer is required for use with TPO single-ply roof membrane.

When installed properly, this system forms a durable, waterproof rubber seal around penetrations. An extended manufacture warranty against leaks is activated with submittal of a completed warranty card.

Special Characteristics

- Rapid installation - "Slip-fit" light weight curb design reduces labor significantly.
- Excellent adhesion to most roofing materials.
- No flashing or mechanical attachment required.
- Service Temperature -40°F to 200°F (-40°C to 93°C)
- **1-Part**® accommodates movement and is suggested for use on all granulated membranes and details with excessive movement.
- For sloped roof applications, substitute **DuraLink 50™** non-slump adhesive/sealant for **1-Part** and **M-1**®

Restrictions

- Please contact customer service for application guidelines with temperatures below 32°F (0°C).
- Do not apply if rain is anticipated within 4 hours.
- Do not use on Hypalon or smooth APP modified bitumen membrane. For smooth APP, torch down a target of granulated APP before installation.
- TPO Primer must be used for TPO applications.
- Do not prime bonding surfaces with asphalt primer.
- Do not use asphalt cement as a "night sealant". Use **M-1** for this purpose.
- **E-Curb** kits are designed to contain enough **1-Part** to fill each curb with displacement in consideration. Refer to our penetration calculator under contractor resources at chemlink.com to verify volumes.



E-Curb System Components

- **E-Curb** exterior rings, straights, and corners.
- **M-1** Structural Adhesive/Sealant used for bonding the **E-Curb** components, sealing and priming the penetration.
- **1-Part** "moisture cure" pourable sealer, used to form a durable, water-tight seal around the roof penetration.

E-Curb precast form components are composed of light weight nylon resin. The **E-Curb** is 2-inches high and is available in a variety of shapes and sizes. Standard sizes include bisected circular pieces with inside diameters of 3, 4, 5, 6 or 9 inches; corner pieces with a 2-inch radius; straight pieces in 3-inch or 8-inch lengths; and a 4.5" x 3.4" rectangle. The outer surface is impervious to ice, corrosion, UV (ultraviolet) light and ponding water.

M-1 Structural Adhesive/Sealant is a durable, self-fixturing moisture cure mastic. Cartridges of **M-1** are supplied in each **E-Curb** Kit. Components are also sold separately.

1-Part is a highly flexible, self-leveling moisture cure pourable sealer that eliminates mixing. It is also 100% solid rubber, has a very low VOC content, will not melt or shrink, and is resistant to deterioration. It is supplied in 10.1-oz and 28-oz cartridges or 1/2 gallon pouches. Unused sealant can be capped and reused.



Step 1

Remove all previously applied caulk, mastic, cement, asphalt, and other contaminants from penetrations with a wire brush. Clean all smooth substrates with isopropyl or denatured alcohol. Brush away all gravel or loose granules. Seal the base of each penetration with **M-1**. Coat penetrations with **M-1** to 3" above the roof line.



Step 2

Hold a section of **E-Curb**, flat side up, and apply a 1/4" bead of **M-1** to the entire bottom perimeter. Apply 1 additional 1/4" bead of **M-1** down the center of the section. Do not tool the beads flat. Place the **E-Curb** section on the roof surface to form a half circle around the penetration(s). Press down firmly until **M-1** extrudes from the outside edges.



Step 3

Apply **M-1** to the second section of **E-Curb** as described above. Place the second section of curb on the roof surface to form a circle with the first section. Press firmly in place until excess adhesive extrudes from the outside edges. Apply a bead of **M-1** around the outside base of the installed **E-Curb**, and tool to form a smooth fillet. For non **E-Curb** penetrations seals, add **M-1** to scarf joint surfaces and tool smooth.



Step 4

Cut tip off **1-Part** cartridge at widest point on plastic nozzle and pierce the foil seal. Insert into caulking gun and pump **E-Curb** full. When using a **1-Part** pouch, remove cap, pour, squeeze out excess air, and reseal. **Note:** To provide an adequate rubber seal, maintain a 1" distance between penetrations and inside edge of the **E-Curb**.



All properties described in this document are derived from testing conducted in laboratory conditions. Properties and performance will vary depending on environmental conditions and application technique. Test and evaluate to determine appropriate usage. Visit www.chemlink.com for the Safety Data Sheet, Technical Data Guides and full warranty for this product.

LIMITED WARRANTY: **CHEM LINK** warrants this product's performance, provided it is properly stored and applied within 1 year. If this **CHEM LINK** material is proved to be defective, return remaining product and purchase receipt for refund or replacement of product exclusive of labor or cost of labor. This is the sole and exclusive remedy for defects or failure of this product. User must read and follow the direction of the current Technical Data Guide and SDS prior to product use. User determines suitability of product for intended use and assumes all risks. Manufacturer shall not be liable for damages (including consequential or incidental damages) in excess of the purchase price, except where such exclusion or limitation is prohibited by state law. THIS WARRANTY IS IN LIEU OF ALL OTHER WARRANTIES, WRITTEN OR ORAL, STATUTORY, EXPRESS OR IMPLIED INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE; except for the above express warranty given by manufacturer, the product is sold with all faults. **CHEM LINK** SHALL NOT BE RESPONSIBLE FOR THE USE OF THIS PRODUCT IN A MANNER TO INFRINGE ON ANY PATENT OR ANY OTHER INTELLECTUAL PROPERTY RIGHTS HELD BY OTHERS. This warranty gives you specific legal rights, and you may also have other rights in the U.S. which vary from state to state. For warranty claim information, call 800-826-1681.



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MESA AZ,85210

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MOUNT SPEC SHEET

DESIGNER /CHECKED
BY: KSN/SN

PAPER SIZE:17"X11"

SCALE:AS NOTED

REV:A

DATE:5/9/2021

SS-8



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

Commission of Architectural Review

STAFF REPORT

MEETING DATE: JULY 22, 2021

RE: CERTIFICATE OF APPROPRIATENESS REQUEST - 154 CHESTNUT ST

APPLICANT'S REQUEST

Certificate of Appropriateness Request 2021-245, to install roof-mounted solar panels at 154 Chestnut Street.

STAFF EVALUATION

The CAR certificate of appropriateness application subject property is the west side of Chestnut Street about 400' north of the Green Street intersection. The applicant would like to install rooftop solar panels as indicated in the application.

The relevant sections of the Commission of Architectural Design Guidelines include the following:

Section 3.B General Guidelines

Technology is an important part of modern life, but it should be shielded from view. All antennas, satellite dishes, solar panels and other such items attached to buildings should be screened from view as much as possible (typically by placing these items where they are not visible from the street).

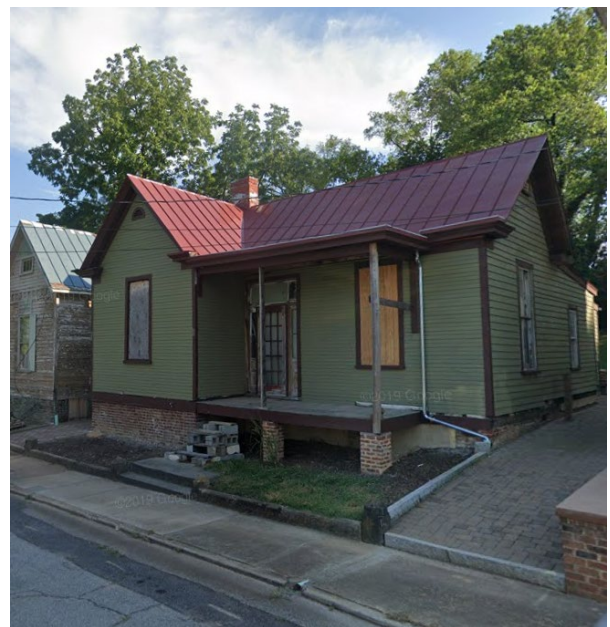
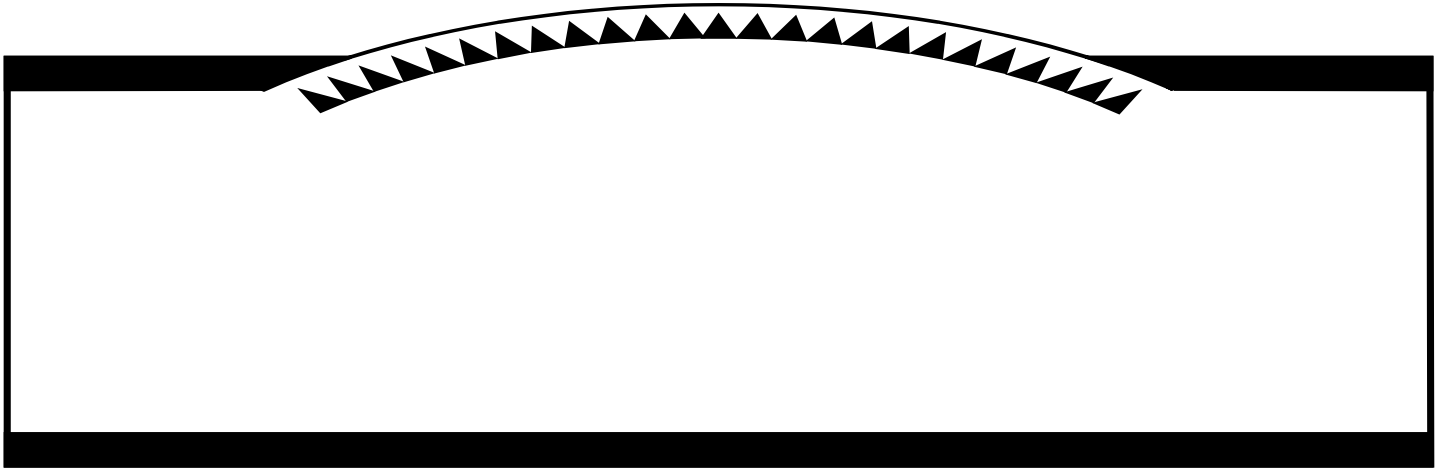


Figure 1 – Street view of 154 Chestnut Street.

ATTACHMENTS

- ✓ Application

DANVILLE
COMMISSION OF ARCHITECTURAL REVIEW



CERTIFICATE OF APPROPRIATENESS APPLICATION

Article 3.R.C.I.

No zoning, site plan, subdivision plat, or building permit shall be issued for the erection, reconstruction, exterior alteration, restoration, rehabilitation, razing, relocation or demolition of any building, structure, signs, fences, walls, light fixtures, accessory buildings, pavements, grading, site improvements, significant landscaping features or other appurtenant element in an HP-O District unless and until such building or site element has been approved by the issuance of a Certificate of Appropriateness by the Commission of Architectural Review for the City.

INFORMATION TO BE PROVIDED BY PLANNING DIVISION

Application Number: _____

CAR Date: _____

Date submitted: _____

Received by: _____

Tax Map Number: _____

Zoning Map Number: _____

Architectural Inventory Rating: _____

Zoning District: _____

Additional Zoning Information: _____

All buildings, structures or improvements located in the Old Westend Historic District and visible from a public right-of-way shall not be located, constructed, reconstructed, altered, or repaired unless a Certificate of Appropriateness has been issued by the Commission of Architectural Review. The Commission meets once a month on the fourth Thursday of the month at 3:30 P.M. in the fourth floor City Council Conference Room located in the Municipal Building. All questions or applications should be submitted to the Planning Division, located on the second floor of the Municipal Building, 427 Patton Street, Room 207, Danville, VA 24541; (434)-799-5260. As of July 1, 2018 a \$26.00 fee will be required for each application submitted for review.

INFORMATION TO BE PROVIDED BY APPLICANT

Important-Please read before completing application

- a) All questions on this application must be fully answered
- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/ credit of money used during substantial rehabilitation projects? yes

Would you like more information about these programs? _____

Which one(s)? _____

Property Location: 154 Chestnut St Danville, VA 24541

Name of Applicant: Hope Hampton Titan Solar Power VA Inc.

Applicant's Address: 525 W Baseline Rd Mesa, AZ 85210

Applicant's Phone Number: 480-237-2375 Email Address: gapermitting@titansolarpower.com

Work Proposed (please circle one): Alteration addition/rehabilitation/new construction/sign

Installation of 5.325 kW PV system roof mount

Type of material(s) to be used: LG 355 Panels (15) and Inverter (1)

Signature of Property Owner (if not applicant)

Signature of Applicant

Article 3RC6 Application Submission Requirements: In consideration of a complete application, the Planning Director and the Review Commission may require any or all of the following information and any other materials as may be deemed necessary for its review:

- A. Statement of proposed use and user.
- B. Statement of estimated construction time.
- C. Photographs and maps relating proposed use to the surrounding property and/or the corridor on which it is located.
- D. Site plan drawings, prepared to meet the City site development plan submission requirements for a Preliminary Site Plan or Preliminary Subdivision Plat, and other exhibits showing the location of the existing and proposed building and site improvements, including:
 - (1) Existing property boundaries, building placement and site configuration;
 - (2) Existing topography and proposed grading;
 - (3) Location of parking, pedestrian access, signage, exterior lighting, fencing and other site improvements;
 - (4) Relationship to adjacent land uses;
 - (5) Proposed site improvements, including location of parking, access, signage, exterior lighting, fencing, buildings and structures and other appurtenant elements;
 - (6) Proposed building color and materials;
 - (7) Relationship of building and site elements to existing and planned corridor development;
 - (8) Relationship of parking, pedestrian facilities, and vehicular accessways to existing and planned corridor development; and
 - (9) Other site plans and subdivision plats as may be required by Danville for development approval.
- E. Architectural drawings showing plan view and elevations of new planned construction or renovations, including drawings of original building.
- F. A landscaping and buffer plan.
- G. Designs for exterior signing, lighting and graphics, to include description of materials, colors, placement and means of physical support, lettering style and message to be placed on signs.
- H. Graphic exhibits depicting compliance with other design elements.

Additional Zoning Information: _____

All buildings, structures or improvements located in the Old Westend Historic District and visible from a public right-of-way :
be located, constructed, reconstructed, altered, or repaired unless a Certificate of Appropriateness has been issued by the Comm
of Architectural Review. The Commission meets once a month on the fourth Thursday of the month at 3:30 P.M. in the fourth
City Council Conference Room located in the Municipal Building. All questions or applications should be submitted to the Pl
Division, located on the second floor of the Municipal Building, 427 Patton Street, Room 207, Danville, VA 24541; (434)-799
As of July 1, 2018 a \$26.00 fee will be required for each application submitted for review.

INFORMATION TO BE PROVIDED BY APPLICANT
Important-Please read before completing application

- a) All questions on this application must be fully answered
- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimburse
credit of money used during substantial rehabilitation projects? yes

Would you like more information about these programs? _____

Which one(s)? _____

Property Location: 154 Chestnut St Danville, VA 24541

Name of Applicant: Hope Hampton Titan Solar Power VA Inc.

Applicant's Address: 525 W Baseline Rd Mesa, AZ 85210

Applicant's Phone Number: 480-237-2375 Email Address: gapermitting@titansolarpov

Work Proposed (please circle one): Alteration addition/rehabilitation/new construction/sign

Installation of 5.325 kW PV system roof mount

Frederick J. Mesley
Sign owner
Hope Hampton

Type of material(s) to be used: LG 355 Panels (15) and Inverter (1)

INSTALLATION NOTES

1.STRUCTURAL ROOF MEMBER LOCATIONS ARE ESTIMATED AND SHOULD BE LOCATED AND VERIFIED BY THE CONTRACTOR WHEN LAG BOLT PENETRATION OR MECHANICAL ATTACHMENT TO THE STRUCTURE IS REQUIRED.

2.ROOFTOP PENETRATIONS FOR SOLAR RACKING WILL BE COMPLETED AND SEALED WITH APPROVED SEALANT PER CODE BY A LICENSED CONTRACTOR.

3.LAGS MUST HAVE A MINIMUM 2.5" THREAD EMBEDMENT INTO THE STRUCTURAL MEMBER.

4.ALL PV RACKING ATTACHMENTS SHALL BE STAGGERED BY ROW BETWEEN THE ROOF FRAMING MEMBERS AS NECESSARY.

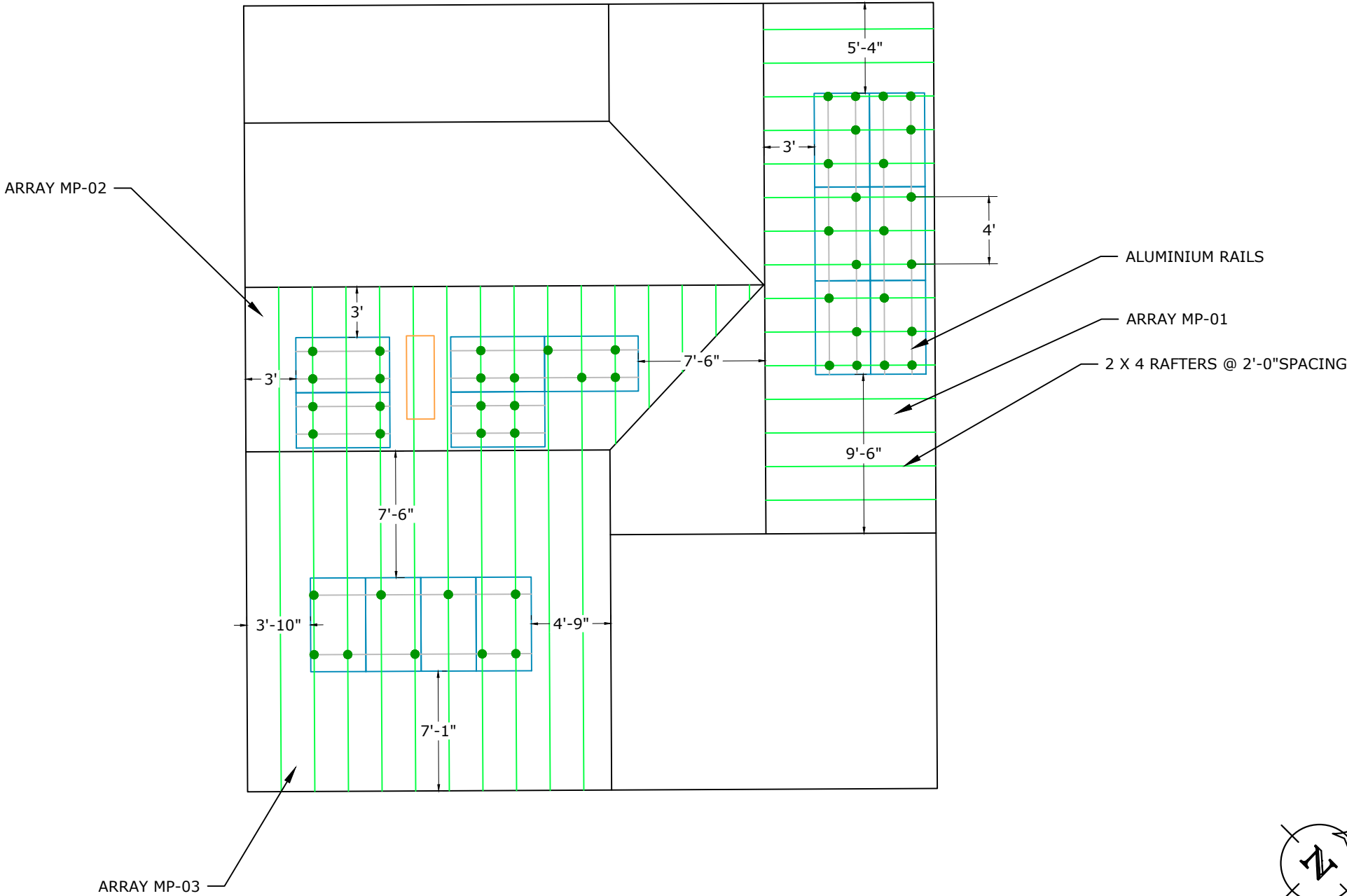
5.ROOF MOUNTED STANDARD RAIL REQUIRES ONE THERMAL EXPANSION GAP FOR EVERY RUN OF RAIL GREATER THAN 40'.

6.ALL CONDUCTORS AND CONDUITS ON THE ROOF SHALL BE MINIMUM 2.5" ABOVE THE ROOF SURFACE (INCLUDING CABLES UNDERNEATH MODULES AND RACKING).

7.THE PV INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL OR BUILDING ROOF VENTS.

SITE INFORMATION - WIND SPEED: 110 MPH AND SNOW LOAD: 20 PSF												
SR. NO	AZIMUTH	PITCH	NO. OF MODULES	ARRAY AREA (SQ. FT.)	ROOF TYPE	ATTACHMENT	ROOF EXPOSURE	FRAME TYPE	FRAME SIZE	FRAME SPACING	MAX RAIL SPAN	OVER HANG
MP-01	138°	45°	6	117.0	METAL ROOF	Z-BRACKET	ATTIC	RAFTERS	2 X 4	2'-0"	4'-0"	1'-6"
MP-02	228°	45°	5	97.5	METAL ROOF	Z-BRACKET	ATTIC	RAFTERS	2 X 4	2'-0"	4'-0"	1'-6"
MP-03	228°	22°	4	78.0	METAL ROOF	Z-BRACKET	ATTIC	RAFTERS	2 X 4	2'-0"	4'-0"	1'-6"

NOTE: PENETRATIONS ARE STAGGERED



SCALE: 3/16" = 1'-0"

AERIAL VIEW

ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:154 CHESTNUT ST, DANVILLE,
VA 24541

36.580843, -79.397632

AHJ:VA-CITY OF DANVILLE

PRN NUMBER:TPS-26150

Because quality matters

MOUNTING DETAIL

DESIGNER /CHECKED BY: SB/PM	PAPER SIZE:17"X11"
SCALE:AS NOTED	REV:A
DATE:5/17/2021	M-1

SAFETY PLANS

SAFETY PLANS

- NOTES:
- 1. INSTALLERS SHALL DRAW IN DESIGNATED SAFETY AREA AROUND HOME.
 - 2. INSTALLERS SHALL UPDATE NAME ADDRESS AND PHONE NUMBER OF NEAREST.
 - 3. URGENT CARE FACILITY RELATIVE TO THE SITE BEFORE STARTING WORK.

LOCATION OF NEAREST URGENT CARE FACILITY

NAME:
ADDRESS:
PHONE NUMBER:

SOLAR PV ARRAY WITH
OPTIMIZERS ROOF MOUNTED

MAIN SERVICE PANEL(INTERIOR)

UTILITY METER(EXTERIOR)

UTILITY DISCONNECT(EXTERIOR)

UTILITY REVENUE METER (EXTERIOR)

PV INVERTER WITH INTEGRATED DC DISCONNECT(EXTERIOR)

154 CHESTNUT ST, DANVILLE, VA 24541



ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:154 CHESTNUT ST, DANVILLE,
VA 24541

36.580843, -79.397632

AHJ:VA-CITY OF DANVILLE

PRN NUMBER:TPS-26150



SAFETY PLANS-1

DESIGNER /CHECKED BY: SB/PM	PAPER SIZE:17"X11"
SCALE:AS NOTED	REV:A
DATE:5/17/2021	PL-2

LG NeON[®]2 Black

The LG NeON[®] 2 Black is one of the most powerful and versatile modules on the market today, combining LG's Cello technology and monocrystalline N-type solar cells with a stunning black design. The LG NeON[®] 2 Black includes a 25-year product and 90.1% performance warranty for higher performance and reliability.

LG355N1K-B6

FEATURES

- 90.1%

in year 25

Enhanced Performance Warranty

LG NeON[®]2 Black comes with an enhanced performance warranty. After 25 years of use, the LG NeON[®]2 Black is guaranteed to provide at least 90.1% of initial performance.
- 25

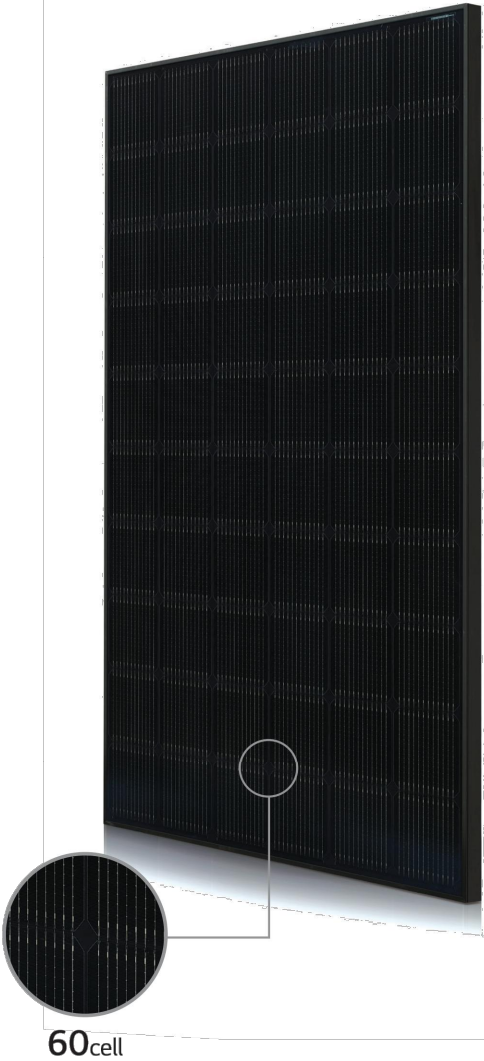
YEARS WARRANTY

Industry-Leading Product Warranty

LG offers an industry-leading 25 year product warranty on the NeON[®]2 Black.
- Reliable Quality**

LG NeON[®]2 Black offers reliable and proven quality through rigorous testing.
- Sleek Rooftop Design**

The LG NeON[®]2 Black is designed to make the entire module look black, providing a sleek, modern design that blends in seamlessly with the rooftop.



About LG Electronics
LG is transforming today's solar landscape, offering high-efficiency solar panels for customers who demand high performance, reliability and consistently strong energy yield from a brand they can trust. LG's modules feature high power outputs, outstanding durability, appealing aesthetics and high-efficiency technology.



LG NeON[®]2 Black

Preliminary

LG355N1K-B6

General Data

Cell Properties (Material / Type)	Monocrystalline / N-type
Cell Maker	LG
Cell Configuration	60 Cells (6 x 10)
Number of Busbars	12 EA
Module Dimensions (L x W x H)	1,740 x 1,042 x 40mm
Weight	18.6 kg
Glass (Material)	Tempered Glass with AR coating
Backsheet (Color)	Black
Frame (Material)	Anodized Aluminium
Junction Box (Protection Degree)	IP 68 with 3 Bypass Diodes
Cables (Length)	1,100 mm x 2 EA
Connector (Type / Maker)	MC4 / MC

Certifications and Warranty

Certifications	IEC 61215-1 / -1-1 / 2:2016, IEC 61730-1 / 2:2016, UL 61730-1:2017, UL 61730-2:2017 ISO 9001, ISO 14001, ISO 50001 OHSAS 18001
Salt Mist Corrosion Test	IEC 61701 : 2011 Severity 6
Ammonia Corrosion Test	IEC 62716 : 2013
Module Fire Performance	Type 2 (UL 61730)
Fire Rating	Class C (UL 790)
Solar Module Product Warranty	25 Years
Solar Module Output Warranty	Linear Warranty*

* 1) First years : 98%, 2) After 1st year : -0.33%/year, 3) 90.1% for 25 years

Temperature Characteristics

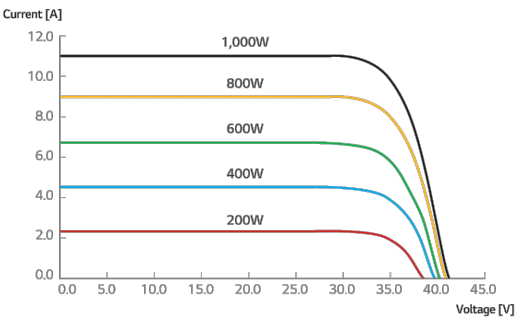
NMOT*	[°C]	42 ± 3
Pmax	[%/°C]	-0.35
Voc	[%/°C]	-0.26
Isc	[%/°C]	0.03

* NMOT (Nominal Module Operating Temperature)
: Irradiance 800W/m², Ambient temperature 20°C, Wind speed 1m/s, Spectrum AM 1.5

Electrical Properties (NMOT)

Model	LG355N1K-B6	
Maximum Power (Pmax)	[W]	266
MPP Voltage (Vmpp)	[V]	32.9
MPP Current (Impp)	[A]	8.10
Open Circuit Voltage (Voc)	[V]	39.1
Short Circuit Current (Isc)	[A]	8.61

I-V Curves



Electrical Properties (STC*)

Model	LG355N1K-B6	
Maximum Power (Pmax)	[W]	355
MPP Voltage (Vmpp)	[V]	35.0
MPP Current (Impp)	[A]	10.15
Open Circuit Voltage (Voc, ± 5%)	[V]	41.5
Short Circuit Current (Isc, ± 5%)	[A]	10.72
Module Efficiency	[%]	19.6
Power Tolerance	[%]	0 ~ +3

* STC (Standard Test Condition)
: Irradiance 1,000 W/m², Cell temperature 25°C, AM 1.5, Measure tolerance of Pmax : ±3%

Operating Conditions

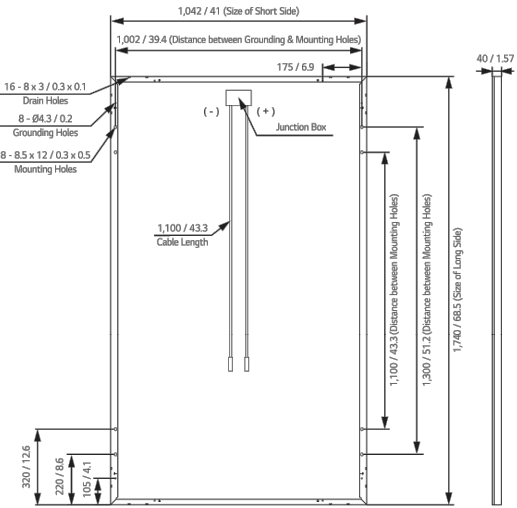
Operating Temperature	[°C]	-40 ~ +85
Maximum System Voltage	[V]	1,000
Maximum Series Fuse Rating	[A]	20
Mechanical Test Load* (Front)	[Pa]	5,400
Mechanical Test Load* (Rear)	[Pa]	4,000

* Based on IEC 61215-2 : 2016 (Test Load = Design Load x Safety Factor(1.5))
※ Mechanical Test Loads 6,000 Pa / 5,400 Pa based on IEC 61215 : 2005

Packaging Configuration

Number of Modules Per Pallet	[EA]	25
Number of Modules Per 40ft HQ Container	[EA]	650
Packaging Box Dimensions (L x W x H)	[mm]	1,790 x 1,120 x 1,213
Packaging Box Gross Weight	[kg]	500

Dimensions (mm/inch)



ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:154 CHESTNUT ST, DANVILLE,
VA 24541

36.580843, -79.397632

AHJ:VA-CITY OF DANVILLE

PRN NUMBER:TPS-26150

ILLUMINE i
Because quality matters

MODULE SPEC SHEET

DESIGNER /CHECKED BY: SB/PM	PAPER SIZE:17"X11"
SCALE:AS NOTED	REV:A
DATE:5/17/2021	SS-1



LG Electronics Inc.
Energy Business Division
LG Twin Towers, 128 Yeouil-daero, Yeongdeungpo-gu, Seoul 07336, Korea
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www.lg-solar.com

Product specifications are subject to change without notice.



Single Phase Inverter with HD-Wave Technology

for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



INVERTERS

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using the SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

solaredge.com



Single Phase Inverter with HD-Wave Technology for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US/
SE7600H-US / SE10000H-US / SE11400H-US

MODEL NUMBER	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	
APPLICABLE TO INVERTERS WITH PART NUMBER	SEXXXXH-XXXXXBXX4							
OUTPUT								
Rated AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
Maximum AC Power Output	3000	3800 @ 240V 3300 @ 208V	5000	6000 @ 240V 5000 @ 208V	7600	10000	11400 @ 240V 10000 @ 208V	VA
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)	-	✓	-	✓	-	-	✓	Vac
AC Frequency (Nominal)	59.3 - 60 - 60.5 ⁽¹⁾							Hz
Maximum Continuous Output Current @240V	12.5	16	21	25	32	42	47.5	A
Maximum Continuous Output Current @208V	-	16	-	24	-	-	48.5	A
Power Factor	1, Adjustable - 0.85 to 0.85							
GFDI Threshold	1							A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds	Yes							
INPUT								
Maximum DC Power @240V	4650	5900	7750	9300	11800	15500	17650	W
Maximum DC Power @208V	-	5100	-	7750	-	-	15500	W
Transformer-less, Ungrounded	Yes							
Maximum Input Voltage	480							Vdc
Nominal DC Input Voltage	380				400			Vdc
Maximum Input Current @240V ⁽²⁾	8.5	10.5	13.5	16.5	20	27	30.5	Adc
Maximum Input Current @208V ⁽²⁾	-	9	-	13.5	-	-	27	Adc
Max. Input Short Circuit Current	45							Adc
Reverse-Polarity Protection	Yes							
Ground-Fault Isolation Detection	600k Ω Sensitivity							
Maximum Inverter Efficiency	99	99.2						%
CEC Weighted Efficiency	99						99 @ 240V 98.5 @ 208V	%
Nighttime Power Consumption	< 2.5							W

^① For other regional settings please contact SolarEdge support
^② A higher current source may be used; the inverter will limit its input current to the values stated



ADDRESS: 525W, BASELINE RD
MESA AZ,85210

CUSTOMER INFORMATION

NAME:FRED MEDER

ADDRESS:154 CHESTNUT ST, DANVILLE,
VA 24541

36.580843, -79.397632

AHJ:VA-CITY OF DANVILLE

PRN NUMBER:TPS-26150



INVERTER SPEC SHEET

DESIGNER /CHECKED BY: SB/PM	PAPER SIZE:17"X11"
SCALE:AS NOTED	REV:A
DATE:5/17/2021	SS-2



City of Danville

427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

Commission of Architectural Review

STAFF REPORT

MEETING DATE: JULY 22, 2021

RE: CERTIFICATE OF APPROPRIATENESS REQUEST - 842 MAIN ST

APPLICANT'S REQUEST

Certificate of Appropriateness Request 2021-250, to install a paved driveway at 842 Main Street.

STAFF EVALUATION

The CAR certificate of appropriateness application subject property is on the north side of Main Street between Chestnut Place and Jefferson Avenue Extension. The applicant would like to pave the driveway on the left side of the house to access the rear yard.

The relevant sections of the Commission of Architectural Design Guidelines include the following:

6. B. Site Guidelines for Existing Residential Buildings

Driveways. In the OWE vehicular access was often either from an alley or by a driveway through the front yard and along the side of the property to a garage in the rear. Many of the side access drives that existed when these buildings were constructed are now too narrow to accommodate vehicles. In these situations, vehicles are often parked to one side in the front yard. If adequate parking is not available on the street, this condition is not ideal, but probably necessary. Where adequate side yard is available, parking in the rear is preferred.



Figure 1 – Street view of 842 Main Street.

ATTACHMENTS

- ✓ Application

of Architectural Review. The Commission meets once a month on the fourth Thursday of the month at 3:30 P.M. in the fourth floor City Council Conference Room located in the Municipal Building. All questions or applications should be submitted to the Planning Division, located on the second floor of the Municipal Building, 427 Patton Street, Room 207, Danville, VA 24541; (434)-799-5260. As of July 1, 2018 a \$26.00 fee will be required for each application submitted for review.

INFORMATION TO BE PROVIDED BY APPLICANT

Important-Please read before completing application

- a) All questions on this application must be fully answered
- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? Yes

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/credit of money used during substantial rehabilitation projects? YES

Would you like more information about these programs? No

Which one(s)? NA

Property Location: 842 Main St. Danville, VA 24541

Name of Applicant: John and Mary Kent

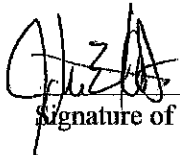
Applicant's Address: 842 Main St. Danville, VA 24541

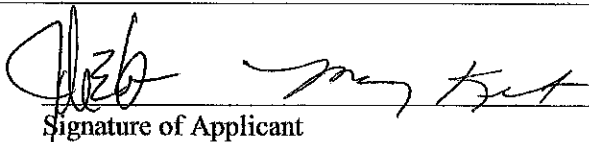
Applicant's Phone Number: 337 772 8530 (John) Email Address: j.e.kent4@gmail.com

Work Proposed (please circle one): Alteration/addition/rehabilitation/new construction/sign

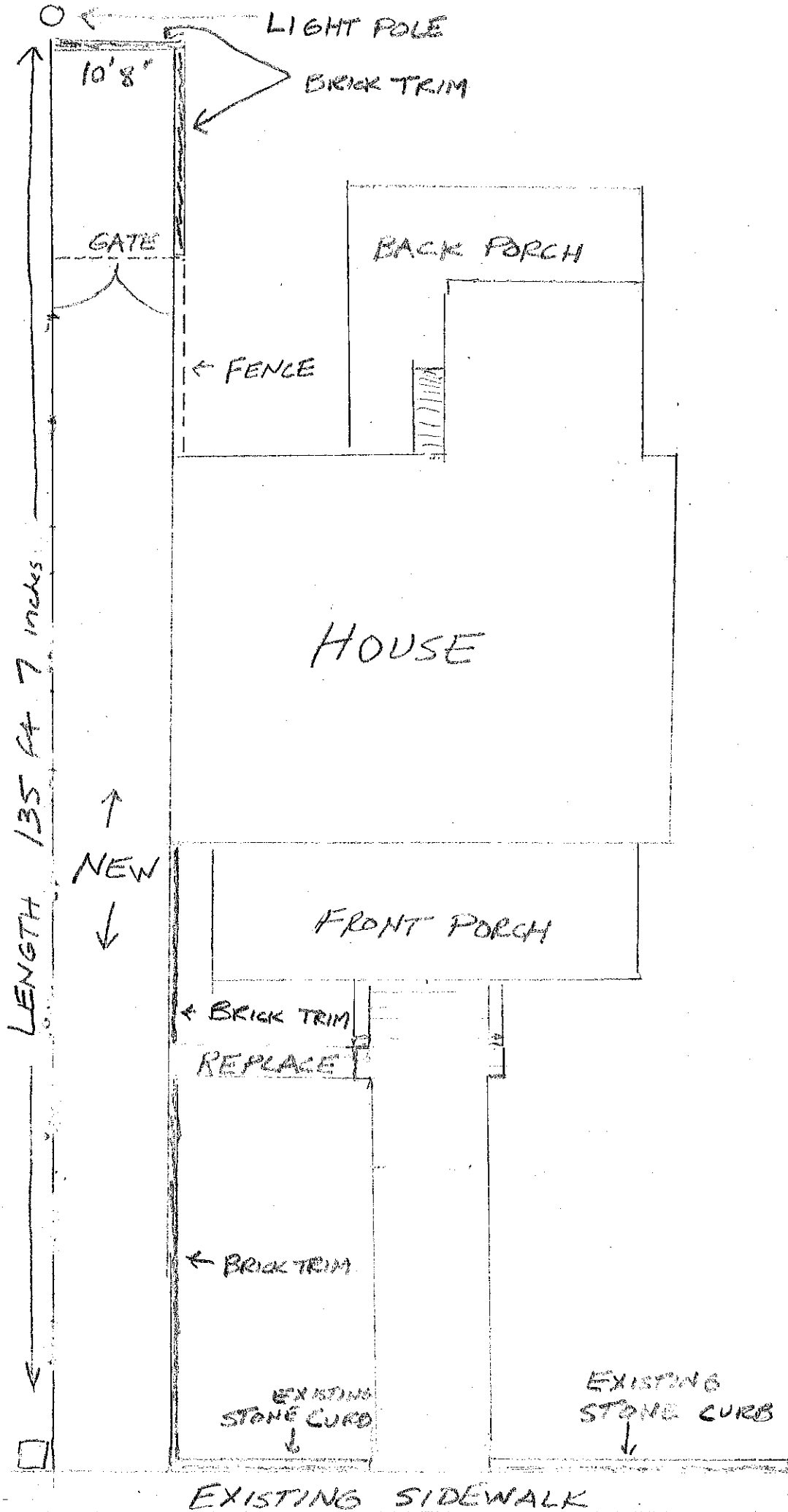
Replace dirt driveway with a ^{new} concrete driveway. Replace a failed sidewalk, located in proximity of front porch, with new concrete.

Type of material(s) to be used: Concrete, brick


Signature of Property Owner (if not applicant)


Signature of Applicant

842 MAIN ST.



John and Mary Kent
842 Main Street
Danville, VA 24541

Phone Number: 337-378-5868 or 337-772-8530
Email: j.e.kent4@gmail.com and mkkent007@gmail.com

Proposed Work: The home owners request approval to install a concrete driveway running the length of the property, beginning at the existing city sidewalk, running up to and along the side of the home, and extending beyond the back corner of the house for a total of 135' 7".. During the project, the homeowners intend to replace a previously failed walk from the current entry walk to the driveway.

Details:

- The driveway will slope from back to front, facilitating drainage from the property.
- The driveway portion beyond the back line of the house, adjacent to the house and up to 20' forward from the house will also slope to the center of the drive to further facilitate water movement away from our home and our neighbor's home.
- The drive will be 10 feet wide, measured from the existing home for portions running adjacent to the home and along an existing fence to the rear. The driveway will extend an additional 8" in width for the portion running from the front of the house to the existing city-maintained sidewalk and the portion running from the gate of the existing fence to the back of the drive.
- The additional 8" portions of the driveway will be capped with 1 course of red brick laid side by side to trim the border between the driveway and the landscaping.
- A drain line collecting water from downspouts, sump drain, and condensate drain will be placed under the driveway and terminate just short of the city-maintained sidewalk.
- The line of the driveway along the west side of the property will not encroach on the property line with the property at 854 Main Street.
- Homeowners will contact Miss Utilities for complete marking of the affected area before starting the project.
- From commencement of excavation to completion of the project it is expected to take 30 calendar days (weather depending).



Figure 1 West Property Line - Driveway from Front



Figure 2 East Line of Driveway from Front (where brick trim will be placed)



Figure 3 Driveway from the backyard/Rear of Project



Figure 4 Area for Replacement of Walkway (front left of entry)

Commission of Architectural Review

STAFF REPORT

MEETING DATE: JULY 22, 2021

RE: CERTIFICATE OF APPROPRIATENESS REQUEST - 1002 MAIN ST

APPLICANT'S REQUEST

Certificate of Appropriateness Request 2021-253, to remove a magnolia tree and surrounding retaining walls at 1002 Main Street.

STAFF EVALUATION

The CAR certificate of appropriateness application subject property is on the north side of Main Street at the Holbrook Street Intersection. The applicant would like to remove a magnolia tree and surrounding retaining walls at 1002 Main Street.

The relevant sections of the Commission of Architectural Design Guidelines include the following:

6. B. Site Guidelines for Existing Residential Buildings

Retaining Walls and Curbs. Although not unique to Danville, the stone curbing and cornerstones used in the front yards and along the driveways of houses in the OWE are distinctive and should be retained whenever possible. The styles of this curbing are highly individual and very interesting. It would always be preferable to restore and reset stone curbs in poor condition rather than replace them with modern materials.

Where existing historic retaining walls have failed and cannot easily be repaired, more modern materials are acceptable. Using historic materials such as brick would be preferred, but because there are some steep grades in the OWE modular concrete walls with built in accommodations for tie-backs are acceptable. For this application, tumbled or "broken face" block or other finishes that appear more like natural stone are preferred. Concrete block or poured concrete with flat surfaces is not allowed, although they are allowed if faced with brick or appropriate stone or stonepatterned concrete modular units.

ATTACHMENTS

✓ Application



Figure 1 – Street view of 1002 Main Street.

DANVILLE

COMMISSION OF ARCHITECTURAL REVIEW

POST OFFICE BOX 3300

DANVILLE, VIRGINIA

(434) 799-5260

CERTIFICATE OF APPROPRIATENESS APPLICATION

Article 3.R.C.1.

No zoning, site plan, subdivision plat, or building permit shall be issued for the erection, reconstruction, exterior alteration, restoration, rehabilitation, razing, relocation or demolition of any building, structure, signs, fences, walls, light fixtures, accessory buildings, pavements, grading, site improvements, significant landscaping features or other appurtenant element in an HP-O District unless and until such building or site element has been approved by the issuance of a Certificate of Appropriateness by the Commission of Architectural Review for the City.

INFORMATION TO BE PROVIDED BY PLANNING DIVISION

Application Number: _____

CAR Date: _____

Date submitted: _____

Received by: _____

Tax Map Number: _____

Zoning Map Number: _____

Architectural Inventory Rating: _____

Zoning District: _____

Additional Zoning Information: _____

All buildings, structures or improvements located in the Old Westend Historic District and visible from a public right-of-way shall not be located, constructed, reconstructed, altered, or repaired unless a Certificate of Appropriateness has been issued by the Commission

of Architectural Review. The Commission meets once a month on the fourth Thursday of the month at 3:30 P.M. in the fourth floor City Council Conference Room located in the Municipal Building. All questions or applications should be submitted to the Planning Division, located on the second floor of the Municipal Building, 427 Patton Street, Room 207, Danville, VA 24541; (434)-799-5260. As of July 1, 2018 a \$26.00 fee will be required for each application submitted for review.

INFORMATION TO BE PROVIDED BY APPLICANT

Important-Please read before completing application

- a) All questions on this application must be fully answered
- b) The application must be signed by the property owners or representative with written authorization by the owner
- c) A drawing, photo, plan or sketch of proposed project with dimensions

Have you read and understand the Design Guidelines for the Historic Overlay District of Danville, Virginia? YES

Are you aware of the federal/state tax credits and Real Estate Abatement program available for potential reimbursement/credit of money used during substantial rehabilitation projects? Yes

Would you like more information about these programs? NO

Which one(s)? _____

Property Location: 1002 Main Street

Name of Applicant: Wednesday Afternoon Club (aka The Wednesday Club)

Applicant's Address: 1002 Main Street

Applicant's Phone Number: 434-548-5745 Email Address: sbwillis115@gmail.com

Work Proposed (please circle one): Alteration/addition/rehabilitation/new construction/sign

- Remove large magnolia at the front of the building
- Remove brick retaining wall surrounding the tree keeping the granite and enough brick to be used to construct a sign at a later date
- Remove the stump and roots, level the land, sow seed and cover with straw

Type of material(s) to be used: _____


Signature of Property Owner (if not applicant)


Signature of Applicant

The Wednesday Club plans to remove the large magnolia tree in front of our building and is requesting permission to remove the retaining wall that surrounds the tree. We plan to grind the stump and remove the roots so that we can grade the land to a level as equal as possible to the current grade level on each side of our side walk. We plan to salvage the granite and enough brick to construct a sign in the future. The immediate plan is to seed the newly graded space. This work will be done by Fred Blackwell of Blackwell Tree Service. The seeding of the lawn will be completed as quickly as possible after the tree and wall are removed.

Our future plans call for the new sign to reflect the Williamsburg style of our building using the granite and the bricks; however, that plan has not been approved by our Board of Governors. We will submit the sign design to the CAR for approval at a later date.

Images







COMMISSION OF ARCHITECTURAL REVIEW

JULY 7, 2021

Members Present

Robin Crews
Susan Stilwell
Jeff Bond
Jackson Weller
Robert Weir

Members Absent

Robert Stowe

Staff

Doug Plachcinski
Lisa Jones
Clarke Whitfield

Ms. Crews called the meeting to order at 3:30 p.m.

ITEMS FOR PUBLIC HEARING

OLD BUSINESS

1. ***Revised Certificate of Appropriateness Request, 2020-268, to restore 870 Pine Street.***

Ms. Crews opened the Public Hearing.

Present to speak on behalf of this request was Ellen Paul, owner of 870 Pine Street. Ms. Paul stated I would like to open by saying that we are all on the same page and same goal. To fix the house and bring back to its former splendor and glory and close up the back. I did submit with my application marked up Hill Studio plans and I was not able to get them to revise those plans because they are too busy. So, I marked them up and for clarification I sent an email to everybody which was really a restatement and a clarification. I would like to respectfully request that I be able to submit it for your consideration and I would like to explain what is in this packet.

Ms. Crews stated that is the addendum that we have before us today?

Ms. Paul stated it's the additional addendum that I brought down two weeks ago with additional drawings and there is more in this packet that I think is important and it has to do with the email of the original packet was not showing the correct colors of the house because they were blacked out.

Ms. Crews stated we do have copies and I would ask staff is this appropriate?

Mr. Whitfield stated that is up to the board.

Ms. Paul stated it is just clarification of what was already submitted.

Mr. Whitfield stated are there copies for everyone in the audience?

Ms. Jones stated yes, I gave them copies.

Ms. Stowe stated do I have any objection from the commission with the elaboration that Ms. Paul has submitted today?

Each board member stated no.

Ms. Paul stated the house is not going to look like an easter egg house. It will look elegant and if any of the colors start looking to weird, they will be darkened or grayed out more. They are typically colors that I painted my Victorian. I would like to clarify that this is not my third house without running water. This is my fourth house without running water. Do you have my rendition of the composite decking for the rear only? Did that come out in color? It was in the original packet for the June 24 meeting but when I look at that in the email it looked like they were black.

Ms. Stowe stated it does look a little black in the picture.

Ms. Paul stated it is the typical composite reproduction with grayed out wood or non-grayed out wood. The only reason I want to use composite in the back instead of pressure treated wood is because you eventually get splitters and it could be dangerous as I know because one went through my finger once. I think everyone has all the information that you need. The cube was not as in great shape as I had hoped. It had water damage from the additions that were on the back of the house. Once those additions were substantially removed the water infiltration is extremely minimum at this point. The damage was already done and the original application talks about what had fallen into the basement; those were not the newer additions, it was the early addition. My hands are tied when I had water, rot, and top joints under the roof with rotten wood. We stopped once we got to a point where it was salvageable and then I had the engineer come out and that is why we stopped at that point. It can be repaired at this point. I also reread the guidelines and I know that I don't need CAR approval for the mailbox.

Ms. Stilwell stated you don't need what?

Ms. Paul stated CAR approval for the mailbox per the guidelines.

Ms. Stilwell stated we don't have any purview over color either.

Ms. Paul stated I think it says in the guidelines that CAR is supposed to be made aware of the colors. I also at this time would like to make the required statement that my next step besides the restoration of the back that, is I am going to start pulling windows to renovate them. That is required by the guidelines. They will be repaired properly, and I have done tons of windows. I'm just putting you on notice because it is required. Are there any questions?

Mr. Weir stated is your plan to bring it back to what it was originally?

Ms. Paul stated yes, and the only part that won't be original is the six-foot bump out in the back. I think it was originally a servant staircase. I would like for everyone to know the reason the house did not have a running foundation except for under the L. The rest of the rear of the house was on pillars. Per the engineer plans a running foundation will be put in along the back of the house making it much more structurally sound. I want to benefit the house in such a way that it will last another 104 years. I'm not going to slam dunk anything and I'm not going to use some of the materials that other people are using. I'm going to use cumaru and I don't know if you are aware, but it is a self- strong American hardwood. I have used this in the past and it is beautiful, and it is a step up in hardness.

Ms. Stowe stated the scope of this proposal is very broad as she refers to the amendment attachment A which discusses the intentions of the owner. Does the committee have any further questions of the owner?

Ms. Stilwell stated I just hope this building gets closed in for her sake and the house is safe.

Mr. Paul Liepe stated I just want to take a moment to compliment Ms. Paul on the amount of work that she has put into this. This is one of the houses that we would have lost to the wrecking ball if it had not been for her. I just want her and all of you to know how much we appreciate her working in the Old West End.

Ms. Stowe closed the Public Hearing.

Mr. Weir stated does the Director of Planning have any problems with it?

Mr. Plachcinski stated right now the materials that have been submitted do not qualify under the designs standards for what a submission should be. There are no measurements. The materials are not sufficient to pull a building permit beyond the foundation permit which has been released to stabilize the rear of the house. We do have concerns about the work that has taken place on the house in the past. There was a stop work order because there were dangerous conditions created and we lifted that to assist the homeowner in stabilizing the home. We hope that they will be able to install the rear foundation as soon as possible. There is an illegal water connection that has not been permitted and it was tied into the front of the house. I am a little unclear on that. There is a lot of work that needs to happen here and in eight months of the two years it is going by real fast. Our job is not to hold them up and from my point of view or at least from the city administration, to encourage them to develop a plan and get the resources and horsepower to get it done and execute it so that the house is preserved.

Mr. Weir stated is there anything in the proposal that is against the guidelines or our guidelines and not the Planning guidelines or zoning, but our guidelines?

Ms. Stilwell stated design guidelines.

Mr. Plachcinski stated not that I am aware of however I can't without having adequate exhibits make that determination and that is up to you.

Ms. Stilwell stated I will say that I did meet with Ellen on site because I kept looking at drawings and I had a hard time figuring that stuff out. I feel comfortable about what she is trying to do there. It is an overwhelming job because that house has been terribly abused by slum lords. Can you give her a list of what kind of materials that she needs to bring for clarification because I'm not sure?

Mr. Plachcinski stated I have provided that to her. My concern is that the applicant repeatably has tried to execute work that requires pulling permits on the site without permits. I just want to really make sure that the proper permit is pulled to keep the site safe and to keep the building safe.

Mr. Weir stated which is out of our approval.

Ms. Stowe stated exactly but applicant has her hand out to offer further collaboration.

Ms. Paul stated I would like to point out on these clarification plans that there are dimensions. I would also like to let everyone know that just prior to this meeting John Poole pulled up in front of my house and made a few comments that were quite interesting because he had just left inspections. John Poole is the plumber I brought in to do the water line. I asked him to pull the permit and he said no, go ahead and dig up the sidewalk and under his direction, a licensed plumber, he told me to dig up the sidewalk and get the trench dug and I asked him if he was going to pull the permit and he said we will do that afterwards. I think it is quite typical for a lot of plumbers to do the work and even gas work and then have the inspector come look. I didn't do this purposely; I did this under the direction of a licensed plumber who was putting in a water line.

Mr. Plachcinski stated you had approached the inspections department about this work.

Ms. Paul stated I did.

Mr. Plachcinski stated what were you told.

Ms. Paul stated I was told that I needed a licensed plumber and I went to John Poole.

Mr. Plachcinski stated and there was no permit pulled.

Ms. Paul stated today it was pulled and approved.

Mr. Plachcinski stated it must have been done in the last few moments.

Ms. Paul stated not a few moments but a few hours or maybe an hour ago. I had hired John Poole. I am one of the people that will pull permits when I must. I will use the correct materials to get it done in the correct manner. I have a lot of experience with this and pulling permits and doing the right thing. I am putting one foot in front of the other and I am trying to do what is right. Everyone has an interest in the historical value of the Old West End. I have a very specific interest in my house and the historical value in the Old West End. I did not want to step on anyone toes and it appears that is what is happening because people feel that way. I would have pulled the permit, but John Poole said he'd pull the permit to dig up the sidewalk.

Mr. Bond stated I do have one question for the applicant if she could come back up. Do you just mind describing the materials that will go on the outside siding and windows.

Ms. Paul stated the roofing will be maintained in sand steel metal. There is a list on the original packet where it describes the materials that are going to be used. The wood that is going to be put inside the walls will be 2x4's. The permit has been pulled for the back wall to be 2x6 which will add strength. What I would propose at this point because of the reconstruction of the wall going across without the 6-foot bump out. I would suggest that be regular sheer clouded. The rear of the L that wall is the original it was in depleted condition I would suggest that we use cedar duck siding. I want to stay with cedar. I want to put a 1x 6 vertical board to differentiate the L from the new wall. Everything is going to be wood the only thing that will be on there is that potentially composite is on the rear deck. If you want me to put wood on the rear deck, I will. It is totally up to the commission. The brick in the front will all be wood, and the Juliet porch will be a 5x10 porch. It will all be wood.

Mr. Bond stated are you going back with the 1800's columns?

Ms. Paul stated yes, square columns.

Mr. Bond stated what about the windows?

Ms. Paul stated the windows will all be wood. I want the house to look correct and the windows to be the same size. I don't want it to look weird.

Ms. Stilwell stated I have no problem with using what she proposed for the flooring of the deck. It is in the back of the house, you can see it, but I am very aware of the maintenance of wood flooring on decks. It is a continuous problem. What do you think Jeff?

Mr. Bond stated I agree. That is going to be the most abused portion of the deck and it is going to wear out quickly.

Ms. Stilwell stated I wouldn't want it on the front porch but on the deck in the back. I think it will be a safer and longer lasting type of improvement.

Mr. Bond stated the drawings that Hill Studio did the back of the house is a mess. I'm an architect and I can't even count the number of additions. I think the proposed plan get's it back closer to the original period is appropriate.

Ms. Stilwell made a motion to approve Request 2020-268 that the use of the material proposed on the rear deck be approved guidelines as submitted. Mr. Weir seconded the motion. The motion was approved by a 5-0 vote.

Ms. Crews stated now for the larger scope issues that are before the committee is there a proposal.

Mr. Bond stated is there a list of items that are being requested?

Ms. Crews stated I couldn't find a list. That is my comment as Chair I am very concerned about the mismatch of material that has been presented. It is a lot of material, but it is not in a uniform package that we are custom to seeing nor in the last hour potentially has it been approximately permitted. I am quite concerned about that.

Ms. Stilwell stated I am more concerned about what had been done to the house that nearly destroyed it trying to remove what had been added. I am in favor of not violating our guidelines in any way but getting this house closed in I think is essential. Before we know it, we will be back into winter and it has already survived through one winter being opened and that would really be damaging to this house that was already damaged.

Mr. Weir stated it is a piece of junk as it was and is. I have no problem.

Mr. Weir made a motion to approve Request 2020-268 as submitted and presented. Ms. Stilwell seconded the motion. The motion was approved by a 5-0 vote.

Mr. Bond stated this does include the reduction and the size of the front porch to?

Ms. Stilwell stated I went there, and I don't know when it was enlarged but the porch really does stick way out. When you are standing and look up and down the street to other porches. I think that should be included reduces the porch going to the square columns.

Mr. Whitfield stated I was under the impression that is what Mr. Weir's motion pertained.

Ms. Stilwell stated just make sure that you do get permits when they are needed so we don't create more problems.

NEW BUSINESS

2. *Certificate of Appropriateness Request, 2021-206, to build a new rear deck and add to existing rear storage room at 832 Pine Street.*

Ms. Stowe opened the Public Hearing.

Present to speak on behalf of this request was Alma Ramirez, owner of 832 Pine Street.

Ms. Ramirez stated there is a storage room that is close to the kitchen and I need to restore it, but I also like to extend my deck because I would like to use my washer and dryer there. There is an existing deck that is small, and it is hard to go outside and I would like to extend it a little bit.

Mr. Bond stated the back portion of the house are you extending the roof over to the right? Is that what I am gathering there it says new extended roof?

Ms. Ramirez stated yes, it is going to extend the roof because the little room will extend like 4 foot or something like that. The roof will be extended a little bit.

Ms. Stilwell stated what roof material are using?

Ms. Ramirez stated I will use the same material that is on the house now.

Ms. Stilwell stated what is the material?

Ms. Ramirez stated shingles.

Mr. Bond stated is the existing storage room going to be removed or just expanded?

Ms. Ramirez stated just expanded.

Mr. Weir stated so it's basically squaring off the backend of the house?

Ms. Ramirez stated yes. It's not going to be far away from the wall. It will be just right aligned from the house and it will not be extending over the house.

Ms. Stowe stated are you moving a door?

Ms. Ramirez stated yes. It is close to the other door and it is very difficult to open and close. I think it will be in the middle.

Ms. Stowe stated are you having to relocate stairs at all for this project?

Ms. Ramirez stated no. They are going to be in the same place as they are now. The only thing that is going to extend is the deck.

Ms. Stowe stated you are extending the deck and roof over the storage room and relocating the door?

Ms. Ramirez stated yes.

Ms. Stowe stated anything else further?

Mr. Bond stated what materials are you proposing for the siding?

Ms. Ramirez stated it is going to be wood.

Mr. Bond stated what about the windows?

Ms. Ramirez stated the existing window in that room is not wood it is just glass, but I can replace that with a wood window.

Mr. Bond stated the only window in the addition is the existing one that is being moved?

Ms. Ramirez stated all the window, in the house are being removed except the one on the front porch.

Mr. Bond stated so we are looking at more than just an addition on the deck? Are we looking at windows all the round now?

Mr. Plachcinski stated I think she is saying they were previously replaced.

Ms. Ramirez stated yes. All the materials that I am going to use for this work is in here.

Mr. Bond stated other than the vinyl siding?

Ms. Ramirez stated except the vinyl. It is going to be wood.

Mr. Bond stated what about the deck is that going to be pressure treated wood?

Ms. Ramirez stated yes sir. All the wood for outside is going to be proper wood for outside and inside.

Ms. Crews closed the Public Hearing.

Mr. Bond stated for the proposal railings for the deck will they be wood to match?

Ms. Ramirez stated yes. We want to replace everything with the same.

Mr. Bond made a motion that a Certificate of Appropriateness be granted for PLRDD 2021-206 at 208 832 Pine Street as submitted as with exception of changing the vinyl siding to wood siding. Mr. Weller second the motion was approved by a 5-0 vote.

APPROVAL OF THE MINTUES

Mr. Stowe made a motion to approve the March 25, 2021 minutes. The motion was approved by a unanimous vote.

OTHER BUSINESS

With no further business, the meeting adjourned at 4:15 p.m.

Approved