

Danville-Pittsylvania Regional Industrial Facility Authority

**City of Danville, Virginia
County of Pittsylvania, Virginia**

REVISED

AGENDA

February 10, 2020

12:00 P.M.

**Institute for Advanced Learning and Research
150 Slayton Avenue, Room 206
Danville, Virginia**

County of Pittsylvania Members

**Robert W. Warren, Chairman
Ronald S. Searce
Vic Ingram, Alternate**

City of Danville Members

**Fred O. Shanks, III, Vice Chairman
Sherman M. Saunders
J. Lee Vogler, Jr., Alternate**

Staff

**Ken Larking, City Manager, Danville
David M. Smitherman, Pittsylvania County Administrator
Christian & Barton, LLP, Legal Counsel to Authority
Susan M. DeMasi, Authority Secretary
Michael L. Adkins, Authority Treasurer**

Danville-Pittsylvania Regional Industrial Facility Authority

1. MEETING CALLED TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT PERIOD

Members of the public who desire to comment on a specific agenda item will be heard during this period. The Chairman/Vice Chairman of the Authority may restrict the number of speakers. Each speaker shall be limited to a total of three minutes for comments. *[Please note that the public comment period is not a question-and-answer session the public and the Authority]*

4. APPROVAL OF MINUTES OF THE JANUARY 13, 2020 MEETING

5. NEW BUSINESS

- A. Consideration of Resolution No. 2020-02-10-5A, approving that certain Contract of Sale with RealtyLink Investments, LLC, a South Carolina limited liability company, as purchaser, for the purchase of certain real property containing approximately 19.073 acres (part of Pittsylvania County GPIN 2347-03-7452 and Danville PIN 77193), more commonly known as Lot 6A, located in the Authority's Cane Creek Centre Industrial Park, at a purchase price of \$572,190; where \$100,000 will be paid in immediately available funds at closing of the transaction, and the remainder of the purchase price evidenced by a promissory note, to be guaranteed by Realty Link USA, LLC, a South Carolina limited liability company, that will be forgiven or cancelled upon the substantial completion of the construction or installation of a shell building suitable for light industrial use, pursuant to the terms of the Contract of Sale and such promissory note – Matthew D. Rowe, Director of Economic Development, Pittsylvania County and Michael C. Guanzon, Christian & Barton, LLP, legal counsel to the Authority.
- B. Consideration of Resolution No. 2020-02-10-5B, approving the proposed building improvements to Lot 6A (part of Pittsylvania County GPIN 2347-03-7452 and Danville PIN 77193) in the Authority's Cane Creek Centre Industrial Park located in Pittsylvania County, Virginia and Danville, Virginia, that will be developed by RealtyLink Investments, LLC, a South Carolina limited liability company, or one of its affiliates – Kenneth C. Gillie Jr., Director Community Development, City of Danville, Virginia, and Karen Hayes, Deputy Director of Community Development, Pittsylvania County, Virginia.
- C. Consideration of Resolution No. 2020-02-10-5C, ratifying one-time demolition services for the building foundation located at 2471 Tom Fork Road, Ringgold, Virginia 24586, on Lot 7B (GPIN 2347-04-1865) of the Authority's Cane Creek Centre Industrial Park project, for a fee of \$5,500 – Richard Hicks, Deputy County Administrator, Pittsylvania County, Virginia, and Corrie Teague Bobe, Interim Director of Economic Development, City of Danville, Virginia.
- D. Consideration of Resolution No. 2020-02-10-5D, authorizing the issuance of a request for proposal (RFP) for legal services to the Authority – Michael L. Adkins, CPA, Treasurer of the Authority

Danville-Pittsylvania Regional Industrial Facility Authority

- E. Financial Status Reports as of January 31, 2020 – Mr. Adkins and Henrietta Weaver, CPA, City of Danville, Virginia

6. CLOSED SESSION

[During the closed session, all matters discussed shall involve receiving advice from legal counsel, and as such all communications during the closed session shall be considered attorney-client privileged.]

- A. As permitted by Section 2.2-3711(A)(5) of the Code of Virginia, 1950, as amended (“Virginia Code”), for discussion concerning one or more prospective businesses where no previous announcement has been made of that business’s interest in locating its facilities in one or more of the Authority’s projects, located in Pittsylvania County, Virginia, and/or Danville, Virginia; and
- B. As permitted by Virginia Code § 2.2-3711(A)(39) for discussion or consideration of records excluded under Virginia Code § 2.2-3705.6(3) (including without limitation (i) those certain confidential proprietary records voluntarily provided by private business pursuant to a promise of confidentiality from the Authority, and used by the Authority for business and trade development and (ii) those certain memoranda, working papers, or other information related to businesses that are considering locating or expanding in Virginia, prepared by the Authority, where competition or bargaining is involved and where disclosure of such information would adversely affect the financial interest of the Authority); such information being excluded from mandatory disclosure under Virginia Code § 2.2-3705.1(12) (information relating to the negotiation and award of a specific contract pertaining to the Authority’s Southern Virginia Megasite at Berry Hill project, Cyber Park project and/or Cane Creek Centre project, where competition or bargaining is involved and where the release of such information would adversely affect the bargaining power or negotiating strategy of the Authority) and Virginia Code § 2.2-3705.1(8) (appraisals and cost estimates of real property in one or more of the Authority’s projects subject to a proposed purchase, sale, or lease, prior to the completion of such purchase, sale, or lease); and
- C. As permitted by Virginia Code § 2.2-3711(A)(3) for discussion or consideration of the acquisition and/or the disposition of publicly held real property, where discussion in an open meeting would adversely affect the bargaining position or negotiating strategy of the Authority.

RETURN TO OPEN SESSION

- D. Confirmation of Motion and Vote to Reconvene in Open Meeting.
- E. Motion to Certify Closed Meeting.

7. COMMUNICATIONS FROM:

- A. Authority Board Members

Danville-Pittsylvania Regional Industrial Facility Authority

B. Staff

- i. Update re Dewberry/Haymes Brothers Change Order - Shawn R. Harden, P.E., Project Manager, Dewberry Engineers Inc.
- ii. Confidentiality Agreements – Mr. Guanzon

8. ADJOURN

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 4
Meeting Date:	02/10/2020
Subject:	Meeting Minutes
From:	Susan M. DeMasi, Secretary to the Authority

SUMMARY

Attached for the Board's review and approval are the Meeting Minutes from the Monday, January 13, 2020 Meeting.

ATTACHMENTS

Meeting Minutes – 01/13/2020

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

A Meeting of the Danville-Pittsylvania Regional Industrial Facility Authority convened at 12:12 p.m. on the above date at the Institute for Advanced Learning and Research, 150 Slayton Avenue, Room 206, Danville, Virginia. Present were City of Danville Members Chairman Fred O. Shanks, III, Sherman M. Saunders and Alternate J. Lee Vogler. Pittsylvania County Members present were Vice Chairman Robert W. Warren, Ronald S. Searce and Alternate Vic Ingram.

City/County staff members attending were: City Manager Ken Larking, Deputy City Manager Earl Reynolds, County Administrator David Smitherman, Assistant Director of Economic Development Corrie Bobe, Pittsylvania County Director of Economic Development Matt Rowe, Project Manager Susan McCullough, City of Danville Director of Finance Michael Adkins, City of Danville Accountant Henrietta Weaver, Christian & Barton Attorney Michael C. Guanzon, and Secretary to the Authority Susan DeMasi. Also present was Brian Bradner from Dewberry.

PUBLIC COMMENT PERIOD

No one present desired to be heard.

APPROVAL OF MINUTES OF THE DECEMBER 9, 2019 MEETING

Upon **Motion** by Mr. Saunders and **second** by Mr. Searce, Minutes of the December 9, 2019 Meeting were approved as presented. Draft copies had been distributed to Authority Members prior to the Meeting.

NEW BUSINESS

5A. ELECTION AND REAPPOINTMENT OF OFFICERS FOR CALENDAR YEAR 2020

RIFA Attorney Michael Guanzon explained under the by-laws, the terms for the officers are calendar year, not fiscal year; the Chairman and Vice Chairman shall be from different member localities. For the Calendar year 2020, the Board will have to have a Chairman from Pittsylvania County and a Vice Chairman from the City of Danville.

1. Election of Chairman from Pittsylvania County Member Locality (see Bylaws, Article VI, paragraph 1).

Mr. Searce **nominated** Robert Warren as Chairman of the Authority; the Motion was **seconded** by Mr. Saunders and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Saunders and Shanks (4)
NAY: None (0)

2. Election of Vice Chairman of the Authority from the Danville City Member Locality (see Bylaws, Article VI, paragraph 4).

Mr. Saunders **nominated** Fred Shanks as Vice Chairman of the Authority; the Motion was **seconded** by Mr. Warren and carried by the following vote:

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

VOTE: 4-0
AYE: Warren, Searce, Saunders and Shanks (4)
NAY: None (0)

3. Reappointment of the Secretary from the Authority's Staff.

Mr. Searce **moved** to reappoint Susan M. DeMasi as secretary of the Authority; the Motion was **seconded** by Mr. Saunders and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Saunders and Shanks (4)
NAY: None (0)

4. Reappointment of the Treasurer from the Authority's Staff.

Mr. Saunders **moved** to reappoint Michael Adkins as Treasurer of the Authority; the Motion was **seconded** by Mr. Warren and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Saunders and Shanks (4)
NAY: None (0)

Mr. Shanks handed the meeting over to Mr. Warren. Mr. Warren thanked Mr. Shanks for his leadership last year, and his commitment and dedication to the RIFA Board.

5B. CONSIDERATION OF RESOLUTION NO. 2020-01-13-5B

Mr. Guanzon explained this item was a renewal of the sod lease with Mountain View Farms of Virginia, for a portion of a lot in the Mega Park of about 30 acres, at a fee of \$1,200. The renewal includes a sixty day right of early termination.

Mr. Shanks **moved** for adoption of *Resolution No. 2020-01-13-5B, approving a one-year renewal of the lease with Mountain View Farms of Virginia, L.C., a Virginia limited liability company, as tenant, for that certain real property (being a portion of GPIN 1356-80-4414) of the Authority, containing approximately 30 acres and fronting on Stateline Bridge Road, in the Authority's Southern Virginia Megasite at Berry Hill project, in Pittsylvania County, Virginia, for the purpose of planting and harvesting sod, soybeans, and/or other cover crops, but not tobacco, at a total rental fee of \$1,200; such renewal also includes a 60-day early termination right and right to show the property to business recruits of the Authority.*

The Motion was **seconded** by Mr. Searce and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

5F. FINANCIAL STATUS REPORTS AS OF DECEMBER 31, 2019

Authority Treasurer Michael Adkins gave the Financial Status report as of December 31, 2019, beginning with the \$7.3M Cane Creek Bonds, with \$34,333 paid to Christian & Barton for legal

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

fees and \$695 to Dewberry for wetland monitoring. General Expenditures show RIFA paid \$67,703 to Christian & Barton, and \$150 to Clement Wheatley for legal fees, \$41 to the City and County for recordation fees, \$16,750 to Brown, Edwards for the Annual Audit, \$493 meals and \$31 for monthly utilities. Berry Hill Funding Other than Bonds showed RIFA expended \$44,125 to Dewberry for work under Amendment No. 27, Lot 4 Site Development shows RIFA paid \$4,875 to Dewberry and Lot 8 had no expenditures. For Water and Sewer, RIFA paid \$1,332,867 to Haymes Brothers for Phase 1 Sanitary Sewer work, \$63,276 to Dewberry for Amendment #17, and \$31,835 to Dewberry for Amendment No. 20. Rent, Interest and Other Income shows RIFA received \$25,412 from the Institute for the Hawkins' Building, \$571 in interest income, paid \$25,412 to the Institute for maintenance on the Hawkins' Building and also refunded Enviva \$10,000 as a return of their extension fee. Mr. Adkins noted page 30 shows the register of checks written and their amount. There were some large amounts mentioned for water and sewer work at the Mega Site; that was paid for by a grant administered by the County, RIFA did not write those checks.

Mr. Saunders **moved** to accept the Financial Report as presented. The Motion was **seconded** by Mr. Searce and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

5D. CONSIDERATION OF RESOLUTION 2020-01-13-5D IN RECOGNITION OF SERVICE OF TELLY D. TUCKER TO THE AUTHORITY

Mr. Saunders requested this Resolution be read into the minutes, and Authority Secretary Susan DeMasi read Resolution 2020-01-13-5D:

**AUTHORITY
RESOLUTION 2020-01-13-5D**

WHEREAS, the Pittsylvania County Board of Supervisors and the City of Danville developed an agreement to establish a Regional Industrial Facility Authority to provide economic development for the region; and

WHEREAS, this regional partnership requires significant cooperation and leadership to administer the economic development programs designed for the growth and the future of these two communities; and

WHEREAS, Telly D. Tucker has served the Danville-Pittsylvania Regional Industrial Facility Authority since July, 2014, as Director of Economic Development of the City of Danville, providing guidance and leadership necessary for the Authority to move forward in developing the future of the Danville-Pittsylvania County Region; and

WHEREAS, Telly D. Tucker, during his tenure, had 21 economic development announcements, including 10 with Pittsylvania County, resulting in 1,645 new jobs and nearly \$450M in capital investments, and showed his support of expanding the Precision Machining Program at George Washington High School; and

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

WHEREAS, Telly D. Tucker, working with the Authority, was instrumental in helping to bring to the region Kyocera, Overfinch, SGS Precision Tool, Unison, Harlow Fastech, Gefertec and Morgan Olson, LLC.

BE IT HEREBY RESOLVED, that the Members of the Board of Directors and Staff of the Danville-Pittsylvania Regional Industrial Facility Authority express their sincere appreciation for the service of Telly D. Tucker as the City of Danville Economic Development Director, working with the Danville-Pittsylvania Regional Industrial Facility Board of Directors, and recognize his devotion and duty, outstanding service to the Authority, exemplary leadership and wish him success in his future endeavors.

Given under my hand this 13th day of January 2020.

Chairman

Secretary to the Authority

Mr. Saunders moved for adoption of Resolution 2020-01-13-5D in Recognition of Service of Telly D. Tucker to the Authority. The Motion was seconded by Mr. Searce.

Mr. Shanks requested the Resolution as read be included in the minutes. Mr. Saunders noted Mr. Tucker did a great job, appreciated all he did for the region, wished him well for the future and thanked the staff who worked with Telly during his tenure here. Mr. Warren stated he had reached out to Mr. Tucker to let him know how much he appreciated what he had done for the region, he will be missed, and hopes he will have great success.

The **Motion** was carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

6. CLOSED SESSION

[During the closed session, all matters discussed shall involve receiving advice from legal counsel, and as such all communications during the closed session shall be considered attorney-client privileged.]

At 12:27 p.m. Mr. Shanks **moved** that the Meeting of the Danville-Pittsylvania Regional Industrial Facility Authority be recessed in a Closed Meeting for the following purposes:

A. As permitted by Section 2.2-3711(A)(5) of the Code of Virginia, 1950, as amended ("Virginia Code"), for discussion concerning one or more prospective businesses where no previous announcement has been made of that business's interest in locating its facilities in one or more of the Authority's projects located in Pittsylvania County, Virginia, and/or Danville, Virginia;

B. As permitted by Virginia Code § 2.2-3711(A)(39) for discussion or consideration of records excluded under Virginia Code § 2.2-3705.6(3) (including without limitation (i) those certain confidential proprietary records voluntarily provided by private business pursuant to a promise

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

of confidentiality from the Authority, and used by the Authority for business and trade development and (ii) those certain memoranda, working papers, or other information related to businesses that are considering locating or expanding in Virginia, prepared by the Authority, where competition or bargaining is involved and where disclosure of such information would adversely affect the financial interest of the Authority); such information being excluded from mandatory disclosure under Virginia Code § 2.2-3705.1(12) (information relating to the negotiation and award of a specific contract pertaining to the Authority's Southern Virginia Megasite at Berry Hill project, Cyber Park project and/or Cane Creek Centre project, where competition or bargaining is involved and where the release of such information would adversely affect the bargaining power or negotiating strategy of the Authority) and Virginia Code § 2.2-3705.1(8) (appraisals and cost estimates of real property in one or more of the Authority's projects subject to a proposed purchase, sale, or lease, prior to the completion of such purchase, sale, or lease); and

C. As permitted by Virginia Code §§ 2.2-3711(A)(3) for discussion or consideration of the acquisition and/or the disposition of publicly held real property, where discussion in an open meeting would adversely affect the bargaining position or negotiating strategy of the Authority.

The Motion was **seconded** by Mr. Searce and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

D. On **Motion** by Mr. Saunders and **second** by Mr. Searce and by unanimous vote at 1:45 p.m., the Authority returned to open meeting.

E. Mr. Shanks **moved** for adoption of the following Resolution:

WHEREAS, the Authority convened in Closed Meeting on this date pursuant to an affirmative recorded vote and in accordance with the provisions of the Freedom of Information Act; and

WHEREAS, Section 2.2-3711 of the Code of Virginia, 1950, as amended, requires a Certification by the Authority that such Closed Meeting was conducted in conformity with Virginia Law;

NOW, THEREFORE, BE IT RESOLVED that the Authority hereby certifies that, to the best of each Member's knowledge, (i) only public business matters lawfully exempted by the open meeting requirements of Virginia Law were discussed in the Closed Meeting to which this Certification Resolution applies, and (ii) only such public business matters as were identified in the motion convening the Closed Meeting were heard, discussed, or considered by the Authority.

The Motion was **seconded** by Mr. Searce and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

7. COMMUNICATIONS

Update - Amendment to Purchase and Sales Agreement – Enviva. Mr. Guanzon noted the parties have signed the Amendment, the deal has been canceled and RIFA will refund their \$10,000. That should free RIFA up to continue the Mega Site Certification Application.

Mr. Warren noted he needed a Motion to Amend the Agenda. Mr. Shanks moved to amend the agenda, the Motion was **seconded** by Mr. Searce and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

7A. CONSIDERATION OF RESOLUTION 2020-01-13-7A

Mr. Guanzon noted last year for MBC, RIFA approved a communications easement on Cain Street, fronting property of Cane Creek. They now want to build a shelter to protect their equipment and it will require a special use permit. The Motion that staff would request was the Authority obtain a special use permit for that purpose. Mr. Guanzon noted his recommendation was that it needed to be contingent upon Ken Gillie certifying that whatever permit they are using would not be detrimental to the Cane Creek Restrictive Covenants. Mr. Rowe explained there has been additional equipment there and they need the shelter. As the property owner, RIFA has to sign off on the application with Mid-Atlantic Broadband; MBC is the applicant and RIFA is the owner.

Mr. Searce **moved** to approve *Resolution 2020-01-13-7A, a Resolution authorizing Authority staff to apply for a special use permit in support of Resolution No. 2019-06-10-5B, subject to a report by the City of Danville, Virginia's Zoning Administrator that the special use permit will not be in conflict with the Authority's Cane Creek Centre Industrial Park Project's Restrictive Covenants.*

The Motion was **seconded** by Mr. Shanks and carried by the following vote:

VOTE: 4-0
AYE: Warren, Searce, Shanks, Saunders (4)
NAY: None (0)

Update on Weatherford Property Acquisition. Pittsylvania County Director of Economic Development Matt Rowe explained RIFA has this property under contract. Once due diligence had been done with Dewberry, the County and City, staff found some personal items from an absentee tenant. Staff informed the property owner of the need to try to contact that tenant. They have sent a letter to the last known address and staff has extended that due diligence period to allow them to mitigate those issues. Counsel has sent several options to staff; the County staff has weighed in on those options and are waiting on feedback from City staff. If everyone was in agreement, the Authority Attorney will approach the other party with the option and the best way to move forward.

Mr. Searce thanked Mr. Shanks for his leadership last year and appreciated Mr. Warren stepping up to lead RIFA this year.

DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY

Minutes

January 13, 2020

Mr. Ingram noted he was glad to be there.

Mr. Warren welcomed Mr. Ingram to the RIFA board and looked forward to his service, thanked staff for their excellent reporting today and the great job they do all the time.

Mr. Rowe thanked his colleague and good friend Telly Tucker for his service; they did a lot of traveling together and worked closely together. He was a great guy and a better man, more so than he was an economic development director and he was a heck of an economic development director. He will be deeply missed, wished him the best and looked forward to working with Ms. Bobe and her staff to take the partnership to the next level. Mr. Rowe stated he thinks there are some really good things ahead for the City and County.

Ms. Bobe noted she had run this past the Authority Attorney to see if a formal resolution was needed and he noted it would be approved at the staff level. As part of Harlow Fastech's Performance Agreement, they were allowed up to \$165,000 for equipment purchases; they came in significantly under budget. They then supplied invoices of additional equipment that they would like to acquire. Ms. Bobe noted in reading through the performance agreement, staff can review those and make the appropriate approvals. They have submitted four additional items they would like to acquire that would bring them up to \$165,000; staff wanted to make the Board aware of that.

Meeting adjourned at 1:57 p.m.

APPROVED:

Chairman

Secretary to the Authority

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 5A
Meeting Date:	02/10/2020
Subject:	Resolution 2020-02-10-5A
From:	Matthew D. Rowe, Director of Economic Development, Pittsylvania County, and Michael C. Guanzon, Esq., Legal Counsel to the Authority

SUMMARY

The RIFA Board will be asked to approve Resolution 2020-02-10-5A Approving a Contract of Sale with RealtyLink Investments for Lot 6A in Cane Creek Centre.

ATTACHMENTS

Resolution 2020-02-10-5A
Exhibit A

A RESOLUTION APPROVING THAT CERTAIN CONTRACT OF SALE WITH REALTYLINK INVESTMENTS, LLC, A SOUTH CAROLINA LIMITED LIABILITY COMPANY, AS PURCHASER, FOR THE PURCHASE OF CERTAIN REAL PROPERTY CONTAINING APPROXIMATELY 19.073 ACRES (PART OF PITTSYLVANIA COUNTY GPIN 2347-03-7452 AND DANVILLE PIN 77193), MORE COMMONLY KNOWN AS LOT 6A, LOCATED IN THE AUTHORITY'S CANE CREEK CENTRE INDUSTRIAL PARK, AT A PURCHASE PRICE OF \$572,190; WHERE \$100,000 WILL BE PAID IN IMMEDIATELY AVAILABLE FUNDS AT CLOSING OF THE TRANSACTION, AND THE REMAINDER OF THE PURCHASE PRICE EVIDENCED BY A PROMISSORY NOTE, TO BE GUARANTEED BY REALTY LINK USA, LLC, A SOUTH CAROLINA LIMITED LIABILITY COMPANY, THAT WILL BE FORGIVEN OR CANCELLED UPON THE SUBSTANTIAL COMPLETION OF THE CONSTRUCTION OR INSTALLATION OF A SHELL BUILDING SUITABLE FOR LIGHT INDUSTRIAL USE, PURSUANT TO THE TERMS OF THE CONTRACT OF SALE AND SUCH PROMISSORY NOTE

WHEREAS, the Danville-Pittsylvania Regional Industrial Facility Authority (the **"Authority"**) is a political subdivision of the Commonwealth of Virginia duly created pursuant to the Virginia Regional Industrial Facilities Act, as amended; and

WHEREAS, the Authority, the City of Danville, Virginia (the **"City"**), and the County of Pittsylvania County, Virginia (the **"County"**), in order to stimulate economic growth and development of the community by creating jobs and infrastructure have agreed to provide incentives to new and expanding businesses which conduct industrial activity; and

WHEREAS, pursuant to Resolution No. 2019-09-09-5B, the Authority authorized the negotiation, execution and delivery of a contract of sale with RealtyLink – Tennessee, LLC, a Tennessee limited liability company (**"RealtyLink-TN"**) for the purchase of certain real property containing approximately 19.073 acres (part of Pittsylvania County GPIN 2347-03-7452 and Danville PIN 77193), more commonly known as **Lot 6A** (the **"Property"**), located in the Authority's Cane Creek Centre Industrial Park (**"Cane Creek"**), located in both the County and City; and

WHEREAS, the Authority now desires to sell, at the request of RealtyLink-TN, the Property to RealtyLink Investments, LLC, a South Carolina limited liability company (**"RealtyLink-INV"**), an affiliate of RealtyLink-TN, under the following minimum business terms:

- (i) the purchase price of \$572,190.00, which the Authority has determined to be fair market value at \$30,000.00 per acre; where \$100,000.00 will paid in immediately available funds at closing of the transaction, and the remainder of the purchase price will be evidenced by a promissory note (the **"Promissory Note"**) from VA Danville CC L6, LLC, a South Carolina

Resolution No. 2020-02-10-5A

limited liability company (“**Borrower**”), that will be forgiven or cancelled upon the substantial completion of the construction or installation of a shell building, containing approximately 100,000 square feet of space, suitable for light industrial use within 365 days from the date of closing of the Contract of Sale (as defined herein); and

- (ii) The Promissory Note will be guaranteed by Borrower’s parent company, RealtyLink USA, LLC, a South Carolina limited liability company (“**RealtyLink-USA**”), and become immediately due and payable if the shell building is not substantially completed within 365 days from the date of closing of the Contract of Sale (as defined herein);

and

WHEREAS, the Authority has reviewed and desires to enter into that certain Contract of Sale (the “**Contract of Sale**”) with RealtyLink-INV as purchaser, for the sale of the Property (which includes the Promissory Note as Exhibit C to the Contract of Sale), in substantially the form shown on **Exhibit A**, attached hereto and incorporated herein by this reference; and

WHEREAS, the Authority’s staff has reviewed the financial statements of RealtyLink-USA and deems them acceptable for RealtyLink-USA’s guaranty of the Promissory Note; and

WHEREAS, the Authority desires to have this Resolution supersede all prior resolutions regarding the sale or ground lease of the Property, including but not limited to, Resolution No. 2019-09-09-5B; and

WHEREAS, the Authority has determined that it is in the best interests of the Authority, the citizens of the County and the City, and the development of the Cane Creek project for the Authority to approve, to execute and to deliver the Contract of Sale.

NOW, THEREFORE, BE IT RESOLVED, that

1. The Authority hereby approves the Contract of Sale as set forth in **Exhibit A**, together with such amendments, deletions or additions thereto as may be approved by the Chairman or Vice Chairman of the Authority, either of whom may act independently of the other, and hereby authorizes the Chairman or Vice Chairman of the Authority, either of whom may act independently of the other, to execute and deliver the Contract of Sale on behalf of the Authority, such execution of the Contract of Sale by the Chairman and/or Vice Chairman, as the case may be, to conclusively establish his approval of any amendments, deletions or additions thereto.

2. The Authority hereby authorizes and directs staff and other agents and representatives working on behalf of the Authority to take such actions and to do all such

Resolution No. 2020-02-10-5A

things as are contemplated by the Contract of Sale, or as they in their discretion deem necessary or appropriate in order to carry out the intent and purposes of these resolutions.

3. The Authority hereby approves, ratifies and confirms any and all actions previously taken by the Authority, its agents and representatives, in respect to the Contract of Sale and the matters contemplated therein.

4. This Resolution shall take effect immediately upon its adoption.

- # -

CERTIFICATE

I, the undersigned Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority, hereby certify that the foregoing is a true, correct and complete copy of a Resolution duly adopted by a majority of the directors of the Danville-Pittsylvania Regional Industrial Facility Authority at a regular meeting duly called and held on February 10, 2020, and that such Resolution has not been repealed, revoked, rescinded or amended, but is in full force and effect on the date hereof.

WITNESS my hand as Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority this 10th day of February 2020.

(SEAL)

SUSAN M. DeMASI, Secretary
Danville-Pittsylvania Regional Industrial
Facility Authority

Exhibit A

(The Contract of Sale)

THIS CONTRACT OF SALE (this "**Contract**") is made as of the ____ day of January 2020 (the "**Effective Date**"), by and between **DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY**, a political subdivision of the Commonwealth of Virginia ("**Seller**"), and **REALTYLINK INVESTMENTS, LLC**, a South Carolina limited liability company, or its permitted assignee ("**Purchaser**").

RECITALS

WHEREAS, Seller and RealtyLink - Tennessee, LLC, a Tennessee limited liability company ("**RLT**"), an affiliate of Purchaser, entered into that certain License Agreement (the "**License Agreement**") dated July 29, 2019, to store personal property on **Lot 6A** (as described below), with the intention of executing a ground lease; and

WHEREAS, pursuant to the License Agreement, the ground lease as contemplated to be negotiated and executed would have expired on January 25, 2020, but now RLT desires to have Purchaser purchase the Property (as defined below) from Seller in accordance with the terms of this Contract.

AGREEMENT

In consideration of the mutual covenants hereinafter set forth and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

ARTICLE I **The Property**

Section 1.1. **Agreement to Sell and Purchase the Property.** Subject to the terms and conditions of this Contract, Seller agrees to sell, assign and transfer, or cause to be sold, assigned and transferred, to Purchaser and Purchaser agrees to purchase, acquire, and accept from Seller, a portion of that certain lot, piece or parcel of land, together with all rights easements and appurtenances pertaining thereto, situate in Pittsylvania County, Virginia and Danville, Virginia, more commonly known as **Lot 6A** (part of County of Pittsylvania, Virginia GPIN 2347-03-7452 and Danville, Virginia PIN 77193) in Seller's Cane Creek Centre Industrial Park, to contain approximately 19.073 acres (the "**Property**") as described on **Exhibit A** attached hereto. The sale of the Property shall include the sale of any tangible personal property of Seller located on the Property, which shall be conveyed at Closing (as hereafter defined), "**AS IS**", "**WHERE IS**", and "**WITH ALL FAULTS**".

Section 1.2. **Amendment to the License Agreement.** Seller hereby amends, and Purchaser shall cause RLT to promptly amend the License Agreement by replacing the ground lease provisions to reflect the provisions of Section 1.1 above, and the License Agreement's term shall be extended until the Closing (as hereinafter defined).

ARTICLE II

Purchase Price and Building Construction/Installation

Section 2.1. Payment of Purchase Price. The purchase price of the Property is **THIRTY THOUSAND AND 00/100 DOLLARS** (\$30,000.00) per acre (the "**Purchase Price**"), subject to prorations and adjustments as set forth herein, payable by Purchaser to Seller at the closing of the transactions contemplated hereunder (the "**Closing**"). The Purchase Price shall be payable as follows: (i) **ONE HUNDRED THOUSAND and 00/100 DOLLARS** (\$100,000.00) by immediately available funds at Closing, and (ii) the remaining amount (estimated to be **FOUR HUNDRED SEVENTY TWO THOUSAND ONE HUNDRED NINETY AND 00/100 DOLLARS** (\$472,190.00)) in the form of a promissory note in the form attached hereto as **Exhibit C** ("**RIFA Promissory Note**"). The acreage shall be determined by the tax records or if Purchaser obtains a survey to be recorded at Closing, such survey.

ARTICLE III

Inspection Period

Section 3.1. Access to Property. Beginning on the date of this Contract, and ending on a date that is one hundred twenty (120) days after the Effective Date, at 11:59 P.M. (the "**Inspection Period**"), unless this Contract is terminated prior to the end of the Inspection Period, Purchaser, its agents, employees, representatives and contractors, at Purchaser's sole cost and expense, shall have the right, after the execution of this Contract, to enter upon the Property to perform such tests, inspections and examinations of the Property as Purchaser deems advisable (collectively, the "**Investigations**"), including all matters of survey, flood plain of the Property, the availability of utilities, zoning and building code and other applicable governmental regulation compliance in connection with the Property and the use thereof. Without limiting the foregoing, Purchaser shall have the right to conduct any environmental testing and inspection of the Property that Purchaser deems advisable during the Inspection Period, including without limitation any testing or examination for the presence in, on, or under the Property of any Hazardous Materials (as hereafter defined), which tests and inspections shall be included within the definition of "**Investigations**". For such purposes, Purchaser, its agents, employees, representatives and contractors, may enter upon the Property and do all things necessary in connection therewith, provided they do not materially damage the Property and provided the Property is promptly restored to the condition that existed prior to such Investigations. Purchaser shall indemnify, defend, and hold harmless Seller, its directors, employees and agents from and against all cost, loss, damage and expense, including without limitation reasonable attorneys' fees and claims and/or damages arising out of Purchaser's, its agents', employees', representatives', or contractors' activities upon the Property pursuant to this paragraph. In the event this Contract is terminated, the Purchaser shall promptly furnish to Seller, at no expense to Seller, and without warranty as to their contents or the completeness of the disclosure, copies of any and all third party inspection reports received by Purchaser that are not proprietary information related to any Investigations performed on the Property. For the purposes hereof, the physical condition of the Property, or the title to the Property shall not be deemed proprietary to Purchaser.

"Hazardous Materials" shall mean and include, but shall not be limited to, any oil, petroleum product and any hazardous or toxic wastes or substances, any substances which because of their quantitative concentration, chemical, radioactive, flammable, explosive, infectious or other characteristics, constitute or may reasonably be expected to constitute or contribute to a danger or hazard to public health, safety or welfare or to the environment, including without limitation, asbestos (whether or not friable) and any asbestos containing materials, lead paint, waste oils, solvents and chlorinated oils, polychlorinated biphenals (PCB's), toxic metals, pickling and plating wastes, explosives, reactive metals and compounds, pesticides, herbicides, radon gas, urea formaldehyde foam insulation, and chemical, biological and radioactive wastes, or any other similar materials which are included under or regulated by any applicable federal, state, or local law, rule or regulation (whether now existing or hereafter enacted or promulgated, as they may be amended from time to time) pertaining to environmental regulations or laws.

In consideration of the grant of the Inspection Period, Purchaser shall pay to Stewart Title Guaranty Company, as Escrow Agent, a Deposit in the sum of **FIVE HUNDRED AND 00/100 DOLLARS** (\$500.00) (the "**Deposit**") upon the execution of this Contract, to be held and disbursed by Escrow Agent as hereafter provided.

Section 3.2. Right to Terminate During Inspection Period. If Purchaser is not satisfied in its sole discretion with the condition of the Property, Purchaser shall have the right, upon Seller's receipt of written notice from Purchaser prior to the end of the Inspection Period, **TIME BEING OF THE ESSENCE**, to terminate this Contract, in which event both Seller and Purchaser shall thereafter be relieved from any and all liability under this Contract except as otherwise provided in this Contract; provided, however, that Seller shall retain the Deposit unless the termination by Purchaser (i) is a Noncompliance Termination (as hereafter defined) or (ii) occurred prior to the expiration of the Inspection Period. In case of either event (i) or (ii) in the preceding sentence, the Deposit shall be refunded to Purchaser.

Section 3.3. Application of the Deposit. The Deposit shall be applied to the Purchase Price at the Closing. Except for a termination by Purchaser prior to the expiration of the Inspection Period or a Noncompliance Termination (as hereafter defined), the parties agree that the Deposit shall be nonrefundable as consideration for the grant to Purchaser of the Inspection Period. If a termination by Purchaser prior to the expiration of the Inspection Period or a Noncompliance Termination occurs, Seller shall cause Escrow Agent to promptly return the Deposit to Purchaser upon such termination. "**Noncompliance Termination**" shall mean any termination by Purchaser which results from (a) any material breach of this Contract by Seller and all applicable cure periods have expired; (b) Seller's inability to convey to Purchaser good, insurable and marketable title to the Property, subject only to the Permitted Exceptions (as hereafter defined); (c) Purchaser's inability to obtain an owner's title insurance policy at standard rates, subject to the Permitted Exceptions (as hereafter defined), after good faith efforts to obtain such a policy; or (d) the presence of any Hazardous Materials on or in the Property in violation of any applicable federal, state, or local laws or regulations, which violation(s) is not cured by Seller, at Seller's option, within ninety (90) days after receipt by Seller of written notice from Purchaser of the nature and location of such Hazardous Materials on or in the Property.

ARTICLE IV

Conditions to the Parties' Obligations

Section 4.1. In General. If any one or more of the conditions to a party's obligations listed in this Article are not satisfied within the period of time specified, such party may (i) waive the condition and proceed to the Closing, subject to any other conditions which may be required to be satisfied thereafter, (ii) terminate this Contract by written notice to the other party, or (iii) if the condition relates to the failure of the other party to perform its obligations hereunder, pursue its legal rights and remedies available on account of such nonperformance. If a party terminates this Contract, neither party thereafter shall have any further liability hereunder except as otherwise provided in this Contract. Unless the parties otherwise agree in writing, the satisfaction or waiver of a condition to a party's obligations shall not affect the liability of the other party with respect to any of its representations or warranties relating to the same subject matter.

Section 4.2. Conditions to Purchaser's Obligations. Purchaser's obligation to proceed to Closing under this Contract is subject to the satisfaction of the following conditions on or before the Closing:

(a) Seller's Representations and Warranties. Except as otherwise stated in the representations and warranties, all of the representations and warranties of Seller set forth in this Contract shall be true and correct in all material respects as of the Closing.

(b) Closing Documents. All of the documents required under this Contract to be executed and/or delivered by Seller on or before Closing shall have been so executed and delivered.

(c) Performance by Seller. Seller shall have performed in all material respects all of its other obligations required to have been performed hereunder on or before the Closing.

(d) Title. Purchaser at its expense shall be able to obtain, from a title insurance company doing business in the Commonwealth of Virginia, a commitment for an owner's policy of title insurance for the property (the "**Title Commitment**"). The Title Commitment shall contain, as exceptions to title, only those exceptions (a) any utility easements located on the Property which do not materially adversely affect the use of the Property for Purchaser's Use, (b) listed on Schedule 4.2(d), attached to this Contract and incorporated herein by this reference, (c) any other exceptions that do not materially affect the use of, or marketability of title to, the Property as reasonably determined by Purchaser, and (d) any other exceptions agreed by the parties (collectively, the "**Permitted Exceptions**"). If Purchaser fails to object to any exception to title (other than the Permitted Exceptions) before the end of the Inspection Period, all exceptions shall be deemed to be satisfied. If Purchaser objects to any exception (other than the Permitted Exceptions), Seller shall be under no obligation to cause such exception to be removed. If, in such case, Seller is unable or unwilling to cause such exception to be removed, Purchaser may either terminate this Contract prior to the end of the Inspection Period, or accept the exception and proceed to Closing.

(e) Survey. Purchaser, at Purchaser's expense, may have the Property surveyed by a Virginia registered land surveyor, to provide a survey within the Inspection Period. If the survey shows an encroachments on the land herein described, or that there are any easements or roadways on the land, other than public utility easements acceptable to Purchaser, or referred to in this Contract, written notice to that effect shall be given to Seller and such situation shall be treated in the same manner as title defects as set forth in Section 4.2(d) above. Said survey shall include all topographical and utility data, improvements and the adjacent driveways.

(f) Board Approval. Seller shall provide a true and correct copy of the board resolution authorizing the form and execution of this Contract by Seller.

(g) Monetary Liens. Seller shall pay or otherwise discharge as a monetary lien against the Property all mortgages, deeds of trust and other consensual monetary liens against the Property, which can be satisfied by payment of a fixed amount prior to or at the Closing. In the event of such a payment at Closing, payment may be evidenced by a payment from the sale proceeds shown on the settlement statement signed by the parties on or before Closing.

Section 4.3. Conditions to Seller's Obligations. Seller's obligation to proceed to Closing under this Contract is subject to the satisfaction of the following conditions on or before the Closing:

(a) Purchaser's Representations and Warranties. All of the representations and warranties of Purchaser hereunder shall be true and correct in all material respects as of the Closing.

(b) Closing Obligation. Purchaser shall have delivered the Purchase Price at Closing in accordance with this Contract and the RIFA Promissory Note duly executed by the parties therein.

(c) Performance by Purchaser. Purchaser shall have performed in all material respects all of its obligations required to have been performed hereunder on or before the Closing.

ARTICLE V

Representations and Warranties

Section 5.1. Representations and Warranties of Seller. Seller represents and warrants to Purchaser as follows:

(a) Seller is the sole owner of the Property and is a political subdivision of the Commonwealth of Virginia, and has the power and authority to execute and deliver this Contract and to consummate the transactions contemplated hereunder.

(b) There are no parties, other than Seller and RLT, in possession of any portion of the Property as lessees, and there are no leases applicable to or affecting the Property.

(c) There are no options or other contracts granted or entered into which are still outstanding which give any other party a right to purchase any interest in the Property.

(d) To Seller's knowledge, there are no condemnation or eminent domain proceedings pending or contemplated against the Property.

Section 5.2. Representations and Warranties of Purchaser. Purchaser represents and warrants to Seller as follows:

(a) Purchaser has the power and authority to execute and deliver this Contract and to consummate the transactions contemplated hereunder.

(b) Purchaser shall be as of Closing in good standing in its state of domicile and be authorized to transact business in Virginia.

(c) The execution and performance of this Contract by Purchaser shall not violate any agreement Purchaser has with any third parties.

(d) Purchaser is not acting, directly or indirectly, for or on behalf of any person, group, entity or nation named by any Executive Order or the United States Treasury Department as a terrorist, "**Specially Designated National and Blocked Person**" or any other banned or blocked person, entity, nation or transaction pursuant to any law, order, rule or regulation that is enforced or administered by the Office of Foreign Assets Control; and Purchaser is not engaged in this transaction, directly or indirectly on behalf of, or instigating or facilitating this transaction, directly or indirectly on behalf of, any such person, group, entity or nation.

(e) RealtyLink USA, LLC, is in good standing in the State of South Carolina, and South and South, LLC, a South Carolina limited liability company, Key Ventures, LLC, a South Carolina limited liability company, and Real Estate Development Services, LLC, a South Carolina limited liability company, are the sole members thereof.

ARTICLE VI

Special Provisions

Section 6.1. Assignment of Contract.

(a) By Seller. Without the prior written consent of Purchaser, Seller may assign all or any portion of this Contract. Seller shall provide notice to Purchaser as soon as possible but no less than ten (10) days prior to Closing.

(b) By Purchaser. Purchaser may not assign this Contract or any part thereof without the prior written consent of Seller; however, Purchaser may assign this Contract jointly to an Affiliate (as hereafter defined) and an Investor (as hereinafter defined); provided, in such event, that Purchaser and such entities, jointly and severally, shall be liable for the obligations of Purchaser under this Contract. For the purposes herein, an "**Affiliate**" shall mean any firm or entity

which is owned by Purchaser or owned or controlled by any entity which owns or controls Purchaser. For the purposes herein, an entity shall be deemed to own or control another entity if it owns more than fifty percent (50%) of the beneficial interest therein, or can direct one or more actions by the entity or is required to consent to one or more actions by such entity. For the purposes herein, an "**Investor**" shall mean any individual, trust, firm or entity which has entered into a written agreement with an Affiliate to jointly own and develop the Property as tenants-in-common.

Section 6.2. Real Estate Commissions. Seller shall be solely responsible for any fees, commissions, or other compensation, which may be due and payable to Marcus & Millichap, Inc. Except as provided in the preceding sentence and except for any fees payable by Seller, if any, no commissions are due and owing any real estate broker or salesperson in connection with this transaction. Purchaser shall hereby indemnify, save and hold harmless Seller from and against any claim for any other real estate or sales commission or similar fee, which claim results from an allegation that Purchaser employed any broker or agent or agreed to compensate such broker or agent in connection with this transaction.

Section 6.3. Condition of Property, etc. Except as expressly set forth in this Contract, Seller has not made any representations or warranties as to the condition of the Property, the current or anticipated income or expenses of the Property, the status of title to the Property, the compliance of the Property with applicable building codes or applicable zoning, environmental or other laws, ordinances or regulations, or any other matter whatsoever. Purchaser acknowledges that it must make its own determination as to such matters and as to the suitability of the Property generally. Accordingly, subject only to its right of termination during the Inspection Period and the conditions to Purchaser's obligations set forth in Article IV, Purchaser shall purchase the Property "**AS IS**", "**WHERE IS**", and "**WITH ALL FAULTS**".

Section 6.4. Due Diligence Deliveries. Within ten (10) business days after the Effective Date, Seller will use its reasonable efforts to provide Purchaser with copies of all existing documents including but not limited to environmental studies, surveys, site studies, civil engineering plans, soil compaction and geotechnical reports, wetland determination, tax records, appraisals, title policies and any other documents which relate to the Property (collectively, the "**Property Information Documents**"), if such documents are in Seller's actual possession. After the ten- (10) day period has lapsed provided for under this Section 6.4, Purchaser may request, in writing, additional Property Information Documents and Seller shall use its reasonable efforts to promptly deliver such additional Property Information Documents. However, if Seller is not able to reasonably locate such additional Property Information Documents requested by Purchaser, Seller shall notify Purchaser in writing. In no event shall such request for additional Property Information Documents extend the Inspection Period. Any and all Property Information Documents provided to Purchaser shall be without warranty as to their contents or the completeness of the disclosure.

In the event this Contract is terminated for whatever reason, Purchaser shall promptly return to Seller all such documents and written materials provided by Seller. This provision shall specifically and without limitation survive the termination of this Contract. Notwithstanding the obligation of Seller under this Section 6.4 to provide the Property Information Documents,

Purchaser acknowledges its independent obligation to conduct its due diligence review of the Property as Purchaser alone deems necessary. Accordingly, should Purchaser determine that the Property Information Documents provided above are incomplete or insufficient to conduct its due diligence review to its satisfaction, Purchaser shall exercise its right to terminate this Contract as set forth in Article III above, on or before the end of the Inspection Period. Until the Closing occurs, Purchaser shall keep the Property Information Documents confidential and subject to Section 8.8 below, shall limit the use of those documents for the sole purpose of its due diligence review of the Property and for no other purpose. Notwithstanding the above, Seller acknowledges that the Property Information Documents will be shared with the attorneys, accountants, brokers, appraisers and financial advisors engaged in connection with this transaction and members, partners, officers and employees of Purchaser and Seller as necessary to approve and consummate this transaction who shall also have the privilege of reviewing any Property Information Documents provided by the Seller. The provisions of the preceding sentence shall, specifically and without limitation, survive the termination of this Contract for whatever reason.

ARTICLE VII

Closing

Section 7.1. Date and Place of Closing. The Closing shall take place within thirty (30) days after the expiration of the Inspection Period, **TIME BEING OF THE ESSENCE** unless waived by Seller. Closing and delivery of all documents shall take place at the office of the Escrow Agent, and shall be handled by mail. Settlement (disbursement of funds) shall be handled by Stewart Title Guaranty Company Washington D.C. Office which is a licensed agent of the Commonwealth of Virginia complying with all rules and regulations related to property being handled in Virginia.

Section 7.2. (a) Deliveries by Seller. Seller shall execute as appropriate and deliver to Purchaser the following documents:

(i) A general warranty deed (the "**Deed**") conveying title to the Property to Purchaser subject only to encumbrances permitted by this Contract;

(ii) Seller shall deliver proper authority documentation authorizing this Contract and the transaction contemplated hereby.

(iii) Seller's affidavit or lien waiver for the purpose of removing any mechanics' lien exception from any title insurance policy to be issued in connection with the purchase, Seller shall provide Seller's form of affidavit or lien waiver for approval by title company;

(iv) a termination of the License Agreement executed by RLT; and

(v) Any other certificate, document, or statement as may be reasonably necessary in order to consummate the transactions contemplated.

(b) Deliveries by Purchaser. At the Closing, Purchaser shall deliver the following:

- (i) The Purchase Price in immediately available funds and the RIFA Promissory Note;
- (ii) Purchaser shall deliver proper authority documentation authorizing this Contract and the transaction contemplated hereby;
- (iii) A termination of the License Agreement executed by RLT; and
- (iv) Any other certificate, document, or statement as may be reasonably necessary in order to consummate the transactions contemplated.

Section 7.3. Prorations. Rents, real estate taxes including any rollback taxes and assessments, and such other matters as are customarily apportioned in transactions similar to the transaction contemplated by this Contract shall be prorated between Seller and Purchaser on a per diem basis as of the Closing. Seller shall be responsible for all periods prior to Closing, whether due in the calendar year of Closing or due in subsequent years.

Section 7.4. Closing Costs.

(a) Generally. Purchaser shall pay all costs incurred in consummating the transactions contemplated hereunder, including without limitation, the cost of Purchaser's title insurance policy, the cost of the Investigations, the cost of any surveys and all recording taxes and fees for the Deed and all other recorded documents, other than any grantor's tax on recordation of the Deed which shall be paid by Seller and payment pursuant to Section 4.2(e). Each party shall pay its respective attorneys' fees. Seller shall be responsible for the cost of preparation of the Deed.

ARTICLE VIII

Miscellaneous

Section 8.1. Survival. The provisions of this Contract shall survive the Closing or earlier termination of this Contract.

Section 8.2. Successors and Assigns. This Contract shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, personal representatives, successors and permitted assigns.

Section 8.3. Notices. Except as otherwise provided and/or required for a termination notice under Section 3.2 above, any notice required or contemplated to be given to a party by the other party shall be in writing and shall be given by hand delivery or a private courier service (e.g., Federal Express, UPS, DHL Express, etc.) which provides evidence of receipt as part of its service, as follows:

To Seller:

Danville-Pittsylvania Regional Industrial
Facility Authority
Attn: Susan M. DeMasi, Authority, Secretary
427 Patton Street
Danville, VA 24541

(For informational purposes only)
Telephone: (434) 797-8928
Email: demassm@danvilleva.gov

With a courtesy copy to:

Christian & Barton, LLP
Attn: Michael C. Guanzon
909 East Main Street
Suite 1200
Richmond, VA 23219

(For informational purposes only)
Telephone: (804) 697-4133
Email: mguanzon@cblaw.com

To Purchaser:

RealtyLink Investments,, LLC
Attn: Maude Davis
201 Riverplace, Suite 400
Greenville, SC 29601

(For informational purposes only)
Telephone: (864) 263-5410
Email: mdavis@realtylinkdev.com; and
cc to: operddomo@realtylinkdev.com

To Escrow Agent:

Stewart Title Guaranty Company
5935 Carnegie Blvd, Suite 301
Charlotte, NC 28209
Attn: Danielle Howell

(For informational purposes only)
Telephone: (704) 401-2026
Email: dhowell@stewart.com; and
cc to: monique.saxbury@stewart.com

With a courtesy copy to:

Brett D, Budlong
Graybill, Lansche & Vinzani, LLC
225 Seven Farms Drive, Suite 207
Charleston, SC 29492

(For informational purposes only)
Telephone: (843) 628-3737
Email: bbudlong@glvlawfirm.com

Any party may change the address to which notices hereunder are to be sent to it by giving written notice of such change in the manner provided herein. A notice given under this Contract shall be deemed given on the date of hand delivery or delivery to a courier service properly addressed with all charges prepaid, as appropriate. Rejection or other refusal to accept or the inability to deliver because of a changed address of which no notice was given shall not invalidate the effectiveness of any notice, demand, request, or other communication. Copies hereunder are provided as a matter of courtesy and shall not constitute notice themselves.

Section 8.4. Consents and Approvals. All consents and approvals required or permitted by this Contract shall be in writing, shall be signed by the party from whom the consent or approval is sought and, unless otherwise provided herein, may be withheld by such party in its sole discretion.

Section 8.5. Amendments. This Contract may only be amended, supplemented or terminated in writing, signed by the parties hereto.

Section 8.6. Counterparts. This Contract may be executed in any number of counterparts, each of which shall be an original and all of which together shall constitute but one and the same instrument. A facsimile or scanned copy (*.pdf) signature to this Contract shall have the same effect as an original for all purposes.

Section 8.7. Governing Law. This Contract shall be governed by the laws of the Commonwealth of Virginia. The parties hereby submit to the exclusive jurisdiction of the state court located in Pittsylvania County, Virginia, or the U.S. District Court for the Western District of Virginia (Danville Division), in any action or proceeding arising out of, or related to this Contract, and the parties hereby agree that all claims in respect of any action or proceeding shall be heard or determined only in either of these courts. The parties agree that a final judgment in any action or proceeding shall, to the extent permitted by applicable law, be conclusive and may be enforced in other jurisdictions by suit on the judgment, or in any other manner provided by applicable law related to the enforcement of judgments. If any ambiguity or question of intent or interpretation arises, this Contract shall be construed as if drafted jointly by the parties and no presumptions or burden of proof shall arise favoring or disfavoring any party by virtue of authorship of any of the provisions of this Contract.

Section 8.8. Confidentiality. The parties hereto shall keep confidential all information and terms related to this transaction. However, information with respect to this transaction may be disclosed to the attorneys, accountants, brokers, appraisers and financial advisors engaged in connection with this transaction and members, partners, officers and employees of Purchaser and Seller as necessary to approve and consummate this transaction.

Section 8.9. Pittsylvania County Promissory Note. Purchaser and Seller acknowledge that Purchaser expects to receive funds from Pittsylvania County as addressed in a promissory note in the principal amount of \$800,000.00 with Pittsylvania County as lender (the “**Pittsylvania Promissory Note**”). It is understood and hereby agreed, that the funds evidenced by the Pittsylvania Promissory Note, if delivered to Seller, shall be made available to Purchaser at the Closing of this transaction. The executed Pittsylvania Promissory Note with agreed upon terms and conditions is attached hereto as **Exhibit B**.

Section 8.10 Adjacent Parcel. Purchaser and Seller hereby acknowledge that Pittsylvania County has applied for a state grant in the amount of \$200,000.00 to be used for the purchase of additional property (owned by Alice R. Grogan Estate, Will Instrument #03-0136) adjacent to the Property, as shown on **Exhibit D** (the “**Adjacent Parcel**”). In the event that Pittsylvania County is successful in obtaining a state grant in the amount of \$200,000.00, the parties expect that Pittsylvania County will purchase (or cause to be purchased) the Adjacent Parcel and cause the

demolition of all structures and pavement on the Adjacent Parcel. In addition, Seller shall request Pittsylvania County to limit and to restrict its use of the Adjacent Parcel for landscaping and/or parking use only.

Section 8.11 Further Assurances. After the Closing, each party to this Contract shall, upon the request of the other party, execute and deliver such other documents and take such further action as may be reasonably necessary or proper to carry out the purposes of this Contract.

Section 8.12. Interpretation. For purposes of construing this Contract, unless the context otherwise indicates, words in the singular number shall include words in the plural number, and vice versa, and words in one gender shall be deemed to include words in the other genders. The titles to articles and headings for sections and paragraphs in this Contract are for convenience only and neither limit nor amplify the provisions of this Contract.

Section 8.13. Deferred Exchange. Each of Seller and Purchaser may consummate its sale or acquisition of the Property as part of a so-called like kind exchange (the “**Exchange**”) pursuant to Section 1031 of the Internal Revenue Code (“**Code**”), provided that (i) the Closing shall not be delayed or affected by reason of the Exchange, nor shall the consummation or accomplishment of the Exchange be a condition to either party’s obligations under this Contract; (ii) the party electing the Exchange (the “**Electing Party**”) may effect the Exchange through an assignment of this Contract, or its rights under this Contract, to a qualified intermediary (notwithstanding Section 6.1); and (iii) the Electing Party shall pay any additional costs that would not otherwise have been incurred by the other party had the Electing Party not consummated this transaction through the Exchange. The non-Electing Party shall not by this Contract or acquiescence to the Exchange proposed by the Electing Party have its rights under this Contract affected or diminished in any manner or be responsible for compliance with or be deemed to have warranted to the Electing Party that the Exchange in fact complies with the Code.

[SIGNATURES ARE ON FOLLOWING PAGES.]

WITNESS the following signatures and seals to this **CONTRACT OF SALE:**

SELLER: **DANVILLE-PITTSYLVANIA**
REGIONAL INDUSTRIAL FACILITY AUTHORITY,
a political subdivision of the Commonwealth of Virginia

(Seal)

By: _____
Robert W. Warren
Chairman

COMMONWEALTH OF VIRGINIA AT LARGE
PITTSYLVANIA COUNTY/CITY OF DANVILLE, to-wit:

The foregoing instrument was acknowledged before me in my jurisdiction aforesaid on this _____ day of _____ 2020, by **ROBERT W. WARREN**, in his capacity as Chairman of **DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY**, a political subdivision of the Commonwealth of Virginia.

My commission expires _____.

Notary Public
Registration No. _____

WITNESS the following signatures and seals to this **CONTRACT OF SALE**:

PURCHASER: **REALTYLINK INVESTMENTS, LLC**, a South Carolina
limited liability company

(Seal)

By: _____
Phillip J. Wilson
Member

STATE OF SOUTH CAROLINA
COUNTY OF GREENVILLE, to wit:

The foregoing instrument was acknowledged before me in my jurisdiction aforesaid on this
_____ day of _____ 2020, by **PHILLIP J. WILSON**, in his capacity as
Member of **REALTYLINK INVESTMENTS, LLC**, a South Carolina limited liability company.

My commission expires _____.

(if in Va. :) _____
Notary Public
Registration No. _____

CONSENT BY REALTYLINK - TENNESSEE, LLC

The undersigned hereby consents to the provisions of Section 1.2 of this Contract and
hereby amends the License Agreement as set forth in Section 1.2 of this Contract.

REALTYLINK - TENNESSEE, LLC, a Tennessee
limited liability company

(Seal)

By: _____
Oliver F. Perdomo
Principal

EXHIBIT “A”

Lot 6A, containing approximately 19.073 acres, as shown on that certain Subdivision Plat Showing: New Lot 6A, 6B, and 6C for: Danville-Pittsylvania Regional Industrial Facility Authority dated August 29, 2019, made by Robert H. Bengston, File V3288B, and recorded in the Clerk's Office of the Circuit Court of Danville, Virginia, as Instrument Number 19-4544, and recorded in the Clerk's Office of the Circuit Court of Pittsylvania County, Virginia, as Instrument Number 19-5694.

SCHEDULE 4.2(d)
(Other Permitted Exceptions)

1. Those certain Cane Creek Centre Declaration of Protective Covenants, dated July 12, 2000 (the “**Original Declaration**”), and recorded in the Clerk’s Office of the Circuit Court of the County of Pittsylvania, Virginia, as Instrument No. 05-06158, in Deed Book 1505, at page 237, as amended by that certain Cane Creek Centre Amendment to Declaration of Protective Covenants, dated April 24, 2012 and recorded June 18, 2012, as Instrument No. 120003321 and as Instrument No. 12-1999.
2. Exceptions that do not materially affect the use of, or marketability of title to, the Property as reasonably determined by Purchaser.

EXHIBIT B

PROMISSORY NOTE

\$800,000.00

_____, 2019

Pittsylvania County, Virginia

RECITALS

WHEREAS, VA DANVILLE CC L6, LLC, a South Carolina limited liability company (the "**Borrower**"), is the owner of Lot 6A in the Cane Creek Centre Industrial Park located in Danville, Pittsylvania County, Virginia (the "**Property**");

WHEREAS, Borrower intends to construct a 100,000 square foot building on the Property, as shown on the site plan attached hereto as **Exhibit A** (the "**Building**");

WHEREAS, Borrower intends to enter into a loan (the "**Construction Loan**") to finance the construction of the Building; and

WHEREAS, upon completion, Borrower will endeavor to sell the Property to the entity known to the Lender and Borrower as "Project Racecar."

WITNESSETH

FOR VALUE RECEIVED, the undersigned **Borrower**, subject to the terms and conditions contained in this Promissory Note, promises and agrees to pay to the order of **PITTSYLVANIA COUNTY, VIRGINIA** (together with any subsequent Lender hereof, the "**Lender**") at 1 Center Street, Post Office Box 426, Chatham, Virginia 24531, or at such other place as the Lender hereof may designate in writing, the principal sum of Eight Hundred Thousand and 00/100 Dollars (\$800,000.00), in lawful money of the United States of America (hereinafter, the "**County Loan**").

The principal amount shall be paid in one (1) lump sum payment on the Maturity Date (defined herein). Prepayment of principal may occur without penalty. The "**Maturity Date**" is hereby defined as the earlier of the date (i) the Property is sold, (ii) the Borrower closes on a refinance of the Construction Loan, or (iii) that is five (5) years from the date of this Promissory Note. As to item (i), in the event Project Racecar purchases the Building from the Borrower, an amount equal to the entirety of the County Loan amount will be due and payable to the Lender at the purchase transaction closing. An amount equal to one-half (1/2) of the County Loan amount will be due and payable to the Lender (and the remainder of the County Loan amount will be forgiven) in the event a different person or entity (not affiliated with Project Racecar) purchases the Building from the Borrower, such payment to be made at the time the purchase transaction closes, or in the case of either item (ii) or item (iii) above. In the case of item (ii) above, the payment will be made in conjunction with the refinance closing. In the case of item (iii) above, the payment will be made on the date that is five (5) years from the date of this Promissory Note.

In the event: (a) the County Loan is not paid in full within ten (10) days after the Maturity Date; or (b) a formal petition is filed seeking that the Borrower be adjudged bankrupt; or (c) the Borrower makes a general assignment for the benefit of creditors; or (d) the Borrower suffers the appointment of a receiver; or (e) the Borrower becomes insolvent, and the default continues after the Lender gives the Borrower notice of the default and a reasonable time within which it must be cured, then in such events, the entire remaining unpaid balance of both principal and interest owing hereunder, shall, at the option of the Lender hereof become immediately due and payable. The acceptance of any installment or payment after the occurrence of a default or event giving rise to the right of acceleration provided for in this paragraph shall not constitute a waiver of such right of acceleration with respect to such default or event or any subsequent default or event.

The Borrower and any endorsers or guarantors hereof jointly and severally waive the benefit of any exemption as to this obligation, notice of maturity, demand, notice of intention to accelerate maturity, notice of acceleration of maturity, presentment for payment, protest, notice of nonpayment of any extensions of this Promissory Note.

Time is of the essence hereof and if any payment of principal on this Promissory Note or other sum due hereunder is not paid when due, whether by maturity or acceleration, the amount thereof shall thereafter bear interest at the rate then provided by law but in any event not less than four (4%) percent per annum until paid.

In the event any payment under this Note is not made, at the time and in the manner required, the Borrower agrees to pay any and all reasonable costs and expenses (regardless of the particular nature thereof and whether incurred with or without suit or before or after judgment) which may be incurred by the Lender in connection with the enforcement of any of its rights under this Promissory Note, including court costs and reasonable attorney's fees.

The Lender expressly agrees that this Promissory Note, or any payment hereunder, may be extended from time-to-time by the Lender without in any way affecting the liability of the Borrower. This Promissory Note shall be binding upon the successors and assigns of the Borrower.

This Note shall be governed by and construed in accordance with the laws of the Commonwealth of Virginia.

For valuable consideration, the receipt of which is hereby acknowledged, **REALTYLINK USA, LLC**, a South Carolina limited liability company ("**Guarantor**"), hereby guarantees the prompt payment of this Promissory Note (the "**Guaranty**"). Notwithstanding the immediately preceding sentence, the Guaranty shall terminate upon the construction of a "shell building." For the purposes of this Promissory Note, a "shell building" shall be defined as the construction of four (4) walls, and a supporting roof structure, for a 100,000 square foot building, as shown on **Exhibit A**. Guarantor hereby covenants that its net worth will not be less than \$800,000.00 during the time the Guaranty is in effect.

***SIGNATURE PAGE TO PROMISSORY NOTE FROM VA DANVILLE CC L6, LLC TO
PITTSYLVANIA COUNTY, VIRGINIA***

BORROWER

VA DANVILLE CC L6, LLC, a
South Carolina limited liability
company

By: 
Philip J. Wilson, Manager

GUARANTOR

REALTYLINK USA, LLC, a South
Carolina limited liability company

SOUTH AND SOUTH, LLC,
a South Carolina limited liability
company, its Member

By: 
Philip J. Wilson, Manager

KEY VENTURES, LLC,
a South Carolina limited liability
company, its Member

By: 
W. Neil Wilson, Manager

***REAL ESTATE DEVELOPMENT
SERVICES, LLC***, a South Carolina
limited liability company, its
Member

By: 
John C. Jamison, Manager

EXHIBIT A

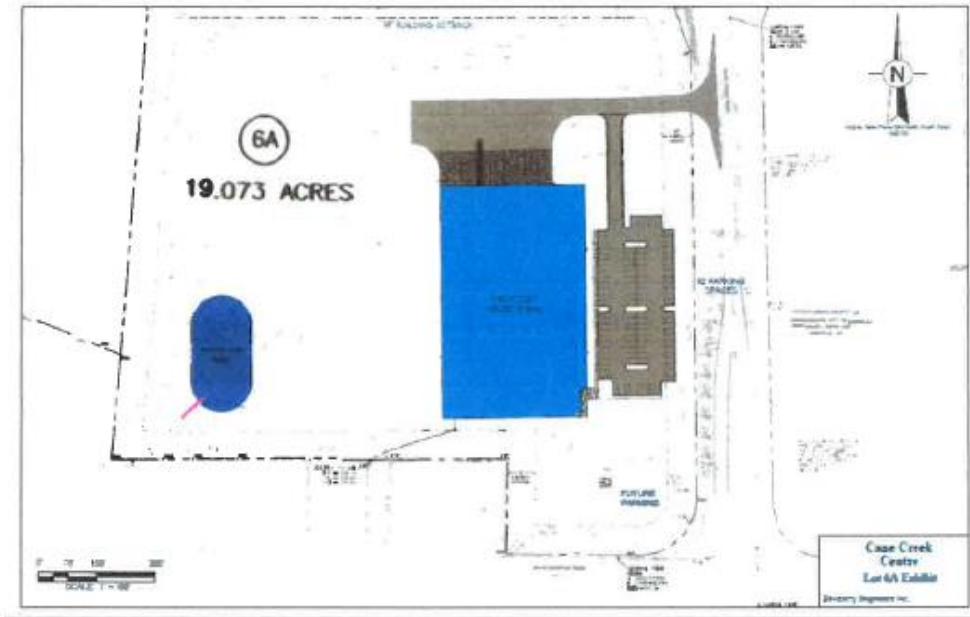


EXHIBIT C

PROMISSORY NOTE

[\$472,190.00]

_____, 2020

Pittsylvania County, Virginia

RECITALS

WHEREAS, VA DANVILLE CC L6, LLC, a South Carolina limited liability company (the “**Borrower**”), is an owner of Lot 6A in the Cane Creek Centre Industrial Park located in Danville and Pittsylvania County, Virginia (the “**Property**”); and

WHEREAS, Borrower intends to construct an approximately 100,000 square foot building on the Property, as shown on the site plan attached hereto as **Exhibit A** (the “**Building**”).

WITNESSETH

FOR VALUE RECEIVED, the undersigned Borrower, subject to the terms and conditions contained in this Promissory Note, promises and agrees to pay to the order of **DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY**, a political subdivision of the Commonwealth of Virginia (together with any subsequent Lender hereof, the “**Lender**”) at 427 Patton Street, Danville, VA 24541, or at such other place as the Lender hereof may designate in writing, the principal sum of Four Hundred Seventy Two Thousand One Hundred Ninety and 00/100 Dollars (\$472,190.00), in lawful money of the United States of America (hereinafter, the “**RIFA Loan**”).

Without demand or offset, the principal amount shall be paid in one (1) lump sum payment on the Maturity Date (defined herein). Prepayment of principal may occur without penalty. The “**Maturity Date**” is hereby defined as the date that is three hundred sixty-five (365) days from the date of this Promissory Note. In the event the construction or installation of a shell building suitable for light industrial use on the Property has been substantially completed on or before the Maturity Date, then the entire principal amount shall be forgiven in its entirety, and Lender shall promptly deliver a satisfaction of this Promissory Note to Borrower. The substantially completed shell building shall include the construction of a “dry-in” building only, and not intended to require the completion of the building with a certificate of occupancy or any paving on the site. The term “dry-in” shall mean that the building’s interior is protected from all types of weather and all openings are closed with permanent construction or substantial temporary closures, and such construction shall be in a good workmanlike manner; provided Borrower shall comply with all necessary permits from governing agencies to obtain approval of the construction of the shell building, at a minimum.

If prior to the Maturity Date: (a) Lender, in its reasonable discretion, determines that the construction or installation of the Building has been permanently suspended; or (b) a formal petition is filed seeking that the Borrower be adjudged bankrupt; or (c) the Borrower makes a

general assignment for the benefit of creditors; or (d) the Borrower suffers the appointment of a receiver; or (e) the Borrower becomes insolvent (each, an "**Event of Default**"), and the Event of Default continues after the Lender gives the Borrower notice of such default and a reasonable time, not to exceed thirty (30) days, within which it must be cured, then in such events, the entire remaining unpaid balance of both principal and interest owing hereunder, shall, at the option of the Lender become immediately due and payable. The acceptance of any installment or payment after the occurrence of an Event of Default shall not constitute a waiver of such right of acceleration with respect to such Event of Default or any subsequent Event of Default.

The Borrower and any endorsers or guarantors hereof jointly and severally waive the benefit of any exemption as to this obligation, notice of maturity, demand, notice of intention to accelerate maturity, notice of acceleration of maturity, presentment for payment, protest, notice of nonpayment of any extensions of this Promissory Note.

Time is of the essence hereof and if any payment of principal on this Promissory Note or other sum due hereunder is not paid when due, whether by maturity or acceleration, the amount thereof shall thereafter bear interest until paid, at the lesser of four (4%) percent per annum or the maximum rate permitted by law.

In the event any payment under this Promissory Note is not made, at the time and in the manner required, the Borrower agrees to pay any and all reasonable costs and expenses (regardless of the particular nature thereof and whether incurred with or without suit or before or after judgment) which may be incurred by the Lender in connection with the enforcement of any of its rights under this Promissory Note, including court costs and reasonable attorneys' fees.

The Lender expressly agrees that this Promissory Note, or any payment hereunder, may be extended from time-to-time by the Lender without in any way affecting the liability of the Borrower. This Promissory Note shall be binding upon the successors and assigns of the Borrower.

This Promissory Note shall be governed by and construed in accordance with the laws of the Commonwealth of Virginia.

For valuable consideration, the receipt of which is hereby acknowledged, **REALTYLINK USA, LLC**, a South Carolina limited liability company ("**Guarantor**"), hereby guarantees the payment of this Promissory Note in full within thirty (30) days after demand by the Lender (the "**Guaranty**"). Guarantor hereby covenants that its net worth will not be less than \$472,190.00 during the time the Guaranty is in effect.

This is a continuing Guaranty, and the obligations of Guarantor under the Guaranty are continuing obligations until written notice by the Lender is given to Guarantor of the termination of any Guarantor's future liability hereunder.

Guarantor further agrees that the validity of the Guaranty and the obligations of Guarantor hereunder shall in no way be terminated, affected or impaired by reason of: (a) the assertion by the Lender of any rights or remedies which it may have under or with respect to this Promissory Note or (b) the Lender's failure to exercise, or delay in exercising, any such right or remedy which the

Lender may have under this Promissory Note or in respect to the Guaranty, or (c) the commencement of a case under the Bankruptcy Code by or against any person obligated under this Promissory Note, or the termination of company existence of Guarantor, or (d) any payment made on the indebtedness arising under this Promissory Note, whether made by the Borrower or Guarantor or any other person, which is required to be refunded pursuant to any bankruptcy or insolvency law; it being understood that no payment so refunded shall be considered as a payment of any portion of the indebtedness, nor shall it have the effect of reducing the liability of Guarantor hereunder.

Renewals, extensions, and substitutions of and for the indebtedness of the Borrower guaranteed hereunder may be made by the Lender upon such terms and conditions and with such modifications and changes as the Lender and the Borrower may see fit and made at any time and from time to time without further notice to or consent from Guarantor and whether or not the Borrower or any other guarantor have filed or are in any way involved in any bankruptcy proceeding.

Guarantor waives notice of acceptance of the Guaranty and also presentment, demand, protest, notice of protest, and notice of dishonor of this Promissory Note or any indebtedness guaranteed hereby. No extension of time or other indulgence granted by the Lender to the Borrower, Guarantor, any other guarantor, or any of them, will release or affect the obligations of Guarantor, and no omission or delay on the Lender's part in exercising any right hereunder or in taking any action to collect or enforce payment of any Indebtedness guaranteed hereby will be a waiver of any such right or release or affect the obligations of Guarantor hereunder.

The Lender will have no duty to marshal security, to sue or otherwise attempt collection from the Borrower or any other party, to take proceedings against any collateral it may have or any other property or to take any action of any sort prior to demanding and enforcing payment by Guarantor. Specifically, but without limiting the foregoing, Guarantor waives any right to have the Borrower joined in a suit brought against Guarantor on the Guaranty and also any right to require the Lender to sue or otherwise make a claim against the Borrower on any indebtedness guaranteed hereby as a prerequisite to any action by the Lender against Guarantor. Any payment received by the Lender from the Borrower, or from any other source other than Guarantor, may be applied to the obligations of the Borrower to the Lender in whatever order the Lender elects. Any payment received from Guarantor pursuant to the Guaranty may be applied to the indebtedness guaranteed hereunder in whatever order the Lender elects.

No agreement exists between Guarantor and the Lender that the obligations of Guarantor under the Guaranty are or will be other than as set out herein. The rights and remedies of the Lender under the Guaranty and any others otherwise created are cumulative and may be exercised singly or concurrently, and the exercise of any one or more of them will not be a waiver of any of the others. No act, delay, omission, or course of dealing between the Lender and Borrower or Guarantor, or any of them, will be a waiver of any of the Lender's rights or remedies under the Guaranty, and no waiver, change, modification, or discharge of this agreement or any obligation created hereby will be effective unless in writing signed by the Lender.

Guarantor acknowledges that under Sections 49-25 and 49-26 of the Code of Virginia (1950), as amended (the "**Virginia Code**") that under certain circumstances a surety, guarantor, or endorser may require a creditor to pursue any other persons liable on the Indebtedness. Guarantor hereby knowingly and voluntarily waives all rights under Sections 49-25 and 49-26 of the Virginia Code and hereby agree that the Lender and its successors and assigns shall have no obligation to pursue other persons jointly liable with Guarantor for any part of the indebtedness.

[SIGNATURES ARE ON FOLLOWING PAGES.]

**SIGNATURE PAGE TO PROMISSORY NOTE FROM VA DANVILLE CC L6, LLC TO
DANVILLE-PITTSYLVANIA REGIONAL INDUSTRIAL FACILITY AUTHORITY**

BORROWER

VA DANVILLE CC L6, LLC, a
South Carolina limited liability
company

By: _____
Philip J. Wilson, Manager

GUARANTOR

REALTYLINK USA, LLC, a South
Carolina limited liability company

By: SOUTH AND SOUTH, LLC,
a South Carolina limited liability
company, its Member

By: _____
Philip J. Wilson, Manager

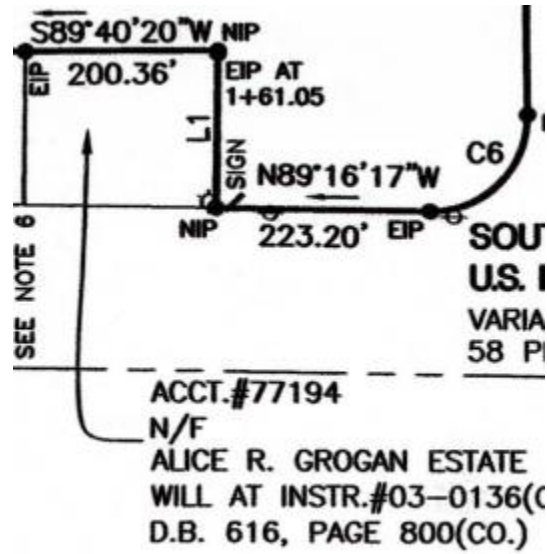
By: KEY VENTURES, LLC,
a South Carolina limited liability
company, its Member

By: _____
W. Neil Wilson, Manager

**By: REAL ESTATE
DEVELOPMENT SERVICES,
LLC**, a South Carolina limited
liability company, its Member

By: _____
John C. Jamison, Manager

EXHIBIT D



Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 5B
Meeting Date:	02/10/2020
Subject:	Resolution 2020-02-10-5B
From:	Ken Gillie, Jr., Director of Community Development, City of Danville, and Karen Hayes, Deputy Director of Community Development, Pittsylvania County

SUMMARY

The RIFA Board will be asked to approve Resolution 2020-02-10-5B, approving the proposed building improvements to Lot 6A in Cane Creek Centre.

ATTACHMENTS

Resolution 2020-02-10-5B
Exhibit A

A RESOLUTION APPROVING THE PROPOSED BUILDING IMPROVEMENTS TO LOT 6A (PART OF PITTSYLVANIA COUNTY GPIN 2347-03-7452 AND DANVILLE PIN 77193) IN THE AUTHORITY'S CANE CREEK CENTRE INDUSTRIAL PARK LOCATED IN PITTSYLVANIA COUNTY, VIRGINIA AND DANVILLE, VIRGINIA, THAT WILL BE DEVELOPED BY REALTYLINK INVESTMENTS, LLC, A SOUTH CAROLINA LIMITED LIABILITY COMPANY, OR ONE OF ITS AFFILIATES

WHEREAS, the Danville-Pittsylvania Regional Industrial Facility Authority (the "**Authority**") is a political subdivision of the Commonwealth of Virginia duly created pursuant to the Virginia Regional Industrial Facilities Act as amended; and

WHEREAS, the Authority adopted Resolution 2020-02-10-5A ("A Resolution Approving that certain Contract of Sale with RealtyLink Investments, LLC, a South Carolina limited liability company, as purchaser, for the purchase of certain real property containing approximately 19.073 acres (part of Pittsylvania County GPIN 2347-03-7452 and Danville PIN 77193), more commonly known as Lot 6A, located in the Authority's Cane Creek Centre Industrial Park, at a purchase price of \$572,190; where \$100,000 will be paid in immediately available funds at closing of the transaction, and the remainder of the purchase price evidenced by a promissory note, to be guaranteed by Realty Link USA, LLC, a South Carolina limited liability company, that will be forgiven or cancelled upon the substantial completion of the construction or installation of a shell building suitable for light industrial use, pursuant to the terms of the Contract of Sale and such promissory note"); and

WHEREAS, the Authority made that certain Declaration of Restrictive Covenants for the Cane Creek Centre Industrial Park ("**Cane Creek**"), dated July 12, 2000 (the "**Original Declaration**"), and recorded in the Clerk's Office of the Circuit Court of the County of Pittsylvania, Virginia (the "**County Clerk's Office**"), as Instrument No. 05-06158, in Deed Book 1505, at page 237, and recorded in the Clerk's Office of the Circuit Court of the City of Danville, Virginia (the "**City Clerk's Office**"), as Instrument No. 05-4233, at page 189, as amended by that certain Amendment to Declaration of Protective Covenants, dated April 24, 2012, recorded in the County Clerk's Office as Instrument No. 12-03321, at page 104, and recorded in the City Clerk's Office as Instrument No. 12-1999, at page 1, as supplemented by that certain Supplement to Declaration of Protective Covenants, dated January 13, 2014, and recorded in the County Clerk's Office as Instrument No. 14-00362, at page 01, and recorded in the City Clerk's Office as Instrument No. 14-191, as page 24, as further supplemented by that certain Supplement to Declaration of Protective Covenants, dated February 9, 2015, and recorded in the County Clerk's Office as Instrument No. 15-0596, at page 01, and recorded in the City Clerk's Office as Instrument No. 15-530 (collectively, the "**Restrictive Covenants**"); and

WHEREAS, RealtyLink Investments, LLC, a South Carolina limited liability company ("**RealtyLink**"), or one of RealtyLink's affiliates, has submitted a site plan and a floor plan for the construction of a shell building suitable for light industrial use, to contain approximately 100,000 square feet, to be located in the Authority's Cane Creek project in Pittsylvania County, Virginia and Danville, Virginia (the "**Building**"), as shown on **Exhibit A**, attached hereto and incorporated herein by this reference; and

Resolution No. 2020-02-10-5B

WHEREAS, the Authority desires to approve that site plan and floor plan for the Building, being in compliance with the applicable provisions of the Zoning Code of Danville, Virginia, and Pittsylvania County, Virginia, and the Restrictive Covenants, as presented by the Danville City Planning Division and Pittsylvania County Zoning Office of the Planning Department; and

WHEREAS, the Authority has determined that the approval of the site drawings and plans for the Building is in support of Resolution 2020-02-10-5A and is in furtherance of the Authority's purpose of developing and enhancing its Cane Creek project.

NOW, THEREFORE, BE IT RESOLVED, that

1. The Authority hereby approves the site plan and the floor plan for the Building, as presented by the Danville City Planning Division and Pittsylvania County Zoning Office of the Planning Department.
2. The Authority hereby authorizes the Chairman and the Vice Chairman, either of whom may act independently of the other, to execute and deliver such other documents in connection with the approval of the site plan and the floor plan for the Building, as may be approved by the Chairman (or the Vice Chairman as the case may be), such execution by the Chairman (or the Vice Chairman as the case may be) to conclusively establish his approval of such other documents.
3. The Authority hereby authorizes and directs staff and other agents and representatives working on behalf of the Authority to take such actions and to do all such things as are contemplated by the approval of the site plan and the floor plan for the Building or as they in their discretion deem necessary or appropriate in order to carry out the intent and purposes of this Resolution.
4. The Authority hereby approves, ratifies and confirms any and all actions previously taken by the Authority, its agents and representatives, in respect to the approval of the site plan and the floor plan for the Building and the matters contemplated in this Resolution.
5. This Resolution shall take effect immediately upon its adoption.

- # -

CERTIFICATE

I, the undersigned Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority, hereby certify that the foregoing is a true, correct and complete copy of a Resolution duly adopted by a majority of the directors of the Danville-Pittsylvania Regional Industrial Facility Authority at a regular meeting duly called and held on February 10, 2020, and that such Resolution has not been repealed, revoked, rescinded or amended, but is in full force and effect on the date hereof.

WITNESS my hand as Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority this 10th day of February 2020.

SUSAN M. DeMASI, Secretary
Danville-Pittsylvania Regional Industrial Facility
Authority

(SEAL)

Exhibit A

(100K Building Exhibit and First Floor Annotation Plan)



GENERAL NOTES

ASTM DESIGNATION

A529, A572, A1011, A1018
A653, A1011
A572, A510
A36, A529, A572, A588, A992
A529, A572, A588, A992
A500
A653, A792

GRADE 55
GRADE 60
GRADE 50
GRADE 36 OR 50
GRADE 50
GRADE B
GRADE 50 OR GRADE 80

IT IS THE RESPONSIBILITY OF THE ERECTOR TO ENSURE PROPER BOLT TIGHTNESS IN ACCORDANCE WITH APPLICABLE REGULATIONS. SEE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS FOR MORE INFORMATION. SEE ERECTION GUIDE FOR BOLT TIGHTENING INSTRUCTIONS. THE FOLLOWING CRITERIA MAY BE USED TO DETERMINE THE BOLT TIGHTNESS (I.E. -SNUG TIGHT OR PRE-TENSION) UNLESS REQUIRED OTHERWISE BY LOCAL JURISDICTION OR CONTRACT.

ALL A490 BOLTS SHALL BE "PRE-TENSIONED". A325 BOLTS IN PRIMARY FRAMING AND BRACING CONNECTIONS MAY BE "SNUG-TIGHT" EXCEPT AS FOLLOWS;

PRE-TENSION A325 BOLTS IF BUILDING SUPPORTS A CRANE GREATER THAN 5 TON CAPACITY.

PRE-TENSION A325 BOLTS IF BUILDING SUPPORTS MACHINERY THAT CREATES VIBRATION, IMPACT, OR STRESS REVERSALS ON CONNECTIONS.

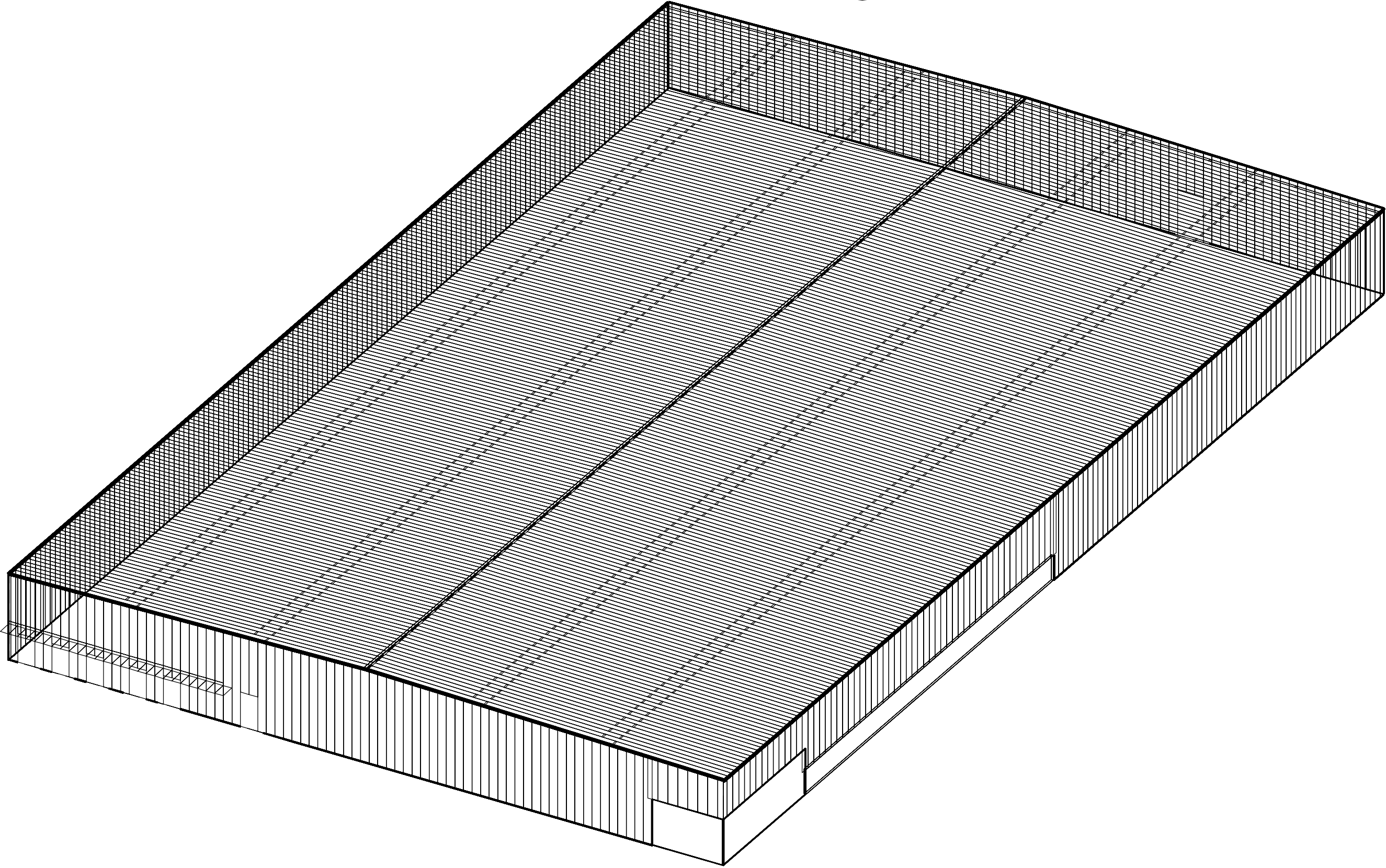
PRE-TENSION A325 BOLTS IF LOCATED IN HIGH SEISMIC AREAS. FOR IBC BASED CODES; HIGH SEISMIC IS DESIGN CATEGORY D, E OR F. SEE CODES AND LOADS SECTION BELOW FOR DETAILS.

PRE-TENSION ANY CONNECTION WITH DESIGNATION A325-SC. SLIP CRITICAL (SC) CONNECTIONS MUST BE FREE OF PAINT, OIL OR OTHER MATERIALS THAT REDUCE FRICTION AT CONTACT SURFACES. GALVANIZED OR LIGHTLY RUSTED SURFACES ARE ACCEPTABLE.

IN CANADA, ALL A325 AND A490 BOLTS SHALL BE "PRE-TENSIONED", EXCEPT FOR SECONDARY MEMBERS AND FLANGE BRACES.

SECONDARY MEMBERS AND FLANGE BRACE CONNECTIONS ARE ALWAYS "SNUG TIGHT", UNLESS INDICATED OTHERWISE IN ERECTION DRAWING DETAILS.

SPECIAL INSPECTIONS AND TESTING REQUIRED BY AUTHORITY HAVING JURISDICTION (AHJ) DURING CONSTRUCTION AND/OR STEEL FABRICATION IS THE RESPONSIBILITY OF THE OWNER OR OWNERS AUTHORIZED AGENT. WHEN REQUIRED, THE OWNER SHALL EMPLOY A QUALITY ASSURANCE AGENCY (QAA) APPROVED BY THE AHJ. THE BUILDER IS RESPONSIBLE TO COORDINATE BETWEEN THE QAA FIRM AND BBNA FABRICATION FACILITIES. THE TYPE AND EXTENT OF SPECIAL INSPECTIONS AND NDT WELD TESTING MUST BE SPECIFICALLY STIPULATED IN CONTRACT DOCUMENTS OR BBNA WILL ASSUME SPECIAL INSPECTIONS AND/OR NDT TESTING ARE WAIVED AS PERMITTED BY THE BUILDING CODE BASED ON BBNA FACILITIES IAS AC472 ACCREDITATION.



CBU 10/8/18 Final Drawings Pgs. 1-56



VPC FILENAME: 18-026503-04

9/25/2018

14:17:11

a division of BlueScope Buildings North America, Inc.

Codes and Loads

WHEN MULTIPLE BUILDINGS ARE INVOLVED, SPECIFIC LOAD FACTORS FOR DIFFERING OCCUPANCIES, BUILDING DIMENSIONS, HEIGHTS, FRAMING SYSTEMS, ROOF SLOPES, ETC., MAY RESULT IN DIFFERENT LOAD APPLICATION FACTORS THAN INDICATED BELOW. SEE CALCULATIONS FOR FURTHER DETAILS. WIND LOADS ARE APPLIED TO OVERALL BUILDING ENVELOPE. COMMON WALLS BETWEEN CONNECTED SHAPES ARE NOT SUBJECT TO EXTERNAL WIND LOADS.

City: RoanokeCounty: Roanoke CityState: VirginiaCountry: United States

Building Code

Building Code: Virginia Uniform Statewide Building Code - 2012 Edition

Based on Building Code: 2012 International Building Code

Building Risk/Occupancy Category: II (Standard Occupancy Structure)

Dead and Collateral Loads

Collateral Gravity:7.00 psf

Collateral Uplift: 0.00 psf

Wind Load

Wind Speed: Vult: 115.00 (Vasd: 89.00) mph

The 'Envelope Procedure' is Used

Wind Exposure: B - Kz: 0.701

Parts Wind Exposure Factor: 0.701

Wind Enclosure: Enclosed

Topographic Factor: Kzt: 1.0000

NOT Windborne Debris Region

Base Elevation: 0/0/0

Primary Zone Strip Width: 2a: 24/0/0

Parts / Portions Zone Strip Width: a: N/A

Basic Wind Pressure: q: 20.16 psf

Material Dead Weight

Roof Covering + Second. Dead Load: 2.80 psf

Frame Weight (assumed for seismic):2.50 psf

Snow Load

Ground Snow Load: pg: 30.00 psf

Flat Roof Snow: pf: 21.00 psf

Design Snow (Sloped): ps: 21.00 psf

Rain Surcharge: 0.00

Specified Minimum Roof Snow: 20.00 psf (Code)

Exposure Factor: 2 Partially Exposed - Ce: 1.00

Snow Importance: Is: 1.000

Thermal Factor: Heated - Ct: 1.00

Ground / Roof Conversion: 0.70

Roof Live Load

Roof Live Load: 20.00 psf Not Reducible

Seismic Load

Lateral Force Resisting Systems using Equivalent Force Procedure

Mapped MCE Acceleration: Ss: 19.40 %g

Mapped MCE Acceleration: S1: 7.60 %g

Site Class: Stiff soil (D)

Seismic Importance: Ie: 1.000

Design Acceleration Parameter: Sds: 0.2069

Design Acceleration Parameter: Sd1: 0.1216

Seismic Design Category: B

Seismic Snow Load: 0.00 psf

% Snow Used in Seismic: 0.00

Diaphragm Condition: Flexible

Fundamental Period Height Used: 29/10/8

Transverse Direction Parameters

System NOT detailed for Seismic

Redundancy Factor: Rho: 1.00

Fundamental Period: Ta: 0.4240

R-Factor: 3.00

Overstrength Factor: Omega: 2.50

Deflection Amplification Factor: Cd: 3.00

Base Shear: V: 0.0690 x W

Longitudinal Direction Parameters

System NOT detailed for Seismic

Redundancy Factor: Rho: 1.00

Fundamental Period: Ta: 0.2556

R-Factor: 3.00

Overstrength Factor: Omega: 2.50

Deflection Amplification Factor: Cd: 3.00

Base Shear: V: 0.0690 x W

Snow Buildup

Shape Humm

Surface

Wall 1 - Canopy 1

Description

Snow Drift (from Wall 1, Shape Humm) : Wall: 1, Canopy: 1

X Location

0.0 ft

75.0 ft

75.0 ft

0.0 ft

Y Location

0.0 ft

0.0 ft

5.0 ft

5.0 ft

Magnitude

115.8 psf

115.8 psf

93.4 psf

93.4 psf

1. The Snow Buildup loading shown is in addition to the flat or sloped roof snow.

2. The X and Y Location dimensions are from the point of origin of each surface.

Humm

Roof: B

Humm

Roof: A

Humm

Wall 1 - Canopy 1

FOR CONSTRUCTION

	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		CODES AND LOADS			BUTLER Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01				
		THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.		REV:	DATE:	BY:	DESCRIPTION:		BUILDER: Avis Construction Co., Inc.					
									CUSTOMER: Humm Kombucha, LLC					
									LOCATION: Roanoke, Virginia					
									PROJECT: Humm Kombucha					
									DRAWN/CHECK: CBU / BHL					
				DRAWING SCALE:		NTS		BUILDER'S POW: 18-020		PAGE: 2				

VPC FILENAME: 18-026503-01

7/2/201817:35:34

a division of BlueScope Buildings North America, Inc. 50 of 140

Mezzanine Area 1	
Floor Type	Non-Composite
Loading Type	Storage
Mezzanine Category	Partial Floor
Bracing Category	Braced
Top of Floor	14'-0"
Total Thickness of Deck + Topping	4"
Top of Joist	13'-8"
Min. Clearance from Floor to Rafters	0'-0"
Min. Clearance from Floor to Joist	0'-0"
Floor Dead Load	60 psf
Floor Live Load	150 psf Not Reducible
Coll. Load:	5 psf

Non-Composite
Storage
Partial Floor
Braced
14' - 0"
4"
13' - 8"
0' - 0"
0' - 0"
60 psf
150 psf Not
Reducible
5 psf

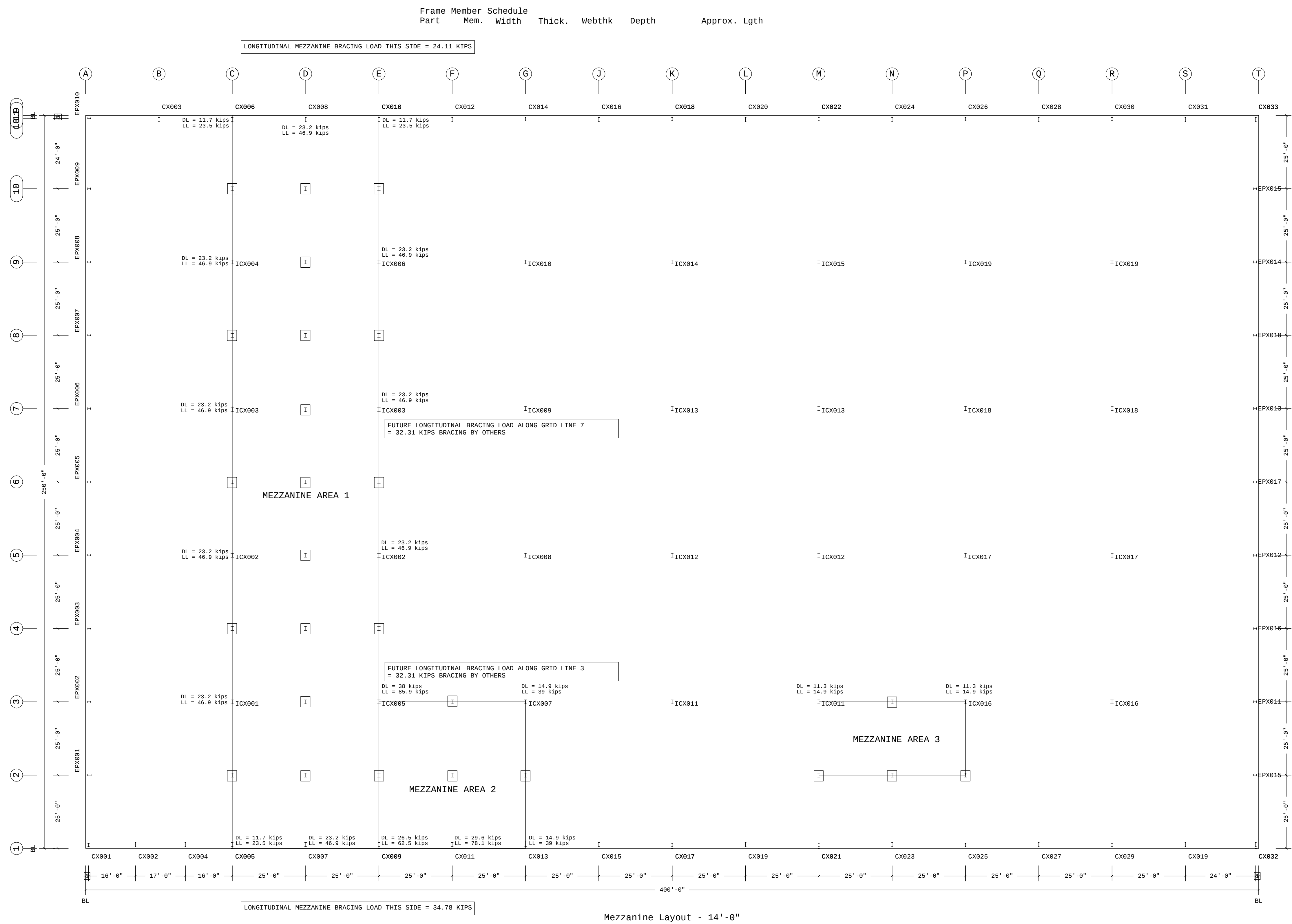
Mezzanine Area 2	
Floor Type	Non-Composite
Loading Type	Storage
Mezzanine Category	Partial Floor
Bracing Category	Braced
Top of Floor	14'-0"
Total Thickness of Deck + Topping	6"
Top of Joist	13'-6"
Floor Dead Load	80 psf
Floor Live Load	250 psf Not Reducible
Coll. Load:	5 psf

Non-Composite
Storage
Partial Floor
Braced
14'-0"
6"
13'-6"
80 psf
250 psf Not
Reducible
5 psf

Mezzanine Area 3	
Floor Type	Non-Composite
Loading Type	Storage
Mezzanine Category	Partial Floor
Bracing Category	Braced
Top of Floor	14'-0"
Total Thickness of Deck + Topping	4"
Top of Joist	13'-8"
Min. Clearance from Floor to Rafter	0'-0"
Min. Clearance from Floor to Joist	0'-0"
Floor Dead Load	60 psf
Floor Live Load	80 psf Not
	Reducible
Coll. Load:	5 psf
Partition Load:	15 psf

Non-Composite
Storage
Partial Floor
Braced
14' - 0"
4"
13' - 8"
0' - 0"
0' - 0"
60 psf
80 psf Not
Reducible
5 psf
15 psf

I - FUTURE NONBMC COLUMN



1 1'-0"

☐ Dimension Key

☐ Dimension Key

Shape Name = Humm, Wall = 1

FOR CONSTRUCTION

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D	BUTLER MANUFACTURING		
	1540 GENESSEE ST. KANSAS CITY, MO 64102		
	REV:	DATE:	DESCRIPTION:
DRAWING SCALE:		NTS	

Mezzanine Layout - 14'-0"		
BUILDER:	Avis Construction Co., Inc.	JOB #: 18-026503-01
CUSTOMER:	Humm Kombucha, LLC	DATE: 7/2/18
LOCATION:	Roanoke, Virginia	DRAWN/CHECK: CBU / BHL
PROJECT:	Humm Kombucha	PAGE: 2a
BUILDER'S PO#:	18-020	

BUILDER/CONTRACTOR RESPONSIBILITIES

Butler Mfg. follows the guidelines as outlined in the AISC and MBMA Codes of Standard Practice. Butler Mfg. standard product specifications, design, fabrication, quality criteria shall govern all work unless stipulated otherwise in the contract documents. In case of discrepancies between Butler Mfg. structural plans and plans for other trades, Butler Mfg. structural plans shall govern.

It is the responsibility of the Builder to obtain approvals and permits from all governing agencies and jurisdictions as required. Approval of Butler Mfg drawings constitutes the builders acceptance of Butler interpretation of the contract purchase order. Unless specific design criteria concerning interface design and details are furnished as part of the contract, Butler Mfg. design assumptions shall govern.

Butler engineers are not Project Engineers or Engineer of Record for the overall project. Butler engineering supply sealed engineering design data and drawings for Butler supplied material as part of the overall project for use by others to obtain permits, approvals, and coordinate with other trades. All interface and/or compatibility of any materials not furnished by Butler are to be considered and coordinated by the builder or A/E firm.

CONSTRUCTION & ERECTION RESPONSIBILITY

The Builder is responsible for construction in strict accordance with Butler Mfg. "FOR CONSTRUCTION" drawings and all applicable product installation guides. Butler is not responsible for work done from any other Butler drawings that are not marked "FOR CONSTRUCTION", nor any drawings prepared by others.

As erected field assemblies of members shall be as specified in MBMA Code of Standard Practice (in Canada - CSA S16), which require L/500 tolerance of installed members. Occasional field work including shimming, cutting, coping, and drilling for final fit-up are considered part of erection. Specified field work and field welding conditions indicated on these drawings shall also be included in the erectors scope of work. See Erection Guide for shimming procedure. For building with top riding bridge cranes see Crane Data drawing for column plumb tolerance.

The building erector shall be properly licensed and experienced in erecting metal building systems. The Builder is responsible for having knowledge of, and shall comply with, all OSHA requirements and all other governing site safety criteria. The builder is responsible for designing, supplying, locating and installing temporary supports and bracing during erection of the building. Butler bracing is designed for code required loads after building completion and shall not be considered as adequate erection bracing. See Erection Guide.

EXISTING STRUCTURES

Butler must be advised of any structure that is within 20 ft. of Butler's building. Load effects from snow drifting, wind effects, and seismic separation must be considered for both the new and existing structures. Butler has designed the new Butler building for these effects. The owner/builder are responsible for employing a Professional Engineer to review and verify the existing structure for all load effects from the adjacent Butler building.

BRACING

Tension brace rods work in pairs to balance forces caused by initial tensioning. Care must be taken while tightening brace rods so as not to cause accidental or misalignment of components. All rods must be installed loose and then tightened. Rods should not exhibit excessive sag. For long or heavy rods, or angles it may be necessary to support the rods at mid-bay by suspending them from secondary members.

Bracing for seismic or wind loading of objects or equipment that are not a part of the Butler structure must be designed by a qualified professional to deliver lateral loads to primary frames and rod bracing struts. Equipment bracing and suspension connections must not impose torsion or minor axis loads, or cause local distortion in any Butler components. Butler accepts no responsibility for design or installation of bracing systems not furnished by Butler.

FIELD WELDING

All field welding shall be done at the direction of a design professional, and done in accordance with governing requirements (AWS in USA, CWB in Canada) by welders qualified to perform the welding as directed by the applicable welding procedure specification (WPS). A WPS shall be prepared by the contractor for each welding variation specified. The contractor is responsible for any special welding inspection as required by local jurisdiction. Filler metal shall be 70 ksi (480 MPa) tensile strength. For welds in high seismic force resisting system (Seismic Cat D, E or F), minimum Charpy V-Notch toughness shall meet AISC-341 criteria (20 ft-lbs min @ 0Deg F). Interpass temperatures shall not exceed 550Deg F (300Deg C).

SIGNAGE

The Builder is responsible for furnishing signs as required by Code and the Building Department, including but not limited to, exits, occupancy limits, floor loading limits, and bulk storage limits. Floor loading signs shall clearly indicate maximum floor live load permitted. Bulk storage facilities shall have signs clearly posted on all loaded walls indicating the type of commodity stored and the maximum storage height. Signs shall be clearly visible when building is fully loaded to design level. Overloading of floors or walls may result in failure.

DELIVERIES

It is the responsibility of the builder to have adequate equipment available at the job site to unload trucks in a safe and timely manner. The Builder will be responsible for all retention charges from carriers as a result of job site unloading delays.

Claims for damage or shorts MUST be noted on the Bill-of-Lading or delivery receipt and filed against the carrier by the consignee as per Butler's Terms of Sales (F.O.B. Plant) under the Uniform Commercial Code. It is critical that damages or shorts be noted on the Bill-of-Lading or you have little recourse with the carrier. Immediately upon delivery of material, material quantities are verified by the Builder against quantities billed on the shipping document. Neither the Manufacturer nor the carrier is responsible for material shortages against quantities billed on the shipping document if such shortages are not noted on the shipping documents upon delivery of material and acknowledged by the carriers agent. For materials concealed in bundles, boxes, or crates, shortages must be reported immediately upon unpacking. Should products get wet, bundled and crated materials must be unpacked and unbundled immediately to provide drainage of trapped moisture. See Erection Guide for proper job site storage procedure.

SEALANTS

Sealants shall be applied in strict accordance with Butler details or weather tightness will be compromised. Sealant must be applied in temperatures and weather conditions consistent with labeling.

INDEPENDENT MEZZANINES

Independent mezzanines must be designed by a professional engineer. The engineer must ensure that proper isolation from the Butler building has been provided to avoid structural damage due to differential movements, or inadvertently apply loads to the Butler structure. Butler accepts no responsibility for the design of the independent mezzanine.

FIRE CODE COMPLIANCE

It is the responsibility of the project design professional and builder to comply with local fire code regulations including consideration of, but not limited to, building use and occupancy, all building construction materials, separation requirements, egress requirements, fire protection systems, etc. Builder shall advise Butler of any special requirements to be furnished by Butler.

FIELD MODIFICATIONS

Modifications to this building from details and instructions contained on these drawings must be approved in writing by Butler Mfg. engineers, or other licensed structural engineer. This includes, but is not limited to, removal of roof or wall cladding, removing or moving any flange braces or rod braces, cutting of openings for doors, windows or RTU's, correction of fabrication errors, etc. The owner shall not impose loads to this structure beyond what is specified for this building in the contract documents. Butler Mfg. accepts no responsibility for the consequences of any unauthorized additions, alterations, or added loads to this structure.

If the builder intends to invoice Butler Mfg. for modifications in excess of \$1000, The builder must notify Butler Mfg. immediately, and obtain a Work Authorization from Butler Mfg prior to proceeding. All final claims must be submitted to Butler Mfg with all supporting documentation within 30 days of the building completion. Claims submitted without work authorizations, or after 30 days will not be accepted. Correction of minor misfits, shimming and plumbing, moderate amount of reaming, drilling, chipping / cutting and minor welding are considered by Code of Standard Practice to be part of erection are not subject to claim reimbursement.

CONCRETE/MASONRY/CONVENTIONAL STUD WALLS

The engineer responsible for the design of the wall system is responsible for coordinating with, or specifying to Butler Mfg, any wall to steel compatibility issues such as drift and deflection compatibility, special base details, and wall to Butler steel connections. All fasteners, sealant and counter flashing of wall systems are to be provided by contractor. The engineer responsible for the wall shall design the anchorage to Butler supporting elements consistent with Code required forces.

PANELS

Oil canning is an inherent characteristic of cold formed steel panels. It is the result of several factors that include induced stresses in the raw material delivered to Butler, fabrication methods, installation procedures, and post installation thermal forces. Thru fastened panels will exhibit some dimpling when installed, especially when insulation is installed between panels and secondary supports. Dimpling can be minimized by careful installation, taking care not to over drive fasteners.

Roof rumble is a phenomenon that is caused by wind gusts lifting up on the roof panels and then springing back into place. All panels experience this action to some degree, especially with concealed clip Standing Seam panels. Roof rumble noise may be minimized by providing a layer of blanket insulation between the panels and any hard support surface such as steel secondary members, substrates such as plywood, steel decking, or rigid board insulation. A minimum of 3 inch thick blanket is recommended over steel secondary members, or 2 inch over substrates.

Oil canning, dimpling, and roof rumble do not affect the structural integrity or weather tightness of the panels and is not grounds for rejection of panels.

The Standing Seam joint detail is designed with an interlocking feature for ease of installation. However, it is imperative that installed Standing Seam panels be secured to the secondary structural members and properly seamed prior to departure from the job site each day.

SKYLIGHTS

Local building departments may require added fall restraint due to conditions that may affect the skylight structural integrity. It is the responsibility of the builder to determine and provide any added fall restraint under the skylight as may be required by your building department.

RAIN WATER RUNOFF

Drainage systems must be designed by the project professional to comply with code requirements. Butler is not responsible for drainage designs, overflow scuppers, down piping, etc. The project professional and contractor are responsible to ensure that primary drains and overflow devices such as scuppers and auxiliary drains are provided as required for the required rain intensity at the building perimeter and at valley conditions to prevent ponding.

STEEL SHOP COAT

The purpose of Butler's shop coat is to provide protection for the steel members during transportation, during temporary job site storage and during erection. Standard shop formulation is not designed to perform as a finish coat when exposed to environmental conditions. Members shall be kept free of the ground and properly drained during job site storage. It is the Builder's responsibility to ensure that if a finish coat is being applied over Butler shop coat that the painting contractor verifies compatibility between his finish coat and Butler's shop coat.

BUTLER MFG. ACCREDITATIONS AND APPROVALS

Fabricator Approvals
IAS AC472 Approvals: (www.iasonline.org/Metal_Building_Systems/MB.html)
Listed under BlueScope Buildings North America, Inc.
City of Los Angeles, CA #FB00031; City of Houston, TX 767;
City of Phoenix, AZ C19-02008; Clark County, NV 43 & 833, San Bernardino County, CA 289, State of Utah, City of Richmond, Ca.

Design Approvals
IAS AC472 Approvals: (www.iasonline.org/Metal_Building_Systems/MB.html)
Listed under Butler Manufacturing, a Division of BlueScope Buildings North America, Inc.

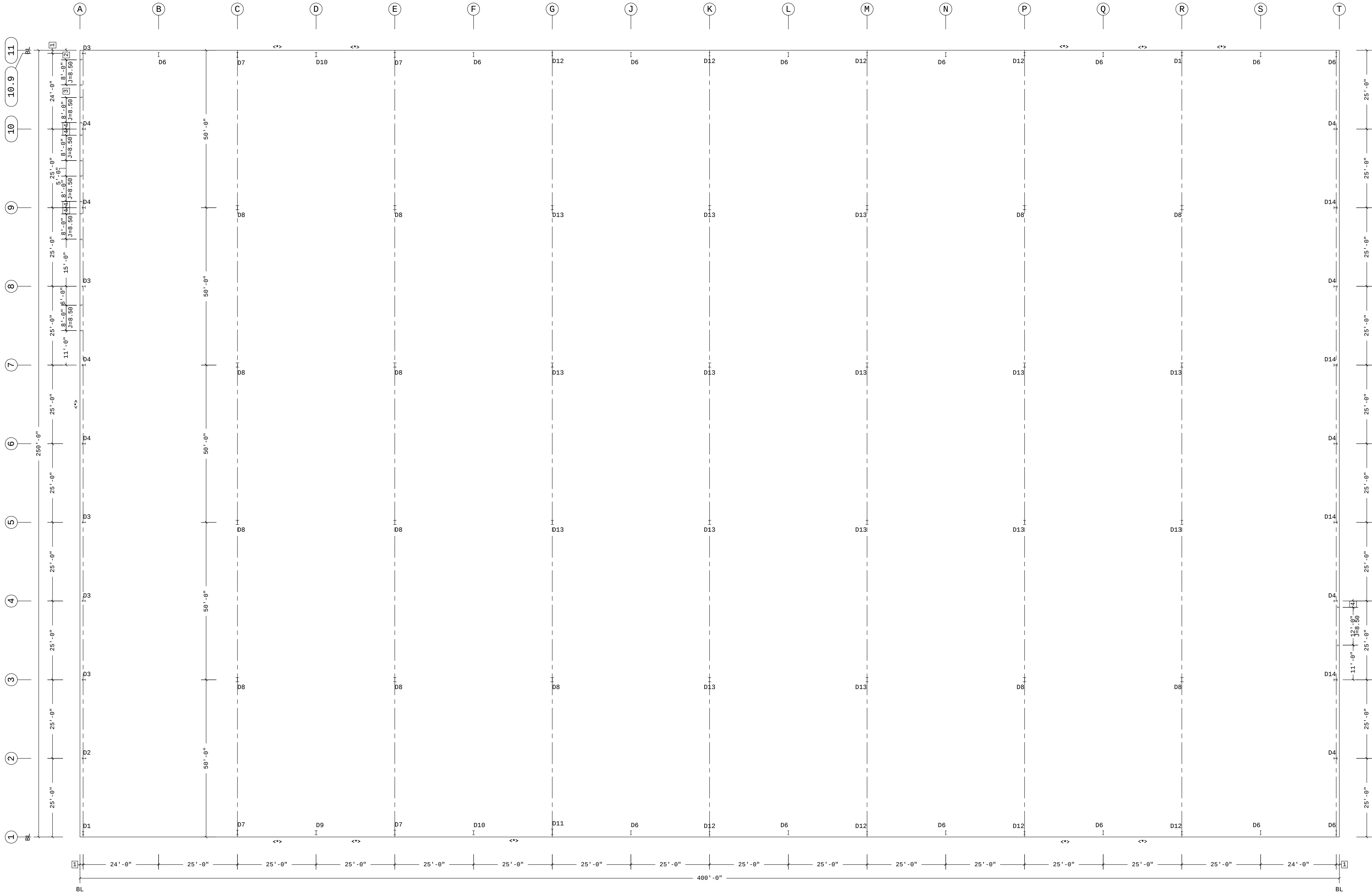
Canadian CSA A660 Certifications
(http://eng.cwbgroup.org/Certification/Pages/CertifiedCompanySearch.aspx)
Listed under BlueScope Buildings North America, Inc.

Engineering Certifications of Authorization
USA--AR#576; FL#30427; ID#C-2470; IL#184-002649; KS#E-29; MS#E-0592;
MO#E-2010007736; NC#F-0998; OK#CA4170PE; SD#C-1787; TX#F4828; WV#C03059-00;
CAN--AB#P08900; NS#30123; ON#100148796; and YT#PP134

FOR CONSTRUCTION

	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				ERECTION NOTES					
				REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.				
						CUSTOMER:	Humm Kombucha, LLC						
						LOCATION:	Roanoke, Virginia						
						PROJECT:	Humm Kombucha						
		DRAWING SCALE:				NTS				BUILDER'S PO#:	18-020		
				THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.									

	JOB #:	18-026503-01
	DATE:	7/2/18
	DRAWN/CHECK:	CBU / BHL
	PAGE:	3
Butler Manufacturing		
VPC VERSION: 2018.1c		



ANCHOR ROD PLAN

Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)

FOR CONSTRUCTION

- 4 2' - 0"
- 3 4' - 0"
- 2 3' - 0"
- 1 1' - 0"

Dimension Key

<-> THE BUILDING IS DESIGNED WITH BRACING DIAGONALS IN THE DESIGNATED BAYS. COLUMN BASE REACTIONS, BASE PLATES AND ANCHOR RODS ARE AFFECTED BY THIS BRACING AND DIAGONALS MAY NOT BE RELOCATED WITHOUT CONSULTING THE BUILDING SUPPLIERS ENGINEER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

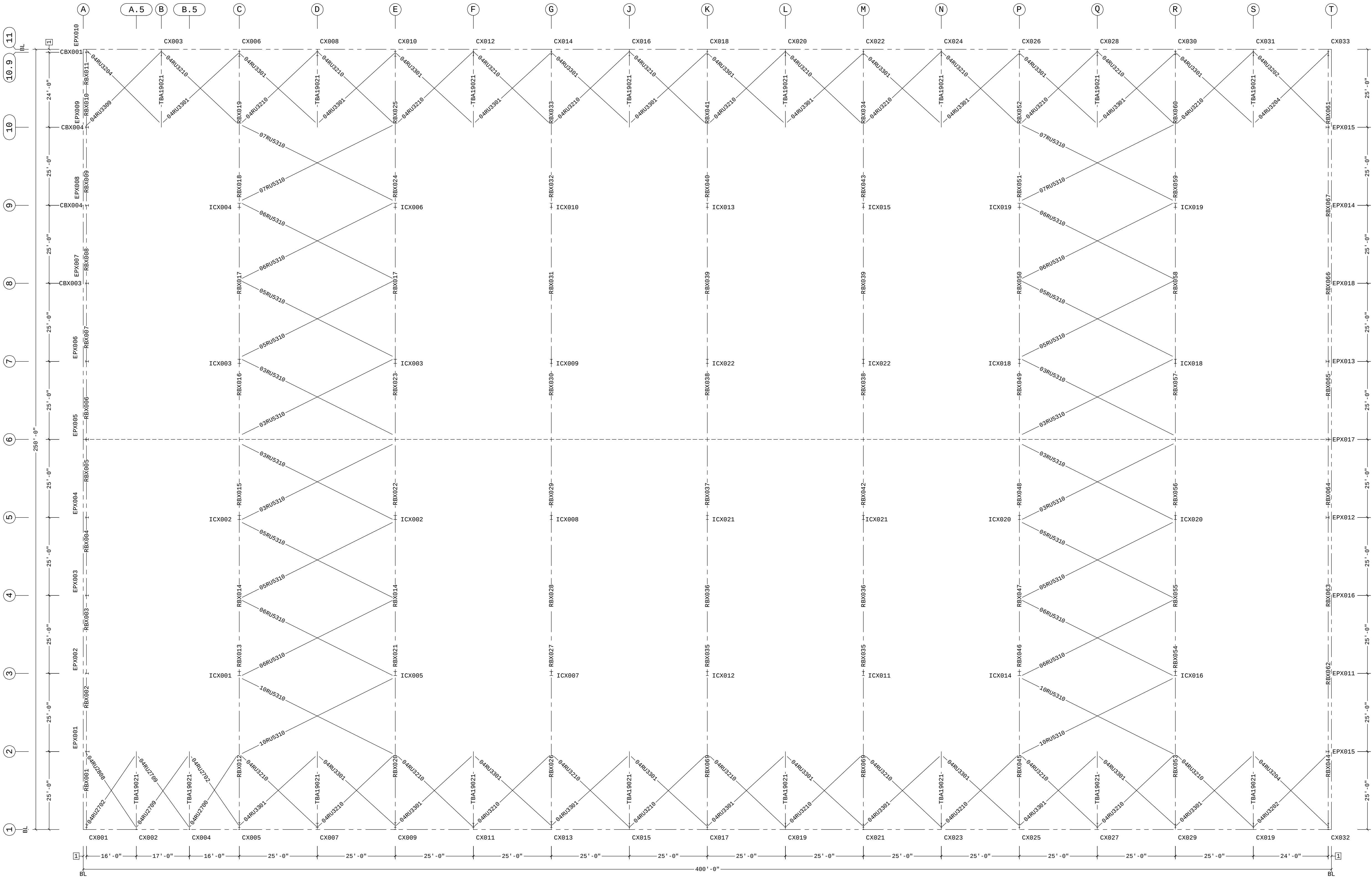
D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		ANCHOR ROD PLAN			
REV:	DATE:	BY:	DESCRIPTION:		BUILDER: Avis Construction Co., Inc.		 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01	
					CUSTOMER: Humm Kombucha, LLC			DATE: 7/2/18	
					LOCATION: Roanoke, Virginia			DRAWN/CHECK: CBU / BHL	
					PROJECT: Humm Kombucha			PAGE: 4	
DRAWING SCALE:				NTS		BUILDER'S PO#: 18-020			

FRAMED OPENING DETAIL

TYPICAL COLUMN BASE PLATE DETAIL

- ANCHOR RODS, NUTS, HARDENED WASHERS AND ANY OTHER EMBEDDED ITEMS ARE TO BE FURNISHED BY CONTRACTOR.
- ANCHOR ROD DIAMETERS WERE DETERMINED BY ALLOWABLE SHEAR AND TENSION PER AISC SPECIFICATIONS (FY=36KSI). (ASTM F1554 GRADE 36) ANCHOR ROD LENGTH, EFFECTS OF EMBEDDED ANCHOR ROD EDGE DIMENSIONS AND METHOD OF TRANSFERRING FORCES FROM ANCHOR RODS TO FOOTINGS ARE TO BE DETERMINED BY OTHERS.
- UNLESS OTHERWISE SPECIFIED, ANCHOR RODS ARE DESIGNED AND DETAILED AS "CAST-IN-PLACE" ANCHOR RODS WITH "SNUG TIGHT" CONNECTIONS.
- FOUNDATION MUST BE LEVEL, SQUARE AND SMOOTH. ANCHOR RODS MUST BE ACCURATELY PLACED AS SHOWN ON THIS DRAWING OR STEEL WILL NOT FIT. THE BUILDER IS RESPONSIBLE FOR ACCURATE SETTING OF ANCHOR RODS PER AISC CODE OF STANDARD PRACTICE, SEC 7.5 VARIATIONS ARE SUMMARIZED BELOW:
 - CENTERS OF ANY TWO AR'S WITHIN A COLUMN BASE GROUP; $\pm 1/8"$
 - CENTERS OF ADJACENT AR GROUPS; $\pm 1/4"$
 - TOPS OF AR'S; $\pm 1/2"$
 - ACCUMULATED DIM BETWEEN CENTERS OF AR GROUPS ALONG COLUMN LINE; $\pm 1/4"$ PER 100FT., NOT TO EXCEED 1" TOTAL.
 - DIM FROM CENTER OF ANY AR GROUP FROM COLUMN LINE; $\pm 1/4"$
- DESIGN LOADS AND REACTIONS ARE FURNISHED IN THE REACTIONS REPORT.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.	THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				ANCHOR ROD PLAN - DETAILS				
				REV:	DATE:	BY:	DESCRIPTION:		BUILDER:	Avis Construction Co., Inc.		BUTLER Butler Manufacturing VPC VERSION: 2018.1c JOB #: 18-026503-01 DATE: 7/2/18 DRAWN/CHECK: CBU / BHL PAGE: 5
								CUSTOMER:	Humm Kombucha, LLC			
								LOCATION:	Roanoke, Virginia			
								PROJECT:	Humm Kombucha			
				DRAWING SCALE:				NTS		BUILDER'S PO#: 18-020		



Bracing Part	Qty	Length	Detail
04RU2808	1	28'-8"	BR414, BR02K1
04RU2702	2	27'-2"	BR02K1,
04RU2709	2	27'-9"	BR02K1, BR414
03RU5310	8	53'-10"	BR414
05RU5310	8	53'-10"	BR414
06RU5310	8	53'-10"	BR414
10RU5310	4	53'-10"	BR414
04RU3210	27	32'-10"	BR414, BR02K1
04RU3301	27	33'-1"	BR02K1, BR414
04RU3204	3	32'-4"	BR02K1
04RU3202	2	32'-2"	BR02K1, BR414
07RU5310	4	53'-10"	BR414
04RU3309	1	33'-9"	BR02K1, BR414

PRIMARY AND ROOF BRACING PLAN

1 1'-0"
Dimension Key

Shape Name = Humm

FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

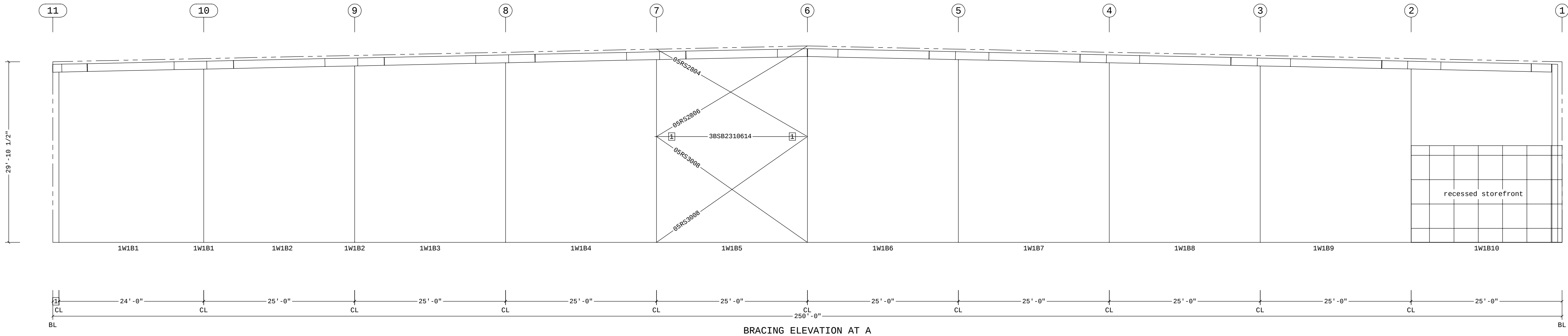
BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			
REV:	DATE:	BY:	DESCRIPTION:
DRAWING SCALE: NTS			

PRIMARY AND ROOF BRACING PLAN			
BUILDER:	Avis Construction Co., Inc.		
CUSTOMER:	Humm Kombucha, LLC		
LOCATION:	Roanoke, Virginia		
PROJECT:	Humm Kombucha		
BUILDER'S PO#:	18-020		

	JOB #: 18-026503-01
Butler Manufacturing	DATE: 10/16/18
VPC VERSION: 2018.1c	DRAWN/CHECK: DMD / JRB
	PAGE: 6

Bracing Part Schedule			
Part	Qty	Length	Detail
3BSB2310614	1	24' -4 3/4"	BR15J1
05RS3008	2	30' -8"	BR0162
05RS2806	1	28' -6"	BR0162
05RS2804	1	28' -4"	BR0162

Rod, Strut, and Misc. Connection Bolts					
I	Qty	Grade	Bolt Diam.	Bolt Length	PartNo
d					
1	2	A325	3/4"	2 1/2"	0097284



13	GFAP2054
12	GFAP0084
11	GFAP1054
10	0543333
9	J56
8	G8
7	G2
6	G1
5	J43
4	J42
3	J41
2	PG1
1	JT61

☐ Dimension Key ☐ Part Mark Key

Shape Name = Humm, Wall = 1

FOR CONSTRUCTION

1. UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

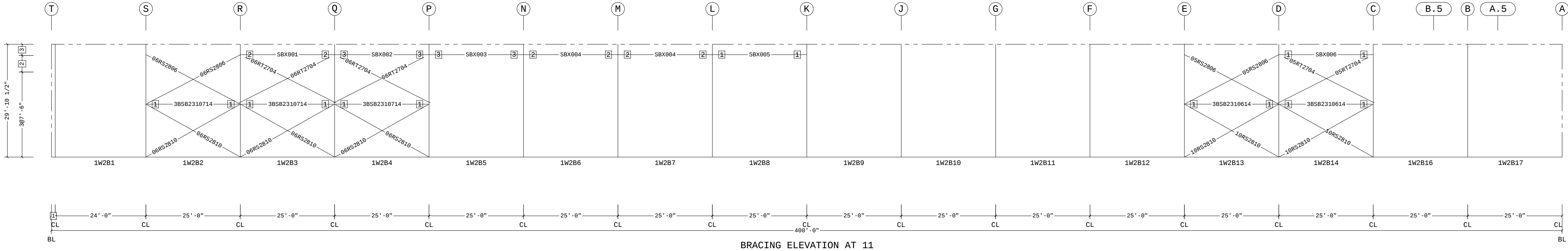
THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		BRACING ELEVATION AT A			
REV:	DATE:	BY:	DESCRIPTION:		BUILDER: Avis Construction Co., Inc.		 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01	
					CUSTOMER: Humm Kombucha, LLC			DATE: 10/16/18	
					LOCATION: Roanoke, Virginia			DRAWN/CHECK: DMD / JRB	
					PROJECT: Humm Kombucha			PAGE: 7	
DRAWING SCALE: NTS				BUILDER'S PO#: 18-020					

Bracing Part Schedule			
Part	Qty	Length	Detail
3BSB2310714	3	24'-4 7/8"	BR15J1
06RS2810	6	28'-10"	BR01G2
06RS2806	2	28'-6"	BR01G2
06RT2704	4	27'-4"	BR01G2, BR15JC
3BSB2310614	2	24'-4 3/4"	BR15J1
10RS2810	4	28'-10"	BR01G2
05RS2806	2	28'-6"	BR01G2
05RT2704	2	27'-4"	BR01G2, BR15JC

Bracing Member Schedule			
I	Part	Description	
d			
	SBX001	3P 8" x 1/4" flg - 0.1345" x 12" web	24'-10 13/16"
	SBX002	3P 8" x 3/8" flg - 3/16" x 12" web	24'-10 13/16"
	SBX003	3P 8" x 3/8" flg - 3/16" x 12" web	24'-10 13/16"
	SBX004	3P 8" x 1/4" flg - 0.1345" x 12" web	24'-10 13/16"
	SBX005	3P 8" x 1/4" flg - 0.1345" x 12" web	24'-10 13/16"
	SBX006	3P 8" x 1/4" flg - 0.1345" x 12" web	24'-10 13/16"

Rod, Strut, and Misc. Connection Bolts					
I	Qty	Grade	Bolt Diam.	Bolt Length	PartNo
d					
1	2	A325	3/4"	2 1/2"	0097284
2	3	A325	3/4"	2 1/2"	0097284
3	3	A325	7/8"	3 1/2"	0097380



3	3'-0"	3	0543333
2	4'-4 1/2"	2	GFAP1054
1	1'-0"	1	VCC07003090

□ Dimension Key ○ Part Mark Key

Shape Name = Humm, Wall = 2

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

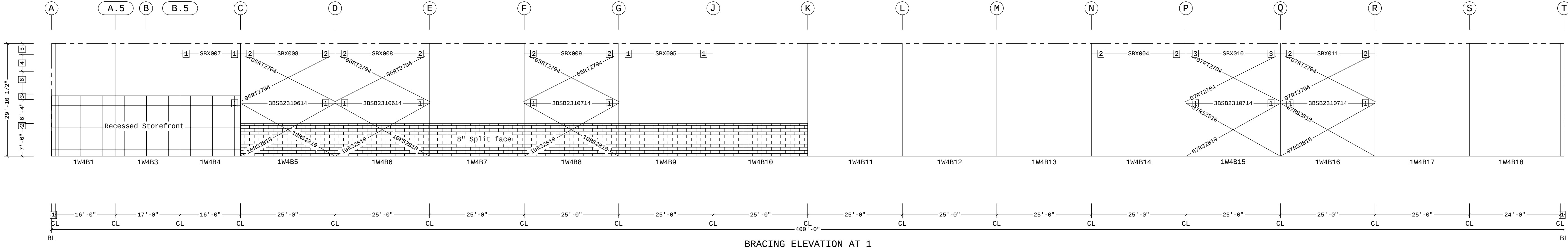
D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		BRACING ELEVATION AT 11	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01
				CUSTOMER:	Humm Kombucha, LLC		DATE: 10/16/18
				LOCATION:	Roanoke, Virginia		DRAWN/CHECK: DMD / JRB
				PROJECT:	Humm Kombucha		PAGE: 8
DRAWING SCALE: NTS				BUILDER'S PO#: 18-020			

Bracing Part Schedule			
Part	Qty	Length	Detail
3BSB2310614	2	24'-4 3/4"	BR15J1
10RS2810	6	28'-10"	BR0162
06RT2704	4	27'-4"	BR0162, BR15JC
3BSB2310714	3	24'-4 7/8"	BR15J1
05RT2704	2	27'-4"	BR0162, BR15JC
07RS2810	4	28'-10"	BR0162
07RT2704	4	27'-4"	BR0162, BR15JC

Bracing Member Schedule		
I d	Part	Description
	SBX007	3P 6" x 1/4" flg - 0.1345" x 12" web
	SBX008	3P 8" x 1/4" flg - 0.1345" x 12" web
	SBX009	3P 8" x 1/4" flg - 0.1345" x 12" web
	SBX005	3P 8" x 1/4" flg - 0.1345" x 12" web
	SBX004	3P 8" x 1/4" flg - 0.1345" x 12" web
	SBX010	3P 8" x 1/4" flg - 0.1345" x 12" web
	SBX011	3P 8" x 1/4" flg - 0.1345" x 12" web

Length	Vert. Clear
15'-10 13/16"	
24'-10 13/16"	
24'-10 13/16"	
24'-10 13/16"	
24'-10 13/16"	
24'-10 13/16"	
24'-10 13/16"	

Rod, Strut, and Misc. Connection Bolts					
I d	Qty	Grade	Bolt Diam.	Bolt Length	PartNo
1	2	A325	3/4"	2 1/2"	0097284
2	3	A325	3/4"	2 1/2"	0097284
3	4	A325	3/4"	2 1/2"	0097284



Shape Name = Humm, Wall = 4

6	6' -0 1/2"	
5	3' -0"	
4	4' -4 1/2"	4 GFAP1054
3	1' -5 1/2"	3 GFAP0084
2	1' -2"	2 GFAP1024
1	1' -0"	1 0543333

Dimension Key Part Mark Key

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.
				CUSTOMER:	Humm Kombucha, LLC
				LOCATION:	Roanoke, Virginia
				PROJECT:	Humm Kombucha
DRAWING SCALE:				BUILDER'S PO#:	18-020
NTS					

FOR CONSTRUCTION

BRACING ELEVATION AT 1

BUILDER:	Avis Construction Co., Inc.
CUSTOMER:	Humm Kombucha, LLC
LOCATION:	Roanoke, Virginia
PROJECT:	Humm Kombucha
BUILDER'S PO#:	18-020



Butler Manufacturing
VPC VERSION: 2018.1c

JOB #:	18-026503-01
DATE:	10/16/18
DRAWN/CHECK:	DMD / JRB
PAGE:	9

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	
CBX003	10001	5.0000	.1875	.1345	10"	10"	5'-7 1/2"	72#	

Bolt Connection & Plate Schedule

Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo
A	4	A325	7/8"	3 1/2"	5/8"	1	1	0097380

4

5'-0 1/16" 0.500:12

3

2 @ 1'-11 5/16"

2

1'-1 7/16"

1

12'-6"

Dimension Key

ENDWALL CANOPY BEAM LOCATED AT [8-A]

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	
CBX004	10001	5.0000	.3125	.1345	11"	11"	5'-7 1/2"	100#	

Bolt Connection & Plate Schedule

Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo
A	6	A325	3/4"	2 1/2"	5/8"	2	1	0097284

4

5'-0 1/16" 0.500:12

3

2 @ 1'-11 5/16"

2

1'-1 7/16"

1

12'-6"

Dimension Key

ENDWALL CANOPY BEAM LOCATED AT [9-A]

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	
CBX004	10001	5.0000	.3125	.1345	11"	11"	5'-7 1/2"	100#	

Bolt Connection & Plate Schedule

Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo
A	6	A325	3/4"	2 1/2"	5/8"	2	1	0097284

4

5'-0 1/16" 0.500:12

3

2 @ 1'-11 5/16"

2

1'-1 7/16"

1

12'-6"

Dimension Key

ENDWALL CANOPY BEAM LOCATED AT [10-A]

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	
CBX001	10001	5.0000	.1875	.1345	11"	11"	5'-7 1/2"	75#	

Bolt Connection & Plate Schedule

Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo
A	4	A325	3/4"	2 1/2"	5/8"	1	1	0097284

4

5'-0 1/16" 0.500:12

3

2 @ 1'-11 5/16"

2

1'-1 7/16"

1

12'-6"

Dimension Key

ENDWALL CANOPY BEAM LOCATED AT [A-10.9]

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

REV:

DATE:

BY:

DESCRIPTION:

DRAWING SCALE:

NTS

BUTLER MANUFACTURING

1540 GENESSEE ST. KANSAS CITY, MO 64102

BUILDER: Avis Construction Co., Inc.

CUSTOMER: Humm Kombucha, LLC

LOCATION: Roanoke, Virginia

PROJECT: Humm Kombucha

BUILDER'S PO#: 18-020

ENDWALL CANOPY BEAMS LOCATED ALONG GRID A

Butler Manufacturing

VPC VERSION: 2018.1c

JOB #: 18-026503-01

DATE: 10/16/18

DRAWN/CHECK: DMD / JRB

PAGE: 10

FILENAME: C:\BUFFKIN\Current Detailing Folder\18-026503-05_ENDWALL CANOPY BEAM LOCATED AT [8-A].dwg

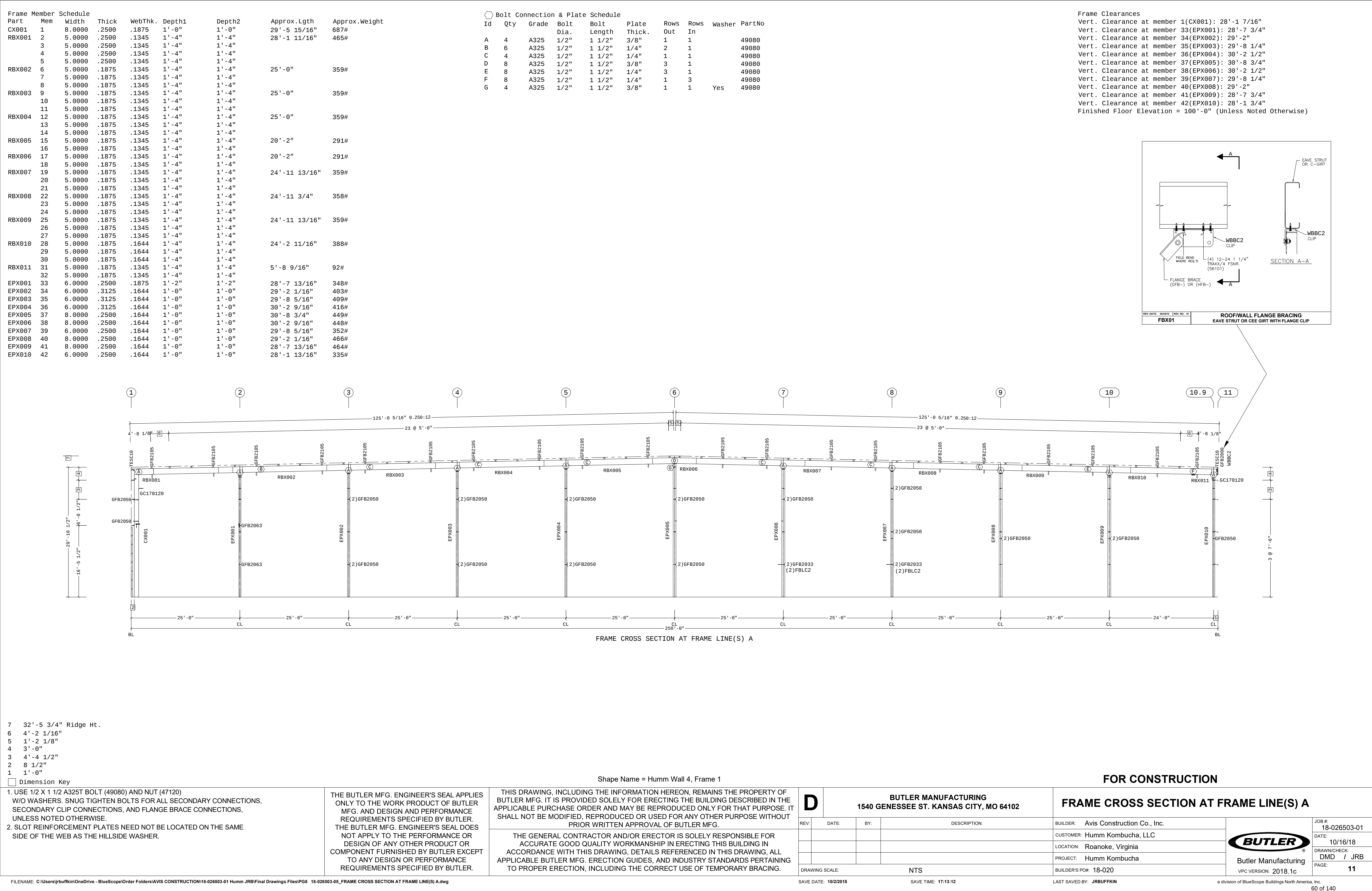
SAVE DATE: 10/2/2018

SAVE TIME: 11:23:49

LAST SAVED BY: JRBUFFKIN

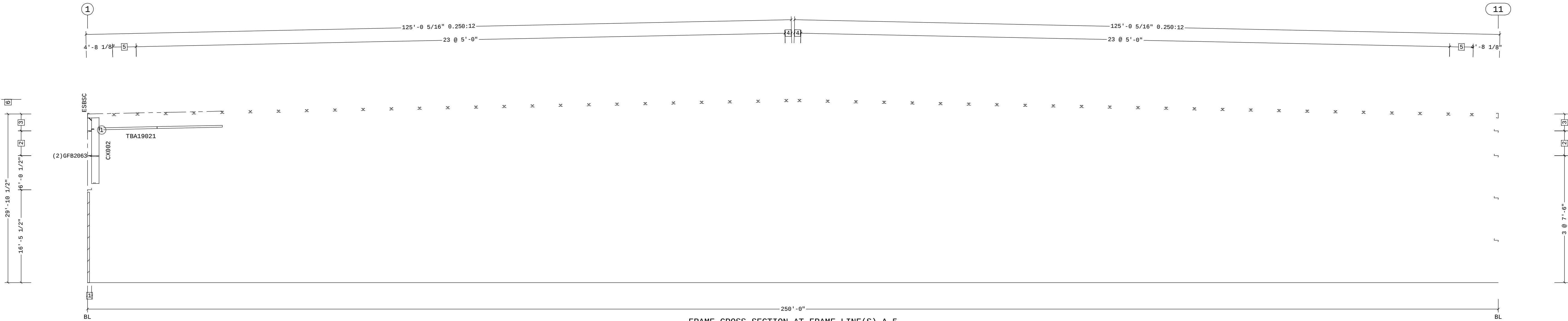
a division of BlueScope Buildings North America, Inc.

59 of 140



Frame Member Schedule							
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth
CX002	1	5.0000	.1345	.1345	1'-4"	1'-4"	11'-8"
TBA19021	2				4"	4"	19'-2 1/8"
	3				4"	4"	

Frame Clearances
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
5 4'-2 1/16"
4 1'-2 1/8"
3 3'-0"
2 4'-4 1/2"
1 8 1/2"
- 1 (2)16MDB02060
- Dimension Key ○ Part Key

Shape Name = Humm Wall 4, Frame 2

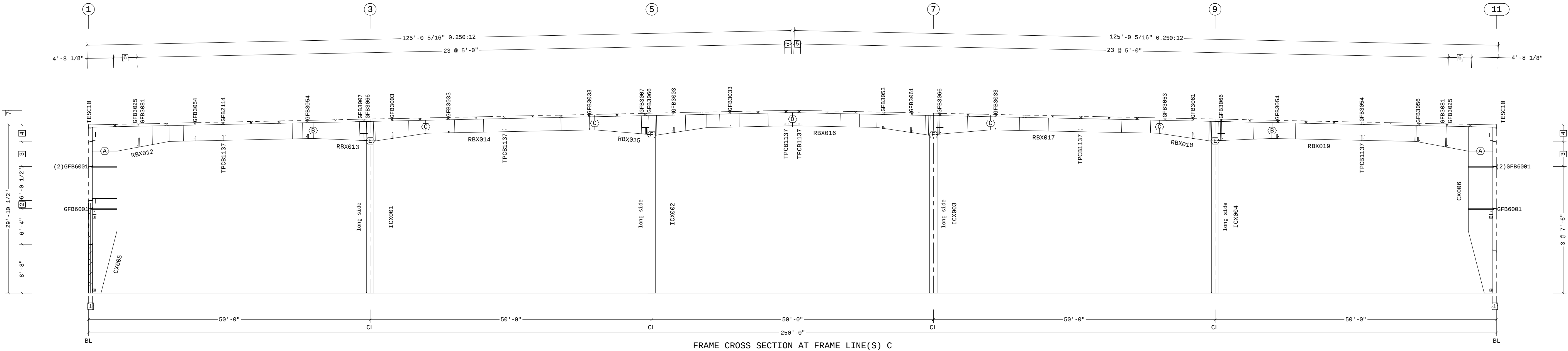
FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			FRAME CROSS SECTION AT FRAME LINE(S) A.5							
				REV:	DATE:	BY:	DESCRIPTION:		BUILDER:	Avis Construction Co., Inc.		JOB #:	18-026503-01	
									CUSTOMER:	Humm Kombucha, LLC		DATE:	10/16/18	
									LOCATION:	Roanoke, Virginia		DRAWN/CHECK:	DMD / JRB	
									PROJECT:	Humm Kombucha		PAGE:	12	
			DRAWING SCALE: NTS				BUILDER'S PO#: 18-020				 Butler Manufacturing VPC VERSION: 2018.1c			

Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX005	1	8.0000	.3750	.2500	1'-6"	4'-4"	25'-2 13/16"	1813#
	2	8.0000	.6250	.2500	4'-4"	4'-4"		
RBX012	3	6.0000	.6250	.2500	4'-4"	2'-10"	39'-10 1/16"	1963#
	4	6.0000	.3750	.1875	2'-10"	2'-10"		
RBX013	5	6.0000	.3750	.2500	2'-10"	3'-6"	20'-0"	1066#
	6	6.0000	.3750	.2500	3'-6"	2'-4"		
RBX014	7	6.0000	.3125	.1644	2'-4"	2'-4"	30'-0"	925#
RBX015	8	6.0000	.3750	.2500	2'-4"	3'-6"	35'-2"	1461#
	9	6.0000	.3750	.2500	3'-6"	2'-4"		
	10	6.0000	.2500	.1644	2'-4"	2'-4"		
RBX016	11	6.0000	.2500	.1644	2'-4"	2'-4"	35'-2"	1446#
	12	6.0000	.3750	.2500	2'-4"	3'-6"		
	13	6.0000	.3750	.2500	3'-6"	2'-4"		
RBX017	14	6.0000	.3125	.1644	2'-4"	2'-4"	30'-0"	925#
RBX018	15	6.0000	.3750	.2500	2'-4"	3'-6"	20'-0"	1066#
	16	6.0000	.3750	.2500	3'-6"	2'-10"		
RBX019	17	6.0000	.3750	.1875	2'-10"	2'-10"	39'-10 1/16"	1954#
	18	6.0000	.6250	.2500	2'-10"	4'-4"		
CX006	19	8.0000	.6250	.2500	4'-4"	4'-4"	25'-2 3/4"	1743#
	20	8.0000	.3750	.2500	1'-6"	4'-4"		
ICX001	21	12.0000	.6250	.1875	1'-4"	1'-4"	27'-0 13/16"	1712#
ICX002	22	12.0000	.6250	.1875	1'-4"	1'-4"	28'-2 3/16"	1778#
ICX003	23	12.0000	.6250	.1875	1'-4"	1'-4"	28'-2 1/8"	1778#
ICX004	24	12.0000	.6250	.1875	1'-4"	1'-4"	27'-0 13/16"	1713#

Bolt Connection & Plate Schedule										
Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo		
A	8	A325	3/4"	2 1/2"	5/8"	2	2	0097284		
B	4	A325	3/4"	2 1/2"	3/8"	1	1	0097284		
C	6	A325	3/4"	2 1/2"	3/8"	2	1	0097284		
D	10	A325	3/4"	2 1/2"	3/8"	1	4	0097284		
E	12	A325	3/4"	2 1/2"	1/2"	3	3	0097284		
F	8	A325	3/4"	2 1/2"	1/2"	2	2	0097284		

Frame Clearances
Horiz. Clearance between members 1(CX005) and 19(CX006): 239'-11"
Horiz. Clearance between members 1(CX005) and 20(CX006): 239'-11"
Horiz. Clearance between members 2(CX005) and 19(CX006): 239'-11"
Horiz. Clearance between members 2(CX005) and 20(CX006): 239'-11"
Vert. Clearance at member 2(CX005): 25'-2 3/4"
Vert. Clearance at member 19(CX006): 25'-2 3/4"
Vert. Clearance at member 21(ICX001): 27'-0 3/16"
Vert. Clearance at member 22(ICX002): 28'-0 13/16"
Vert. Clearance at member 23(ICX003): 28'-0 13/16"
Vert. Clearance at member 24(ICX004): 27'-0 3/16"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 7 32'-5 3/4" Ridge Ht.
6 4'-2 1/16"
5 1'-2 1/8"
4 3'-0"
3 4'-4 1/2"
2 1'-5 1/2"
1 8 1/2"

Dimension Key

Shape Name = Humm Wall 4, Frame 5

FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				FRAME CROSS SECTION AT FRAME LINE(S) C			
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #:
				CUSTOMER:	Humm Kombucha, LLC		18-026503-01
				LOCATION:	Roanoke, Virginia		DATE:
				PROJECT:	Humm Kombucha		10/16/18
DRAWING SCALE: NTS				BUILDER'S PO#:	18-020		DRAWN/CHECK:
							DMD / JRB
							PAGE:
							15

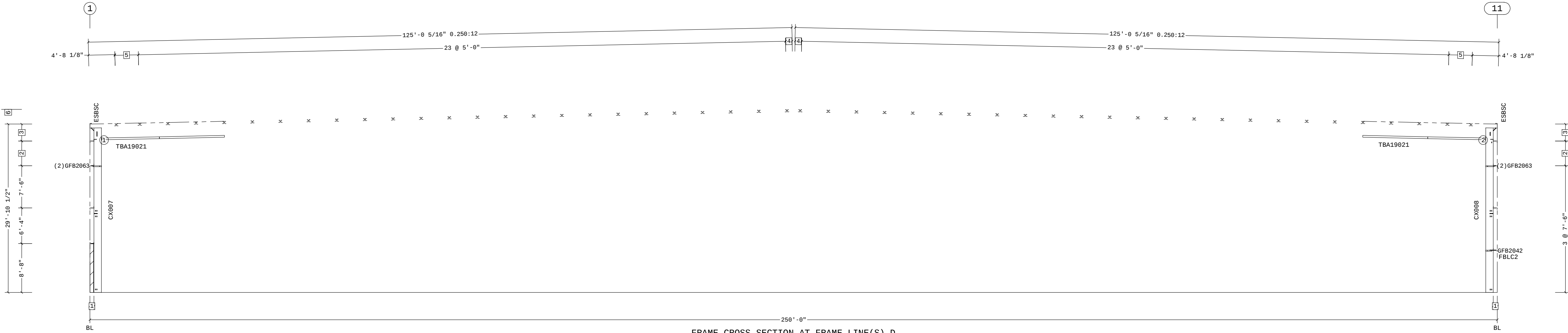


Butler Manufacturing

VPC VERSION: 2018.1c

Frame Member Schedule								
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX007	1	10.0000	.3750	.1644	1' -4"	1' -4"	29' -2 1/2"	1082#
TBA19021	2				4"	4"	19' -2 1/8"	
	3				4"	4"		
TBA19021	4				4"	4"	19' -2 1/8"	
	5				4"	4"		
CX008	6	8.0000	.3750	.1644	1' -4"	1' -4"	29' -2 1/2"	907#

Frame Clearances
Horiz. Clearance between members 1(CX007) and 6(CX008): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32' -5 3/4" Ridge Ht.
5 4' -2 1/16"
4 1' -2 1/8"
3 3' -0"
2 4' -4 1/2" 2 (2)16MDB02060
1 8 1/2" 1 (2)16MDB02060

□ Dimension Key ○ Part Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

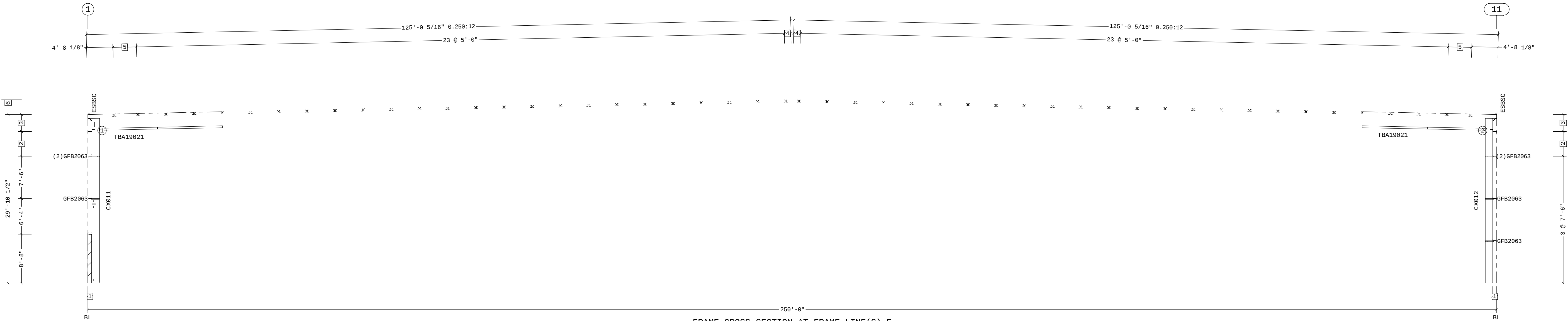
THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm Wall 4, Frame 6

FOR CONSTRUCTION

Frame Member Schedule							
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth
CX011	1	8.0000	.5000	.1644	1'-4"	1'-4"	29'-2 1/2"
TBA19021	2				4"	4"	19'-2 1/8"
	3				4"	4"	
TBA19021	4				4"	4"	19'-2 1/8"
	5				4"	4"	
CX012	6	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"
							461#

Frame Clearances
Horiz. Clearance between members 1(CX011) and 6(CX012): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
- 5 4'-2 1/16"
- 4 1'-2 1/8"
- 3 3'-0"
- 2 4'-4 1/2"
- 1 8 1/2"

Dimension Key Part Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm Wall 4, Frame 8

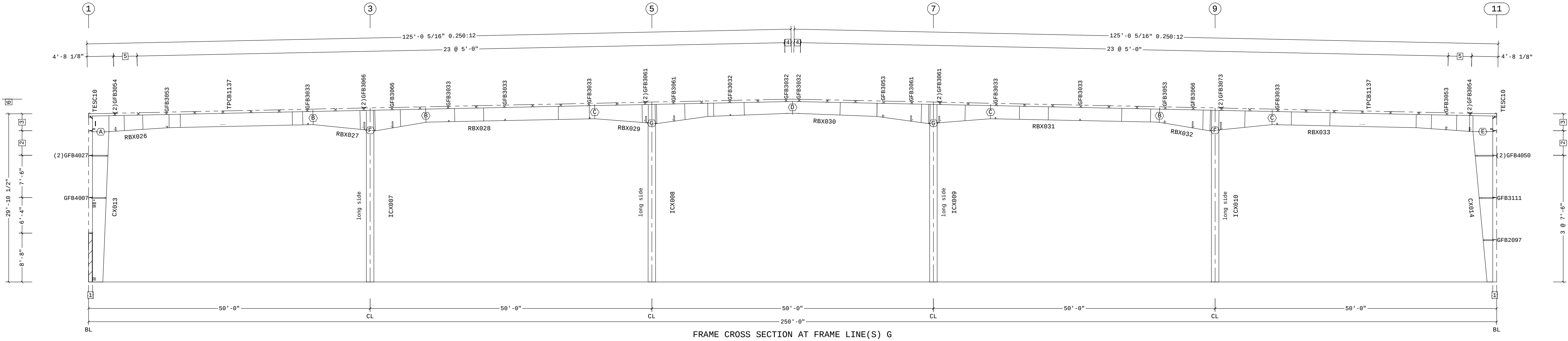
FOR CONSTRUCTION

BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				FRAME CROSS SECTION AT FRAME LINE(S) F			
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #:
				CUSTOMER:	Humm Kombucha, LLC		18-026503-01
				LOCATION:	Roanoke, Virginia		DATE:
				PROJECT:	Humm Kombucha		10/16/18
DRAWING SCALE: NTS				BUILDER'S PO#:	18-020	Butler Manufacturing	DRAWN/CHECK:
						VPC VERSION: 2018.1c	DMD / JRB
							PAGE:
							18

Frame Member Part	Mem	Schedule	Width	Thick	WebThk.	Depth1	Depth2	Approx..Lgth	Approx.Weight
CX013	1	8.0000	.3750	.1875		1'-10"	2'-11"	26'-8 1/8"	1089#
RBX026	2	6.0000	.2500	.1875		2'-10"	2'-4"	39'-10 1/16"	1304#
	3	6.0000	.3125	.1875		2'-4"	2'-4"		
RBX027	4	6.0000	.3750	.2500		2'-4"	3'-8"	20'-0"	1049#
	5	6.0000	.3750	.2500		3'-8"	2'-4"		
RBX028	6	6.0000	.3125	.1644		2'-4"	2'-4"	30'-0"	927#
RBX029	7	6.0000	.3750	.2500		2'-4"	3'-5"	35'-2"	1400#
	8	6.0000	.3750	.2500		3'-5"	2'-4"		
	9	6.0000	.3125	.1644		2'-4"	2'-1"		
RBX030	10	6.0000	.3125	.1644		2'-1"	2'-4"	35'-2"	1393#
	11	6.0000	.3750	.2500		2'-4"	3'-5"		
	12	6.0000	.3750	.2500		3'-5"	2'-4"		
RBX031	13	6.0000	.3125	.1644		2'-4"	2'-4"	30'-0"	927#
RBX032	14	6.0000	.3750	.2500		2'-4"	3'-8"	20'-0"	1037#
	15	6.0000	.3750	.2500		3'-8"	2'-4"		
RBX033	16	6.0000	.3125	.1875		2'-4"	2'-4"	39'-10 1/16"	1282#
	17	6.0000	.2500	.1875		2'-4"	2'-10"		
CX014	18	6.0000	.3125	.1875		1'-0"	3'-6"	26'-8 7/16"	832#
ICX007	19	12.0000	.6250	.2500		1'-4"	1'-4"	27'-0"	1790#
ICX008	20	10.0000	.5000	.2500		1'-4"	1'-4"	28'-3 1/8"	1368#
ICX009	21	10.0000	.5000	.2500		1'-4"	1'-4"	28'-3 1/16"	1368#
ICX010	22	10.0000	.5000	.2500		1'-4"	1'-4"	26'-11 7/8"	1316#

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo	
A	6	A325	3/4"	2 1/2"	1/2"	2	1	0097284	
B	8	A325	3/4"	2 1/2"	3/8"	3	1	0097284	
C	6	A325	3/4"	2 1/2"	3/8"	2	1	0097284	
D	6	A325	3/4"	2 1/2"	1/2"	1	2	0097284	
E	8	A325	3/4"	2 1/2"	3/8"	2	2	0097284	
F	8	A325	3/4"	2 1/2"	1/2"	2	2	0097284	
G	12	A325	3/4"	2 1/2"	3/8"	3	3	0097284	

Frame Clearances
Horiz. Clearance between members 1(CX013) and 18(CX014): 242'-2"
Vert. Clearance at member 1(CX013): 26'-8 1/8"
Vert. Clearance at member 18(CX014): 26'-8 7/16"
Vert. Clearance at member 19(ICX007): 26'-10 3/8"
Vert. Clearance at member 20(ICX008): 28'-1 15/16"
Vert. Clearance at member 21(ICX009): 28'-1 15/16"
Vert. Clearance at member 22(ICX010): 26'-10 3/8"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
- 5 4'-2 1/16"
- 4 1'-2 1/8"
- 3 3'-0"
- 2 4'-4 1/2"
- 1 8 1/2"

Dimension Key

Shape Name = Humm Wall 4, Frame 9

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

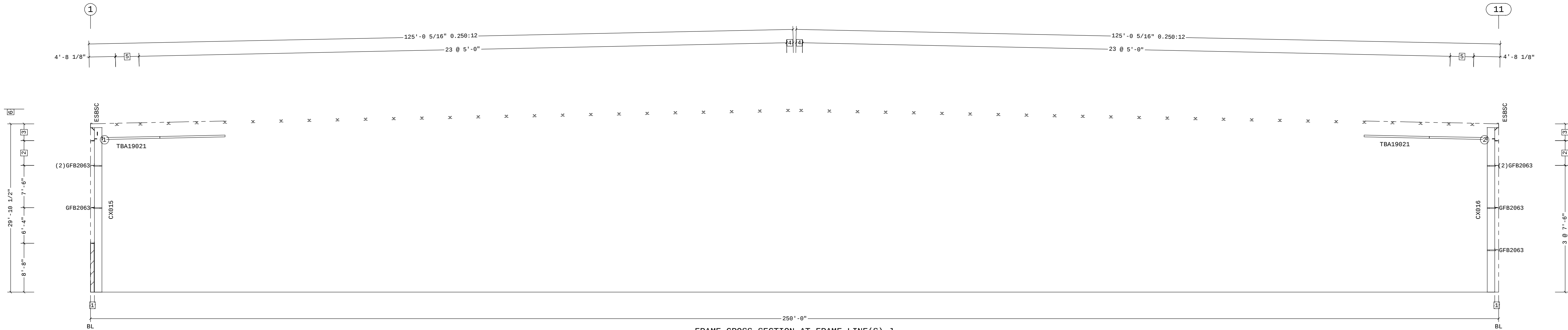
THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				FRAME CROSS SECTION AT FRAME LINE(S) G			
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #:
				CUSTOMER:	Humm Kombucha, LLC		18-026503-01
				LOCATION:	Roanoke, Virginia		DATE:
				PROJECT:	Humm Kombucha		10/16/18
DRAWING SCALE: NTS				BUILDER'S PO#:	18-020		DRAWN/CHECK:
						DMD / JRB	
						PAGE:	
						19	

Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX015	1	5.0000	.3750	.1644	1'-4"	1'-4"	29'-2 1/2"	670#
TBA19021	2				4"	4"	19'-2 1/8"	
	3				4"	4"		
TBA19021	4				4"	4"	19'-2 1/8"	
	5				4"	4"		
CX016	6	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"	461#

Frame Clearances
Horiz. Clearance between members 1(CX015) and 6(CX016): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
5 4'-2 1/16"
4 1'-2 1/8"
3 3'-0"
2 4'-4 1/2"
1 8 1/2"
- 2 (2)16MDB02060
1 (2)16MDB02060
- Part Key

□ Dimension Key

Shape Name = Humm Wall 4, Frame 10

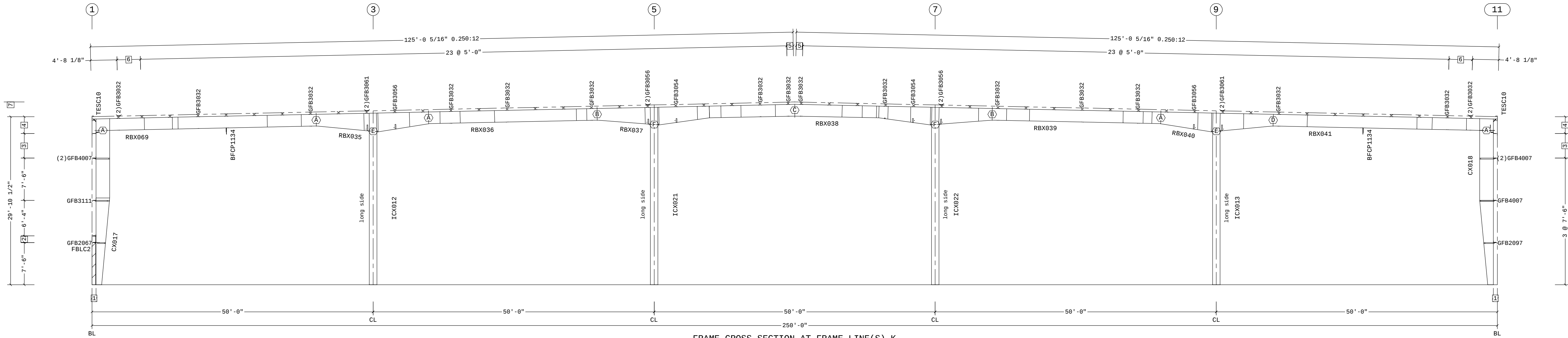
FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	FRAME CROSS SECTION AT FRAME LINE(S) J					
				BUILDER:	Avis Construction Co., Inc.			 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: DMD / JRB PAGE: 20
				CUSTOMER:	Humm Kombucha, LLC				
				LOCATION:	Roanoke, Virginia				
				PROJECT:	Humm Kombucha				
				DRAWING SCALE: NTS				BUILDER'S PO#: 18-020	

Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX017	1	5.0000	.2500	.1644	1'-0"	2'-5"	27'-5 1/16"	698#
	2	5.0000	.3750	.1644	2'-5"	2'-5"		
RBX069	3	6.0000	.3125	.1644	2'-1"	2'-1"	39'-10 1/16"	1217#
	4	6.0000	.3750	.1644	2'-1"	2'-1"		
RBX035	5	6.0000	.5000	.2500	2'-1"	3'-4"	20'-0"	1051#
	6	6.0000	.5000	.2500	3'-4"	2'-1"		
RBX036	7	6.0000	.2500	.1644	2'-1"	2'-1"	30'-0"	810#
RBX037	8	6.0000	.5000	.2500	2'-1"	3'-2"	35'-2"	1418#
	9	6.0000	.5000	.2500	3'-2"	2'-1"		
	10	6.0000	.2500	.1644	2'-1"	2'-1"		
RBX038	11	6.0000	.2500	.1644	2'-1"	2'-1"	35'-2"	1415#
	12	6.0000	.5000	.2500	2'-1"	3'-2"		
	13	6.0000	.5000	.2500	3'-2"	2'-1"		
RBX039	14	6.0000	.2500	.1644	2'-1"	2'-1"	30'-0"	810#
RBX040	15	6.0000	.5000	.2500	2'-1"	3'-4"	20'-0"	1049#
	16	6.0000	.5000	.2500	3'-4"	2'-1"		
RBX041	17	6.0000	.3750	.1644	2'-1"	2'-1"	39'-10 1/16"	1208#
	18	6.0000	.3125	.1644	2'-1"	2'-1"		
CX018	19	5.0000	.3750	.1644	2'-5"	2'-5"	27'-5 1/16"	697#
	20	5.0000	.2500	.1644	1'-0"	2'-5"		
ICX012	21	10.0000	.5000	.1875	1'-4"	1'-4"	27'-3 7/8"	1245#
ICX021	22	10.0000	.5000	.1875	1'-4"	1'-4"	28'-6 1/8"	1297#
ICX022	23	10.0000	.5000	.1875	1'-4"	1'-4"	28'-6 1/16"	1297#
ICX013	24	10.0000	.5000	.1875	1'-4"	1'-4"	27'-3 7/8"	1245#

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo	
A	6	A325	3/4"	2 1/2"	1/2"	2	1	0097284	
B	8	A325	3/4"	2 1/2"	3/8"	3	1	0097284	
C	6	A325	3/4"	2 1/2"	1/2"	1	2	0097284	
D	8	A325	3/4"	2 1/2"	1/2"	3	1	0097284	
E	12	A325	3/4"	2 1/2"	1/2"	3	3	0097284	
F	8	A325	3/4"	2 1/2"	1/2"	2	2	0097284	

Frame Clearances
Horiz. Clearance between members 1(CX017) and 19(CX018): 243'-9"
Horiz. Clearance between members 1(CX017) and 20(CX018): 243'-9"
Horiz. Clearance between members 2(CX017) and 19(CX018): 243'-9"
Horiz. Clearance between members 2(CX017) and 20(CX018): 243'-9"
Vert. Clearance at member 2(CX017): 27'-5 1/16"
Vert. Clearance at member 19(CX018): 27'-5 1/16"
Vert. Clearance at member 21(ICX012): 27'-2 1/2"
Vert. Clearance at member 22(ICX021): 28'-4 15/16"
Vert. Clearance at member 23(ICX022): 28'-4 15/16"
Vert. Clearance at member 24(ICX013): 27'-2 1/2"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 7 32'-5 3/4" Ridge Ht.
6 4'-2 1/16"
5 1'-2 1/8"
4 3'-0"
3 4'-4 1/2"
2 1'-2"
1 8 1/2"

Dimension Key

Shape Name = Humm Wall 4, Frame 11

FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D		BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	
REV:	DATE:	BY:	DESCRIPTION:
DRAWING SCALE:		NTS	
SAVE DATE: 10/2/2018		SAVE TIME: 17:31:30	

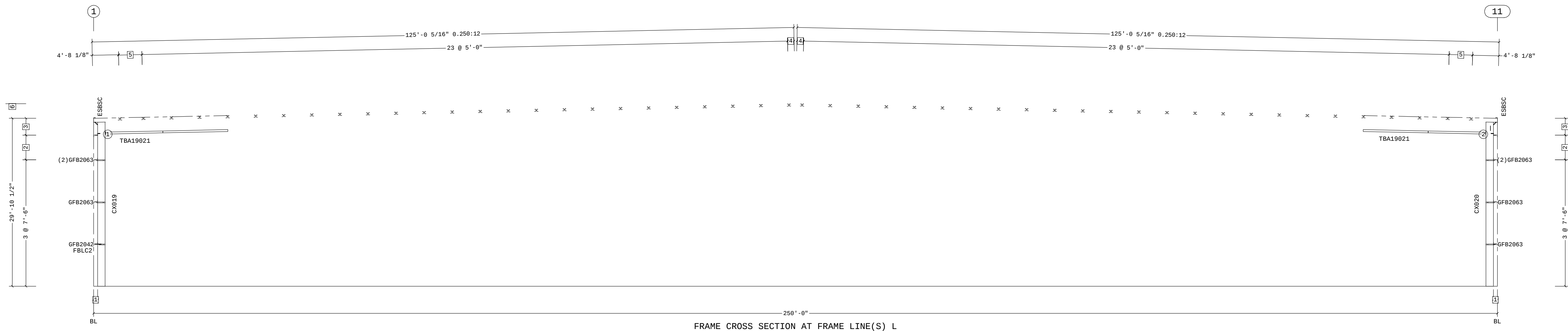
FRAME CROSS SECTION AT FRAME LINE(S) K				
BUILDER:	Avis Construction Co., Inc.			
CUSTOMER:	Humm Kombucha, LLC			
LOCATION:	Roanoke, Virginia			
PROJECT:	Humm Kombucha			
BUILDER'S PO#:	18-020			
JOB #:	18-026503-01			
DATE:	10/16/18			
DRAWN/CHECK:	DMD / JRB			
PAGE:	21			



Butler Manufacturing
VPC VERSION: 2018.1c

Frame Member Schedule								
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX019	1	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"	461#
TBA19021	2				4"	4"	19'-2 1/8"	
	3				4"	4"		
TBA19021	4				4"	4"	19'-2 1/8"	
	5				4"	4"		
CX020	6	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"	469#

Frame Clearances
Horiz. Clearance between members 1(CX019) and 6(CX020): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
- 5 4'-2 1/16"
- 4 1'-2 1/8"
- 3 3'-0"
- 2 4'-4 1/2" 2 (2)16MDB02060
- 1 8 1/2" 1 (2)16MDB02060

☐ Dimension Key ☐ Part Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm Wall 4, Frame 12

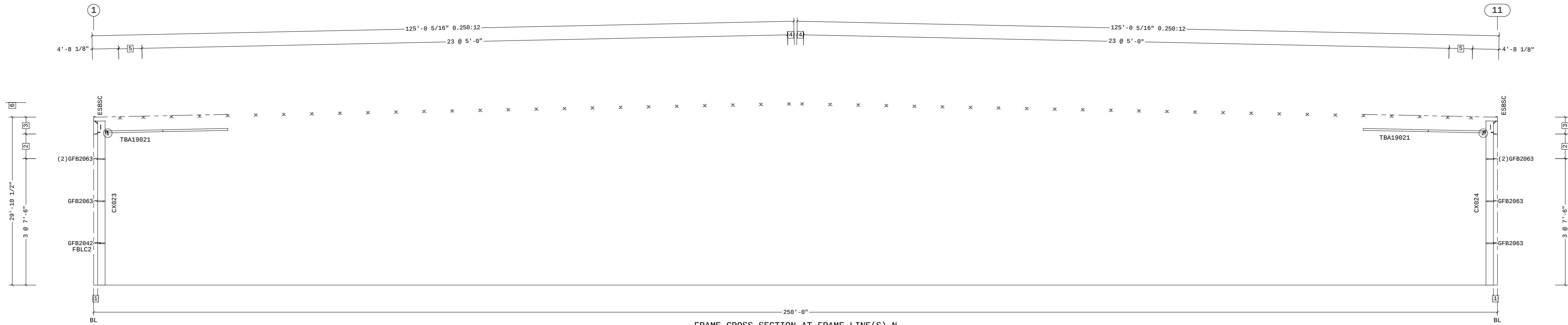
FOR CONSTRUCTION

D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				FRAME CROSS SECTION AT FRAME LINE(S) L			
	REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #: 18-026503-01
					CUSTOMER:	Humm Kombucha, LLC		DATE: 10/16/18
					LOCATION:	Roanoke, Virginia		DRAWN/CHECK: DMD / JRB
					PROJECT:	Humm Kombucha		PAGE: 22
DRAWING SCALE: NTS					BUILDER'S PO#:	18-020		



Frame Member Schedule							
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth
CX023	1	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"
TBA19021	2				4"	4"	19'-2 1/8"
	3				4"	4"	
TBA19021	4				4"	4"	19'-2 1/8"
	5				4"	4"	
CX024	6	5.0000	.1345	.1875	1'-4"	1'-4"	29'-2 1/2"
							470#

Frame Clearances
Horiz. Clearance between members 1(CX023) and 6(CX024): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE(S) N

- 6 32'-5 3/4" Ridge Ht.
- 5 4'-2 1/16"
- 4 1'-2 1/8"
- 3 3'-0"
- 2 4'-4 1/2" 2 (2)16MDB02060
- 1 8 1/2" 1 (2)16MDB02060

□ Dimension Key ○ Part Key

Shape Name = Humm Wall 4, Frame 14

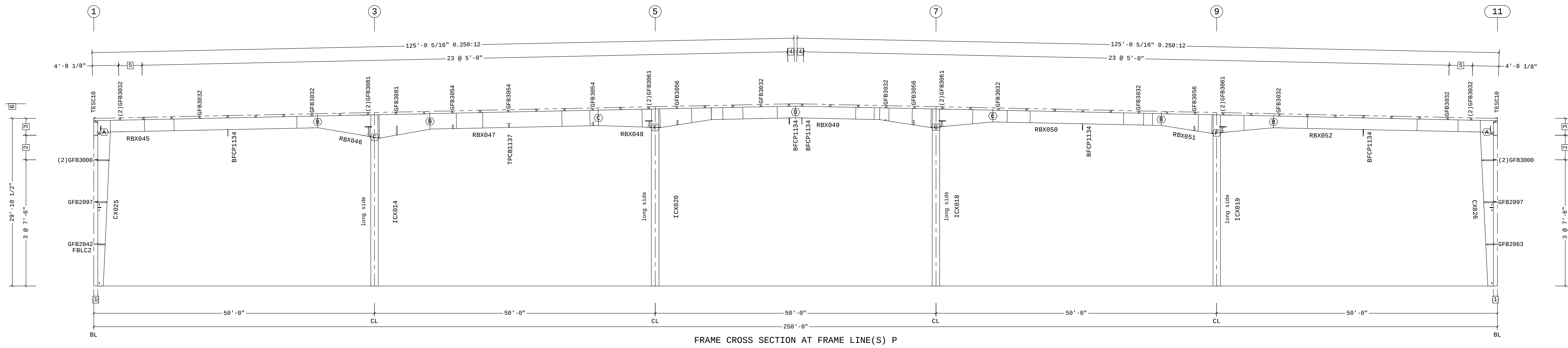
FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	FRAME CROSS SECTION AT FRAME LINE(S) N						
				REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: DMD / JRB PAGE: 24
								CUSTOMER:	Humm Kombucha, LLC	
								LOCATION:	Roanoke, Virginia	
								PROJECT:	Humm Kombucha	
				DRAWING SCALE: NTS				BUILDER'S PO#: 18-020		

Frame Member Part	Mem	Schedule	Width	Thick	WebThk.	Depth1	Depth2	Approx..Lgth	Approx.Weight
CX025	1	6.0000	.3125	.1644	1'-0"	2'-3"	27'-5 3/16"	682#	
RBX045	2	6.0000	.3125	.1875	2'-1"	2'-1"	39'-10 1/16"	1260#	
	3	6.0000	.3750	.1875	2'-1"	2'-1"			
RBX046	4	6.0000	.3750	.3125	2'-1"	4'-2"	20'-0"	1283#	
	5	6.0000	.3750	.3125	4'-2"	2'-9"			
RBX047	6	6.0000	.3750	.1644	2'-9"	2'-9"	30'-0"	1107#	
RBX048	7	6.0000	.5000	.2500	2'-9"	3'-4"	35'-2"	1496#	
	8	6.0000	.5000	.2500	3'-4"	2'-1"			
	9	6.0000	.2500	.1644	2'-1"	2'-1"			
RBX049	10	6.0000	.2500	.1644	2'-1"	2'-1"	35'-2"	1330#	
	11	6.0000	.3750	.2500	2'-1"	3'-4"			
	12	6.0000	.3750	.2500	3'-4"	2'-1"			
RBX050	13	6.0000	.2500	.1644	2'-1"	2'-1"	30'-0"	810#	
RBX051	14	6.0000	.5000	.2500	2'-1"	3'-4"	20'-0"	1061#	
	15	6.0000	.5000	.2500	3'-4"	2'-1"			
RBX052	16	6.0000	.3750	.1875	2'-1"	2'-1"	39'-10 1/16"	1259#	
	17	6.0000	.3125	.1875	2'-1"	2'-1"			
CX026	18	6.0000	.3125	.1644	1'-0"	2'-4"	27'-5 3/16"	691#	
ICX014	19	12.0000	.5000	.1875	1'-4"	1'-4"	26'-7 1/8"	1414#	
ICX020	20	10.0000	.5000	.1875	1'-4"	1'-4"	28'-3 5/16"	1288#	
ICX018	21	10.0000	.5000	.1875	1'-4"	1'-4"	28'-4 3/8"	1283#	
ICX019	22	12.0000	.5000	.1875	1'-4"	1'-4"	27'-3 7/8"	1453#	

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo	
A	12	A325	3/4"	2 1/2"	3/8"	3	3	0097284	
B	6	A325	3/4"	2 1/2"	1/2"	2	1	0097284	
C	6	A325	3/4"	2 1/2"	3/8"	2	1	0097284	
D	6	A325	3/4"	2 1/2"	1/2"	1	2	0097284	
E	8	A325	3/4"	2 1/2"	3/8"	3	1	0097284	
F	8	A325	3/4"	2 1/2"	1/2"	2	2	0097284	
G	8	A325	3/4"	2 1/2"	3/8"	2	2	0097284	

Frame Clearances
Horiz. Clearance between members 1(CX025) and 18(CX026): 244'-0"
Vert. Clearance at member 1(CX025): 27'-5 3/16"
Vert. Clearance at member 18(CX026): 27'-5 3/16"
Vert. Clearance at member 19(ICX014): 26'-4 9/16"
Vert. Clearance at member 20(ICX020): 28'-2 13/16"
Vert. Clearance at member 21(ICX018): 28'-3"
Vert. Clearance at member 22(ICX019): 27'-2 1/2"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
 - 5 4'-2 1/16"
 - 4 1'-2 1/8"
 - 3 3'-0"
 - 2 4'-4 1/2"
 - 1 8 1/2"
- ☐ Dimension Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

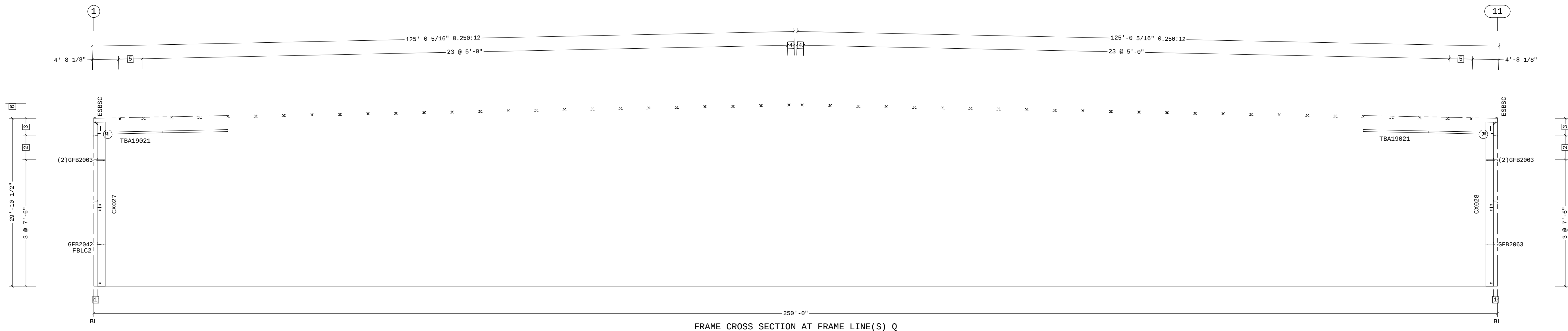
Shape Name = Humm Wall 4, Frame 15

FOR CONSTRUCTION

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			FRAME CROSS SECTION AT FRAME LINE(S) P			
		REV:		DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: DMD / JRB PAGE: 25
							CUSTOMER:	Humm Kombucha, LLC		
							LOCATION:	Roanoke, Virginia		
							PROJECT:	Humm Kombucha		
		DRAWING SCALE:				NTS			BUILDER'S PO#:	
		THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.								
FIL ENAME: C:\BUFFKIN\Current Detailing Folder\PG22_18-026503-05_FRAME CROSS SECTION AT FRAME LINE(S) P.dwg										
SAVE DATE: 10/22/2018 SAVE TIME: 18:01:22 LAST SAVED BY: JRBUFFKIN a division of BlueScope Buildings North America, Inc.										

Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx. Lgth	Approx. Weight
CX027	1	6.0000	.2500	.1644	1' - 4"	1' - 4"	29' - 2 1/2"	609#
TBA19021	2				4"	4"	19' - 2 1/8"	
	3				4"	4"		
TBA19021	4				4"	4"	19' - 2 1/8"	
	5				4"	4"		
CX028	6	6.0000	.2500	.1644	1' - 4"	1' - 4"	29' - 2 1/2"	608#

Frame Clearances
Horiz. Clearance between members 1(CX027) and 6(CX028): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32' - 5 3/4" Ridge Ht.
5 4' - 2 1/16"
4 1' - 2 1/8"
3 3' - 0"
2 4' - 4 1/2" 2 (2)16MDB02060
1 8 1/2" 1 (2)16MDB02060
- ☐ Dimension Key ☐ Part Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm Wall 4, Frame 16

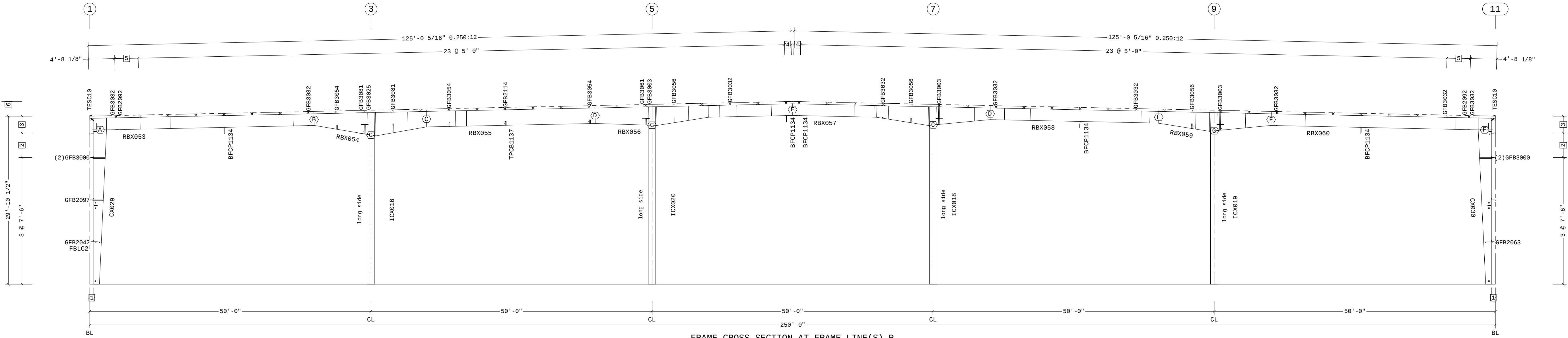
FOR CONSTRUCTION

BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				FRAME CROSS SECTION AT FRAME LINE(S) Q			
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.		JOB #:
				CUSTOMER:	Humm Kombucha, LLC		18-026503-01
				LOCATION:	Roanoke, Virginia		DATE:
				PROJECT:	Humm Kombucha		10/16/18
DRAWING SCALE: NTS				BUILDER'S PO#:	18-020	Butler Manufacturing	DRAWN/CHECK:
						VPC VERSION: 2018.1c	DMD / JRB
							PAGE:
							26

Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx..Lgth	Approx.Weight
CX029	1	6.0000	.3125	.1644	1'-0"	2'-3"	27'-5 3/16"	682#
RBX053	2	6.0000	.3125	.1875	2'-1"	2'-1"	39'-10 1/16"	1251#
	3	6.0000	.3750	.1875	2'-1"	2'-1"		
RBX054	4	6.0000	.3750	.3125	2'-1"	4'-2"	20'-0"	1306#
	5	6.0000	.3750	.3125	4'-2"	2'-9"		
RBX055	6	6.0000	.3750	.2500	2'-9"	2'-9"	30'-0"	1329#
RBX056	7	6.0000	.5000	.3125	2'-9"	3'-4"	35'-2"	1573#
	8	6.0000	.5000	.2500	3'-4"	2'-1"		
	9	6.0000	.2500	.1644	2'-1"	2'-1"		
RBX057	10	6.0000	.2500	.1644	2'-1"	2'-1"	35'-2"	1329#
	11	6.0000	.3750	.2500	2'-1"	3'-4"		
	12	6.0000	.3750	.2500	3'-4"	2'-1"		
RBX058	13	6.0000	.2500	.1644	2'-1"	2'-1"	30'-0"	810#
RBX059	14	6.0000	.5000	.2500	2'-1"	3'-4"	20'-0"	1061#
	15	6.0000	.5000	.2500	3'-4"	2'-1"		
RBX060	16	6.0000	.3750	.1875	2'-1"	2'-1"	39'-10 1/16"	1260#
	17	6.0000	.3125	.1875	2'-1"	2'-1"		
CX030	18	8.0000	.3750	.1644	1'-0"	2'-4"	27'-5 1/16"	919#
ICX016	19	12.0000	.5000	.1875	1'-4"	1'-4"	26'-7 1/8"	1414#
ICX020	20	10.0000	.5000	.1875	1'-4"	1'-4"	28'-3 5/16"	1288#
ICX018	21	10.0000	.5000	.1875	1'-4"	1'-4"	28'-4 3/8"	1283#
ICX019	22	12.0000	.5000	.1875	1'-4"	1'-4"	27'-3 7/8"	1453#

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt Dia.	Bolt Length	Plate Thick.	Rows Out	Rows In	PartNo	
A	10	A325	3/4"	2 1/2"	3/8"	2	3	0097284	
B	10	A325	3/4"	2 1/2"	5/8"	4	1	0097284	
C	8	A325	3/4"	2 1/2"	3/8"	2	2	0097284	
D	6	A325	3/4"	2 1/2"	3/8"	2	1	0097284	
E	8	A325	3/4"	2 1/2"	1/2"	1	3	0097284	
F	6	A325	3/4"	2 1/2"	1/2"	2	1	0097284	
G	8	A325	3/4"	2 1/2"	1/2"	2	2	0097284	

Frame Clearances
Horiz. Clearance between members 1(CX029) and 18(CX030): 244'-0"
Vert. Clearance at member 1(CX029): 27'-5 3/16"
Vert. Clearance at member 18(CX030): 27'-5 1/16"
Vert. Clearance at member 19(ICX016): 26'-4 9/16"
Vert. Clearance at member 20(ICX020): 28'-2 13/16"
Vert. Clearance at member 21(ICX018): 28'-3"
Vert. Clearance at member 22(ICX019): 27'-2 1/2"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 6 32'-5 3/4" Ridge Ht.
- 5 4'-2 1/16"
- 4 1'-2 1/8"
- 3 3'-0"
- 2 4'-4 1/2"
- 1 8 1/2"

Dimension Key

Shape Name = Humm Wall 4, Frame 17

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

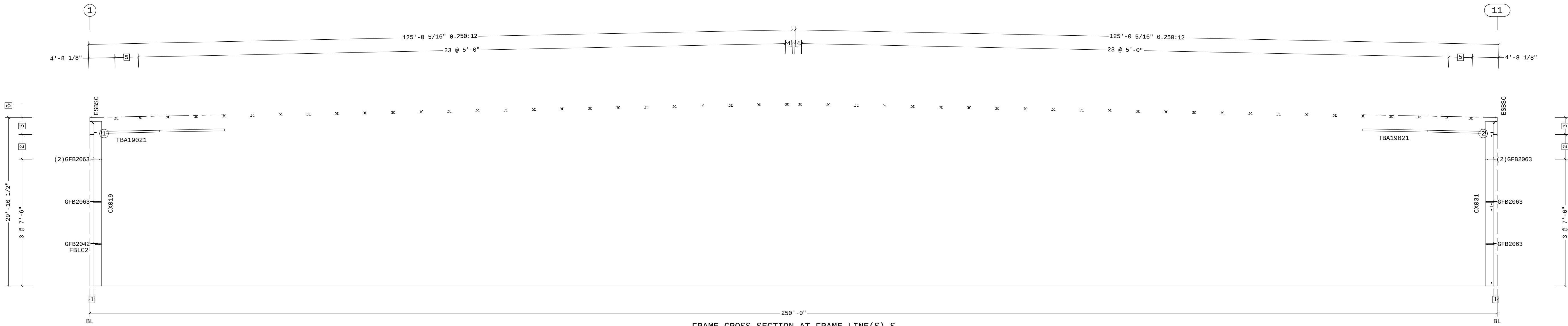
THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		FOR CONSTRUCTION		
REV:	DATE:	BY:	DESCRIPTION:	BUILDER: Avis Construction Co., Inc.		CUSTOMER: Humm Kombucha, LLC		JOB #: 18-026503-01
				LOCATION: Roanoke, Virginia		PROJECT: Humm Kombucha		DATE: 10/16/18
				DRAWING SCALE: NTS		BUILDER'S PO#: 18-020		DRAWN/CHECK: DMD / JRB
				SAVE DATE: 10/2/2018		LAST SAVED BY: JRBUFFKIN		PAGE: 27
				SAVE TIME: 18:02:40		VPC VERSION: 2018.1c		



Frame Member Part	Schedule Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight
CX019	1	5.0000	.1345	.1875	1' -4"	1' -4"	29' -2 1/2"	461#
TBA19021	2				4"	4"	19' -2 1/8"	
	3				4"	4"		
TBA19021	4				4"	4"	19' -2 1/8"	
	5				4"	4"		
CX031	6	5.0000	.1345	.1875	1' -4"	1' -4"	29' -2 1/2"	464#

Frame Clearances
Horiz. Clearance between members 1(CX019) and 6(CX031): 245'-11"
Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE(S) S

- 6 32' -5 3/4" Ridge Ht.
- 5 4' -2 1/16"
- 4 1' -2 1/8"
- 3 3' -0"
- 2 4' -4 1/2" 2 (2)16MDB02060
- 1 8 1/2" 1 (2)16MDB02060

□ Dimension Key ○ Part Key

Shape Name = Humm Wall 4, Frame 18

FOR CONSTRUCTION

USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE. 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	FRAME CROSS SECTION AT FRAME LINE(S) S						
				REV:	DATE:	BY:	DESCRIPTION:	BUILDER: Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01
								CUSTOMER: Humm Kombucha, LLC		DATE: 10/16/18
								LOCATION: Roanoke, Virginia		DRAWN/CHECK: DMD / JRB
								PROJECT: Humm Kombucha		PAGE: 28
				DRAWING SCALE: NTS				BUILDER'S PO#: 18-020		

Secondary Part Schedule

Mark	Part	Thick.	Depth	Detail
	LBJ001	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ002	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ003	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ004	0.0790	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ005	0.0790	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ006	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ007	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ008	0.0880	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ009	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ010	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ011	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ012	0.0880	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ013	0.0730	2'-6"	TR022, TR006, TR005, BR418, BR417, BR416
	LBJ014	0.0730	2'-6"	TR022, TR006, TR005, BR418, BR417, BR416
	LBJ015	0.0730	2'-6"	TR022, TR006, TR005, BR418, BR417, BR416
	LBJ016	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
	LBJ017	0.0730	2'-6"	TR022, TR006, BR418, BR417, BR416
E4	10E1611417ADA30	0.0600	10"	RS12PH, RS12PA, RS12PJ
E5	10E1611417DDA30	0.0600	10"	RS12PA, RS12PJ
E6	10E1511417DDA30	0.0600	10"	RS12PA, RS12PJ
E7	10E2411417ddb30	0.0600	10"	RS12PA, RS12PJ
E8	10E2411417ADB30	0.0600	10"	RS12PH, RS12PA, RS12PJ

Part Mark Key

- 1 EWTBC256
- 2 LBC20101003
- 3 543616 (TR033)
- 4 LBC41001003
- 5 LBC41001002
- 6 EWTBC236
- 7 LBC20011004
- 8 EWTBC331
- 9 (2)CSTL10236 (TR005)
- 10 002SGA11036
- 11 006SGA19114
- 12 007SGA19114
- 13 008SGA19114
- 14 009SGA19114
- 15 010SGA19114
- 16 002SGA13075
- 17 001SGA11036
- 18 001SGA19114
- 19 002SGA19114
- 20 003SGA19114
- 21 004SGA19114
- 22 005SGA19114
- 23 001SGA13075
- 24 003SGA11036
- 25 011SGA19114

- 3 4' - 4"
2 3' - 10"
1 1' - 0"

Dimension Key

1. UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm

FOR CONSTRUCTION

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

ROOF SECONDARY PLAN

REV:	DATE:	BY:	DESCRIPTION:

BUILDER:	Avis Construction Co., Inc.
CUSTOMER:	Humm Kombucha, LLC
LOCATION:	Roanoke, Virginia
PROJECT:	Humm Kombucha



Butler Manufacturing
VPC VERSION: 2018.1c

JOB #:	18-026503-01
DATE:	10/16/18
DRAWN/CHECK:	JRB / DMD
PAGE:	31

DRAWING SCALE:

NTS

SAVE DATE: 10/3/2018

SAVE TIME: 13:50:20

LAST SAVED BY: DMDUBBS

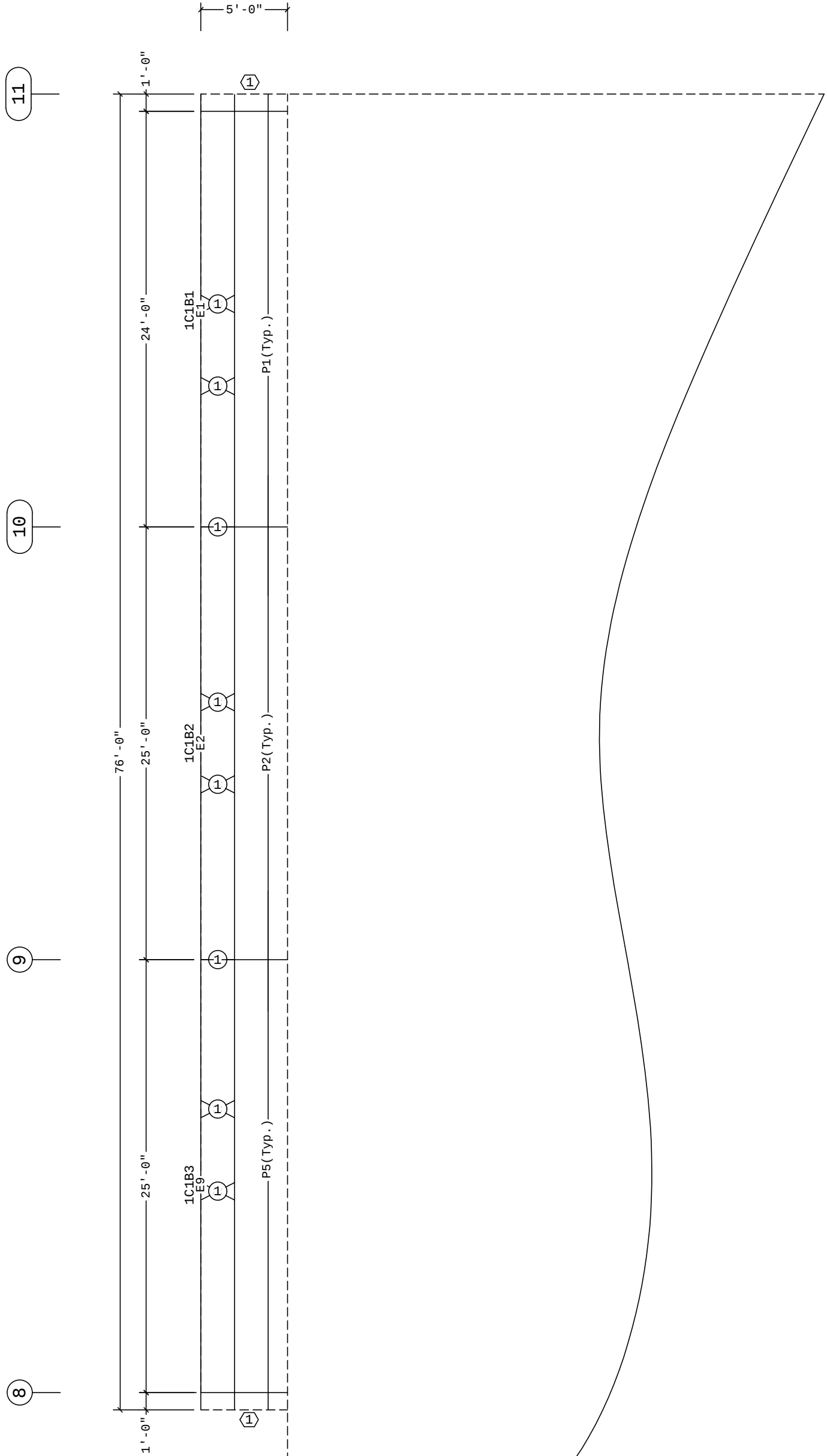
a division of BlueScope Buildings North America, Inc.

FILENAME: \\bbk1cf1200\BuildingFiles\BMC\18-026503\1 Services\4 Detailing\ACAD FINALS\18-026503-01_31 ROOF SECONDARY PLAN.dwg

Secondary Part Schedule					
Mark	Part	Thick.	Depth	Lap	Detail
E1	10C2411413ADB3	0.0880	10"		RSB004, RSB003, RSB002, RSB001
E2	10C24114130DB2	0.0880	10"		RSB004, RSB003, RSB002, RSB001
E9	10C2511413ADB3	0.0880	10"		RSB004, RSB003, RSB002, RSB001
P1	10Z2811411A5B3	0.1130	10"	3' -10 1/2"	RS02T1, RS01U1
P2	10Z301141244B2	0.0980	10"	2' -10 1/2"	RS01U1
P5	10Z2911411A5B3	0.1130	10"	3' -10 1/2"	RS11SB, RS01U1

Secondary Bracing Schedule			
Id	Qty	Mark No	Spacing
1	14	PBA0203	1' -11 5/16"
See SED:			
BR09K5, BR09J6, BR09RY, BR09RZ, BR09K2			

Part Mark Key	
1	EWRC310



CANOPY ROOF SECONDARY PLAN

Shape Name = Humm

FOR CONSTRUCTION

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

REV:	DATE:	BY:	DESCRIPTION:

DRAWING SCALE: NTS

SAVE DATE: 9/21/2018

SAVE TIME: 10:07:37

CANOPY ROOF SECONDARY PLAN

BUILDER:	Avis Construction Co., Inc.
CUSTOMER:	Humm Kombucha, LLC
LOCATION:	Roanoke, Virginia
PROJECT:	Humm Kombucha

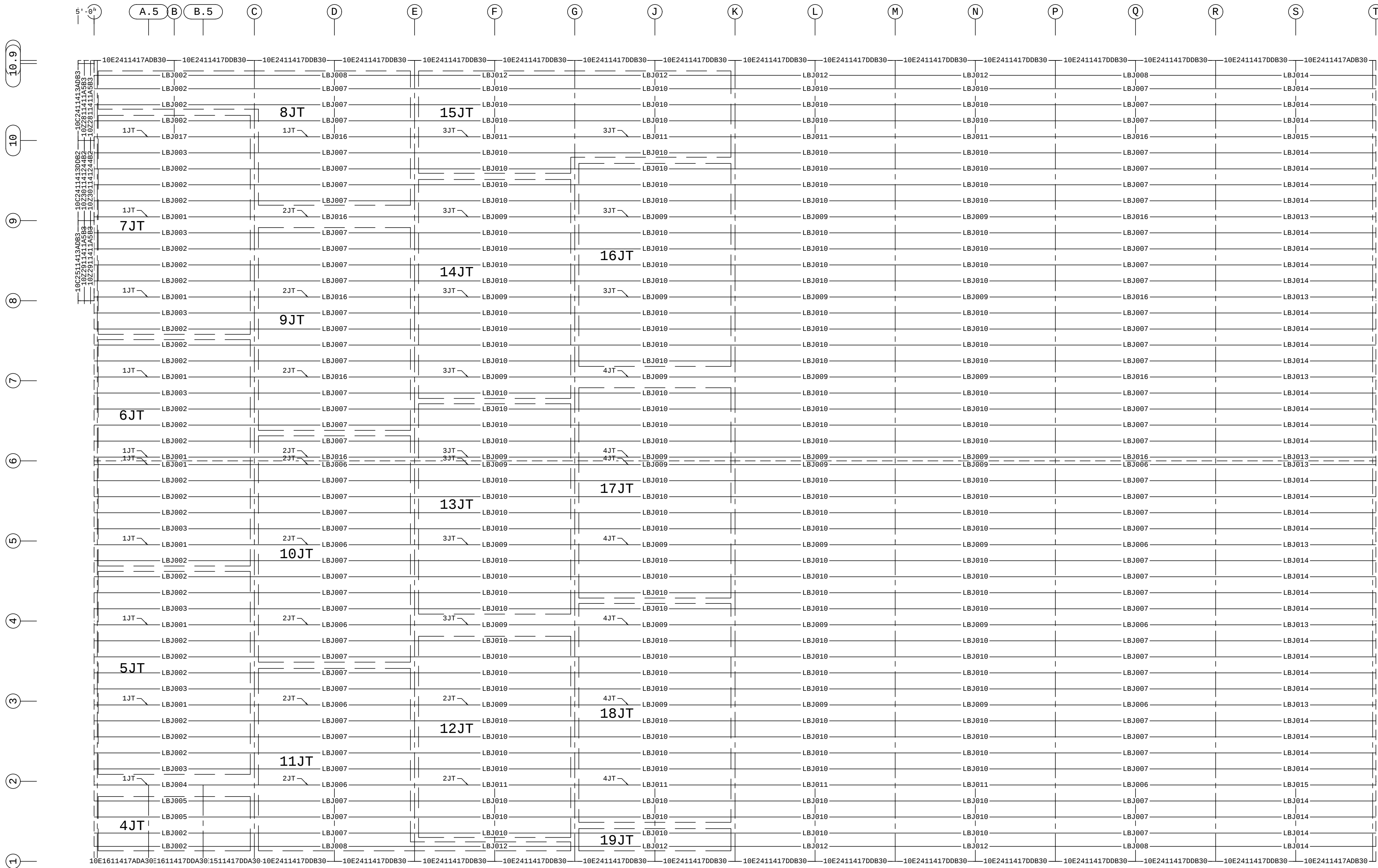
BUILDER'S PO#: 18-020
LAST SAVED BY: DMDUBBS



Butler Manufacturing
VPC VERSION: 2018.1c

JOB #:	18-026503-01
DATE:	10/16/18
DRAWN/CHECK:	JRB / DMD
PAGE:	32

Note: Erect Purlins Using Part Marks



BUNDLING LAYOUT

Shape Name = Humm, Shape = Humm

FOR CONSTRUCTION

1. UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

BUNDLING LAYOUT

REV:	DATE:	BY:	DESCRIPTION:

BUILDER:	Avis Construction Co., Inc.
CUSTOMER:	Humm Kombucha, LLC
LOCATION:	Roanoke, Virginia
PROJECT:	Humm Kombucha



Butler Manufacturing
VPC VERSION: 2018.1a

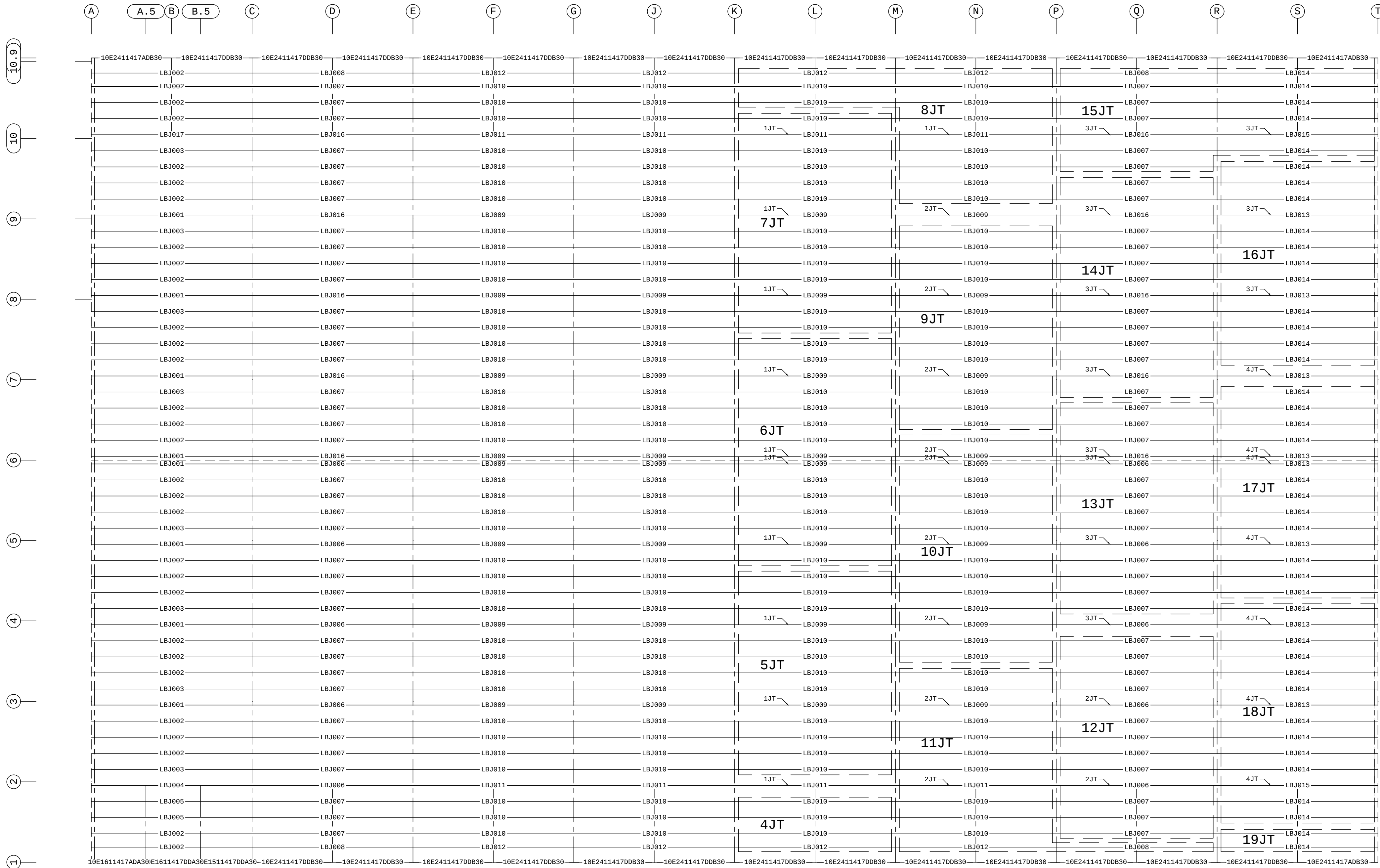
JOB #:	18-026503-01
DATE:	10/16/18
DRAWN/CHECK:	JRB / DMD
PAGE:	33a

DRAWING SCALE: NTS
SAVE DATE: 10/4/2018

SAVE TIME: 07:10:28

LAST SAVED BY: DMDUBBS

a division of BlueScope Buildings North America, Inc.



BUNDLING LAYOUT

Shape Name = Humm, Shape = Humm

FOR CONSTRUCTION

1. UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS. 2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS. 3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D REV:DATE:BY:DESCRIPTION: DRAWING SCALE:NTS	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	BUNDLING LAYOUT	Butler Manufacturing VPC VERSION: 2018.1a	JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: JRB / DMD PAGE: 33b

MODIFIED IN AUTOCAD

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

CUSTOM SED'S

REV:	DATE:	BY:	DESCRIPTION:

BUILDER:	Avis Construction Co., Inc.
CUSTOMER:	Humm Kombucha, LLC
LOCATION:	Roanoke, Virginia
PROJECT:	Humm Kombucha



JOB #:	18-026503-01
DATE:	10/16/18
DRAWN/CHECK:	DMD / JRB
PAGE:	33c

DRAWING SCALE: NTS
SAVE DATE: 10/4/2018 SAVE TIME: 07:27:28

LAST SAVED BY: DMDUBBS

a division of BlueScope Buildings North America, Inc.

REVISION NUMBER 4

REVISION NUMBER 3

REVISION NUMBER 2

REVISION NUMBER 1

DATE

03/14/16

DATE

02/27/15

DATE

11/04/14

DATE

07/25/13

PER ON-TIME 2177Z.

REPLACE SDS FASTENER (087285) WITH 087270 TO ATTACH VERTICAL SUPPORT (VLSM).

REMOVED SUPPORT PIPE ON TRUSS AND CHORD STRONG BACK DETAILS.

REVISE GENERAL NOTES: 1. REVERSE ALL SUPPORT CONNECTIONS TO CLAMP HANGER CONNECTION. ADD PIPE SUPPORT DETAIL. CHANGE TO "C" SIZE DWG.

DWBY / CHKD

RHE / ARS

DWBY / CHKD

BSN / RKP

DWBY / CHKD

RJR / SH

DWBY / CHKD

BSN / SH

TRUSS TOP CHORD

TRUSS WEB

WEB JOINT OF TRUSS (LOCATION AT TRUSS TOP CHORD WHERE TRUSS WEB MEMBER ATTACHES TO TRUSS TOP CHORD)

BOTTOM CHORD ORIENTATION

WIDE THROAT BEAM C-CLAMP LOCATED ANYWHERE ALONG TOP CHORD OF TRUSS CAUTION - ROD MUST NOT EXTEND ABOVE TOP OF C-CLAMP

50 POUNDS MAXIMUM HANGER LOAD

WIDE THROAT BEAM C-CLAMP (NOT BY BLUESCOPE)

MAXIMUM HANGER LOAD 50 POUNDS

NOT PERMITTED CLAMPS MUST NOT DAMAGE CHORD

SECTION-A

TOP CHORD HANGER - 50 POUNDS MAXIMUM

BOTTOM CHORD CONDITION SIMILAR

NOTE:
LOADS GREATER THAN 150 LBS MUST BE LOCATED WITHIN 6" OF A WEB JOINT OR VERTICAL SUPPORT MEMBER.
LOADS < 150 LBS MAYBE SUSPENDED AS SHOWN ANYWHERE ALONG EITHER CHORD.

PROVIDE A WASHER UNDER THE NUT

OR

BOXED CHORD WHEN APPLICABLE

SINGLE SIDED HANGER NOT PERMITTED

TOP CHORD

BOTTOM CHORD

SUSPENDED LOAD

MEMBER DELIVERING LOAD TO CHORD MUST BEAR ENTIRELY OVER ALL FLANGE AREA (DO NOT WELD TO CHORDS. USE BOLTS OR FASTENERS)

FASTEN TO BOTH FLANGES (NOT PERMITTED ON BOXED CHORDS)

TOP CHORD

BOTTOM CHORD

BOTTOM CHORD (MAXIMUM ALLOWABLE FIELD DRILL HOLE SIZE = 9/16" Ø)

INDEPENDENT HANGER

U-CLAMP (1/2" Ø ROUND BAR)

(543068)

1 1/2"

5 1/2"

(3) 9/16" Ø X 3/4" SLOT

3 3/4"

3 3/4"

7 1/2"

1/2" Ø NUT (095032) (TYP.)

SECTION A

HANGER SUPPORT (543081) (.113 THICK)

CLAMP HANGER ASSEMBLY (AVAILABLE FROM BLUESCOPE)

END SECTION

27"

6"

MINIMUM

(VLSM) SLIT INTO TWO PIECES

6"

MINIMUM

27"

FIELD BEND TABS AS SHOWN (TYP.)

OPTIONAL SPLICE WITH SLIT SUPPORT

END SECTION

27"

6"

MINIMUM

27"

6"

MINIMUM

FIELD BEND TABS AS SHOWN (TYP.)

TRUSS VERTICAL SPLICE

NOTES:
1. ALIGN VERTICAL SUPPORT MEMBERS (VLSM) AS SHOWN.
2. A MINIMUM OF A 6" LAP IS REQUIRED FOR OPTIMUM LOAD.
3. NEST SUPPORTS TOGETHER AS SHOWN IN ONE OF THE END SECTIONS.
4. ADJUST TO LENGTH AS NEEDED FOR TRUSS DEPTH.
5. CLAMP PARTS INTO POSITION AND FASTEN WITH (4) 1/4-14 X 1 1/4" X 5/16" SDS (55307).

GENERAL NOTES:

1. LOADS MAY NOT BE ADDED TO FRAMES OR SECONDARY MEMBERS WITHOUT FIRST CONFIRMING THE MEMBERS HAVE BEEN DESIGNED TO SUPPORT THE LOADS, SPECIFIED BY THE EQUIPMENT MANUFACTURER OR PROJECT PROFESSIONAL.

2. HANGERS MUST NOT BE LOCATED IN SUCH A WAY AS TO EXCEED THE LOAD CARRYING CAPACITY OF THE TRUSS. CONTACT YOUR BLUESCOPE DIVISION FOR APPROVAL OF QUESTIONABLE LOADS OR CONNECTION METHODS PRIOR TO INSTALLATION.

3. DO NOT WELD TO TRUSS MEMBERS. (CHORDS, WEBS, ETC.)

4. ANY LOAD OVER 150 POUNDS, LOCATED BETWEEN PANEL POINTS ON A TRUSS, HUNG FROM EITHER THE TOP OR BOTTOM CHORD MUST BE LOCATED WITHIN 6" OF A VERTICAL SUPPORT MEMBER. (A PANEL POINT IS THE LOCATION WHERE THE WEB MEMBER ATTACHES TO THE TOP OR BOTTOM CHORD.)

5. TRUSSES WILL DEFLECT UNDER LOAD. ITEMS THAT MAY BE DAMAGED DUE TO DEFLECTIONS, (EX. GAS LINES), MUST BE SUSPENDED AND INSTALLED TO ACCOMMODATE DEFLECTION OF STEEL SUPPORTS.

6. SUSPENDED LOADS MUST BE BRACED (TO THE PRIMARY FORCE RESISTING SYSTEM) FOR LATERAL STABILITY. ANY LATERAL FORCES DEVELOPED MUST BE PROVIDED TO BLUESCOPE, AND THE DELIVERY OF FORCES TO THE FORCE RESISTING SYSTEM MUST BE COORDINATED WITH THE BLUESCOPE DESIGN ENGINEER.

7. TOP CHORD HANGERS SHOULD BE AVOIDED ON BUILDINGS WITHOUT INSULATION SPACER BLOCKS ON TOP OF THE TOP CHORD. IF TOP CHORD HANGERS ARE REQUIRED, PLACE THE HANGERS AT THE ROOF PANEL MAJOR CORRUGATION LOCATION TO AVOID DAMAGING THE ROOF PANEL WITH THE HANGER WHEN THE ROOF PANEL IS LOADED OR WALKED ON.

8. DO NOT HANG ANY TYPE OF CRANE, HOIST OR CONVEYOR FROM A TRUSS.

9. DO NOT HANG ANY LOAD FROM BRIDGING MEMBERS OR OTHER SIMILAR BRACES.

FIELD INSTALLED VERTICAL SUPPORT - 1400# MAX.

SUPPORT INSTALLED AT AN ANGLE

DETAIL 1

DETAIL 2

USE (2) 1/4-14 X 1 1/4" X 5/16" SDS (55307) (AT EACH END)

TRUSS CHORD

(VLSM) FIELD SLIT LENGTHWISE IF FACTORY INSTALLED SUPPORT INTERFERES WITH CHANNEL

FIELD INSTALLED VERTICAL SUPPORT - 1400# MAX.

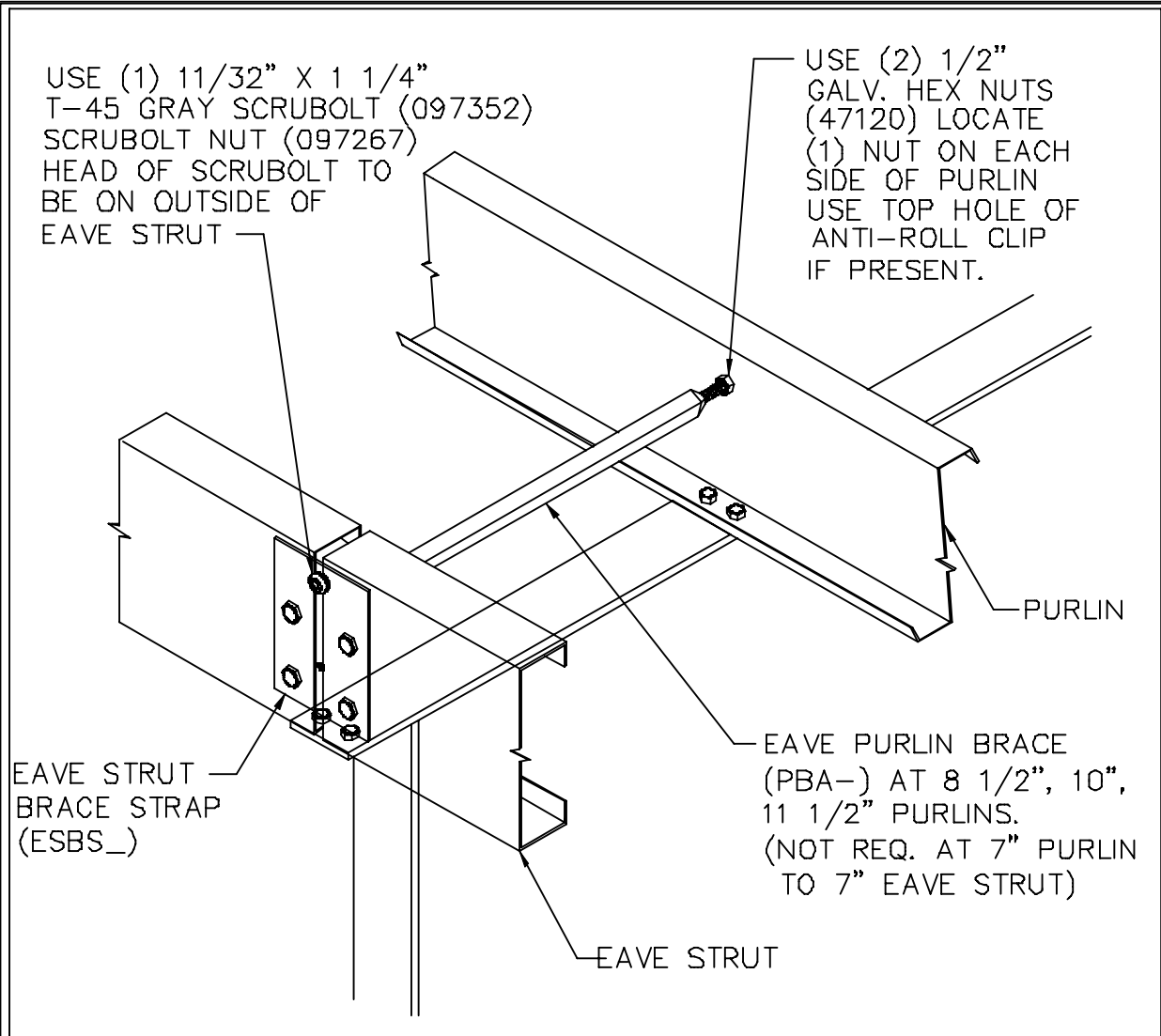
DETAIL 1

DETAIL 2

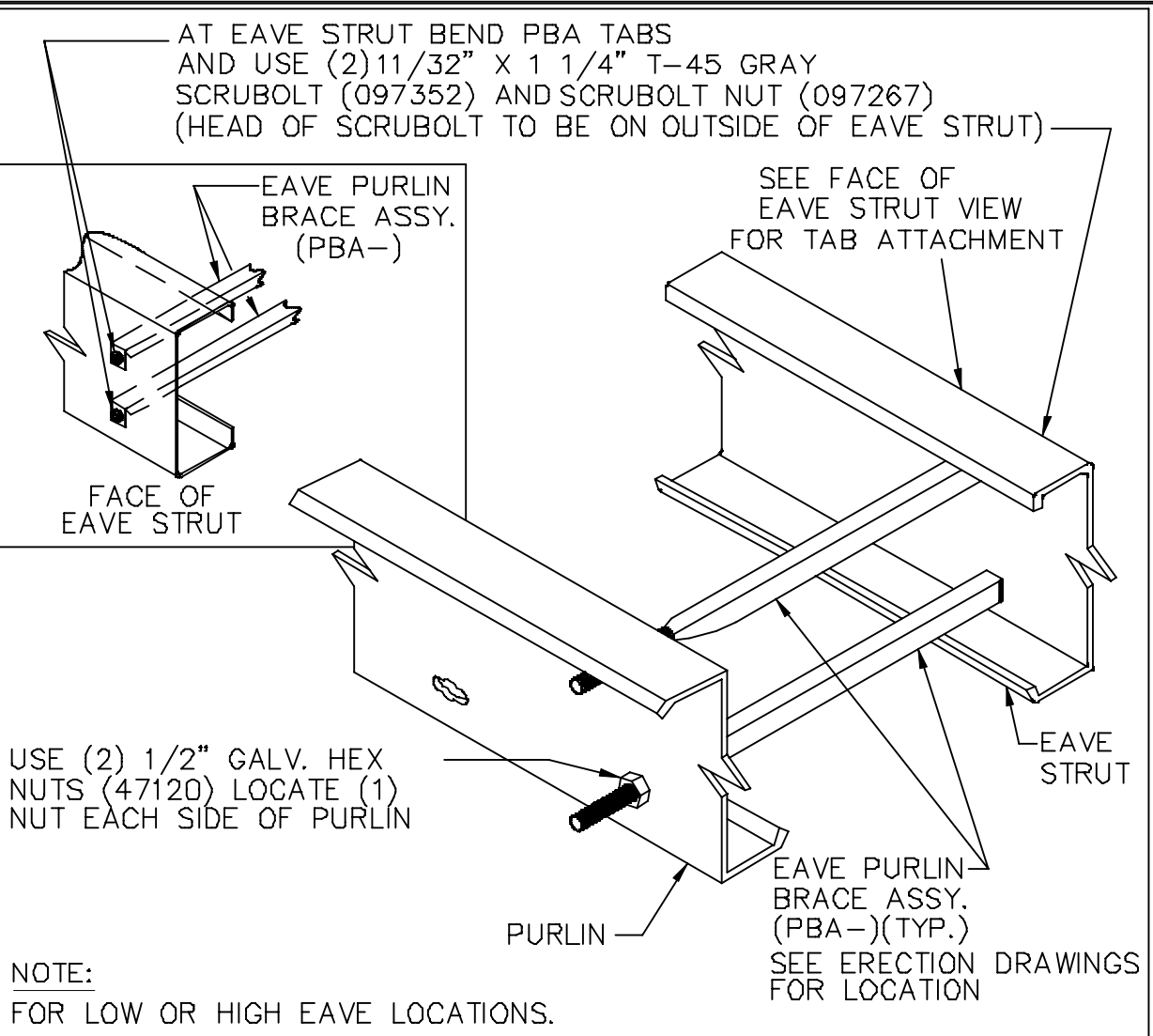
SEE TRUSS VERTICAL SPLICE DETAIL FOR ATTACHMENT

CONCENTRATED LOADS ON ROOF TRUSS HANGER DETAILS

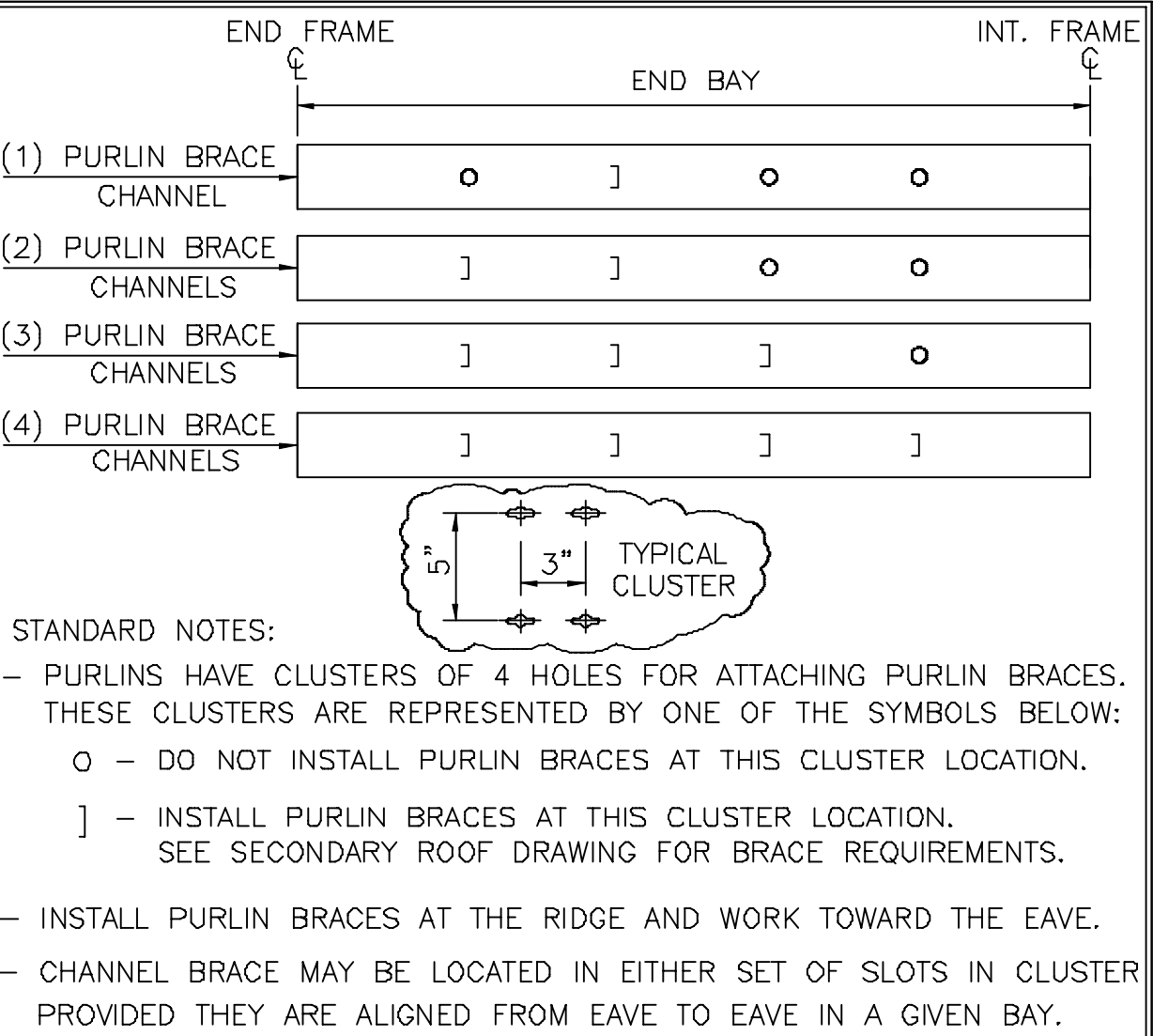
DRAWN BY	CHECKED BY	GROUP NUMBER:	00 - 000 - 00
BSN	RLB	C	B-081769
FIRST RELEASE DATE	REVISION DATE		04
05/02/13	03/14/16		



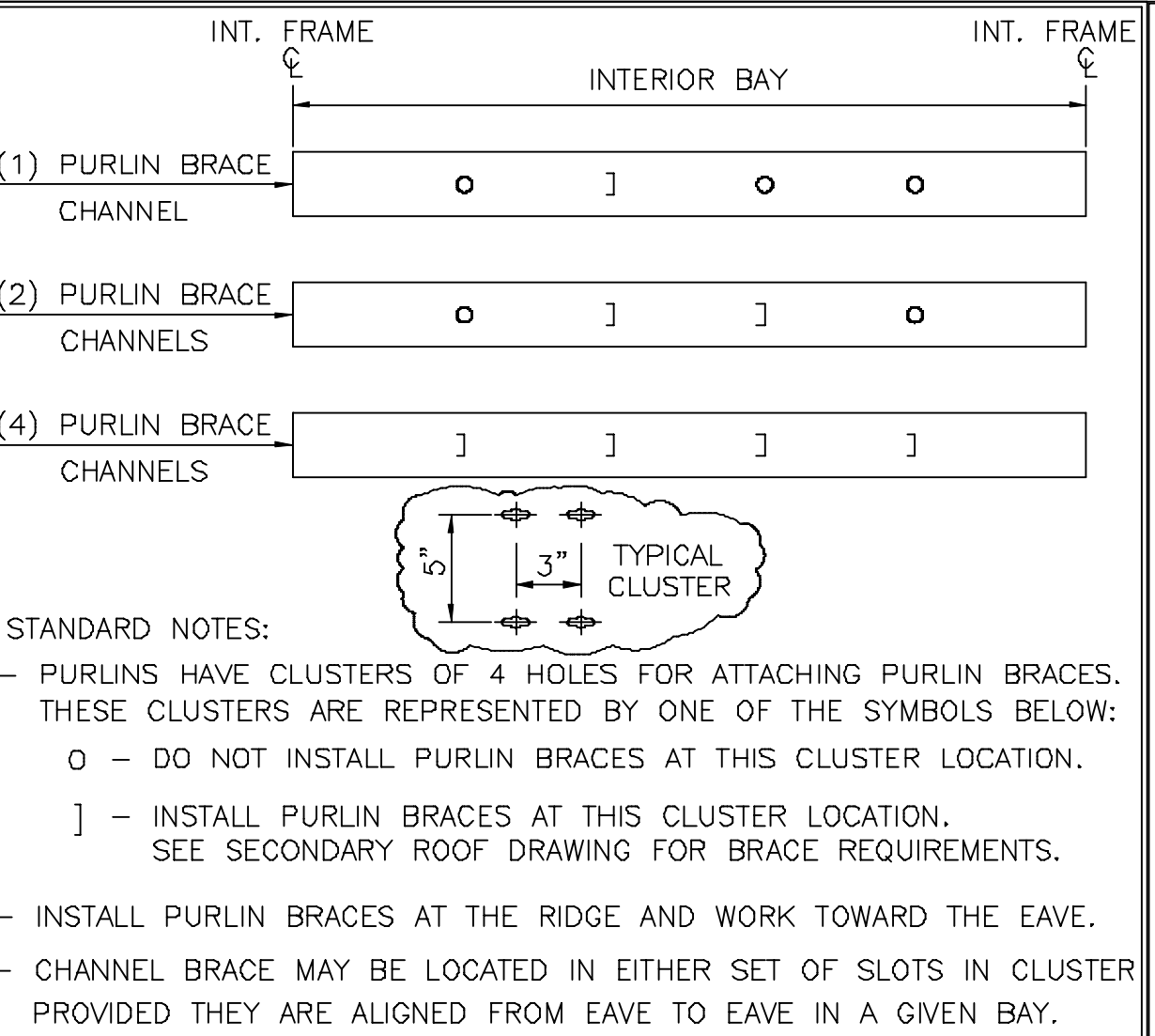
REV. DATE:07/20/16 | REV. NO. 05
BR09K2 EAVE BRACE STRAP AND EAVE PURLIN BRACE LOCATED AT EAVE - CENTERLINE OF FRAME



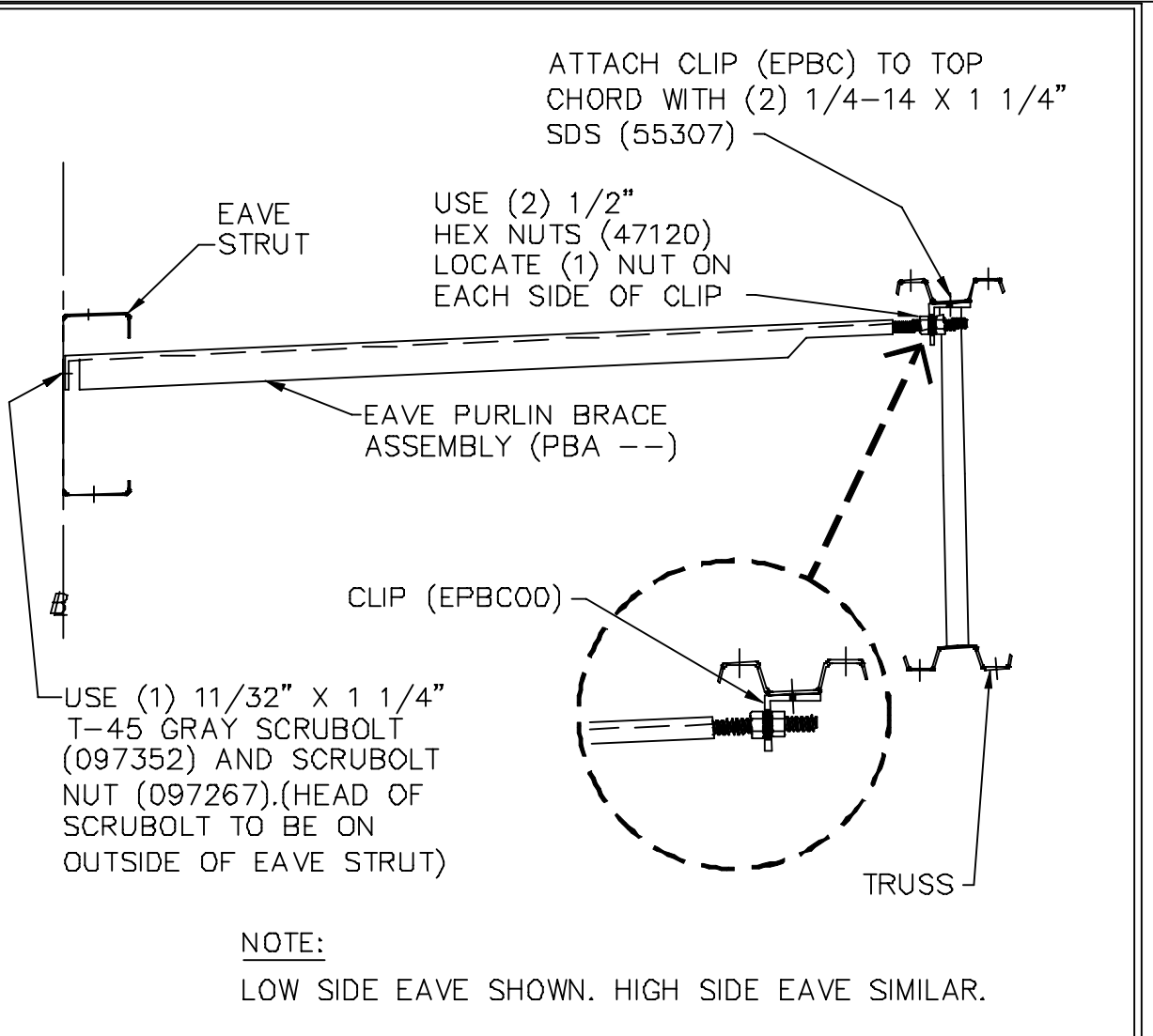
REV. DATE:11/26/12 | REV. NO. 04
BR09K5 EAVE STRUT BRACE



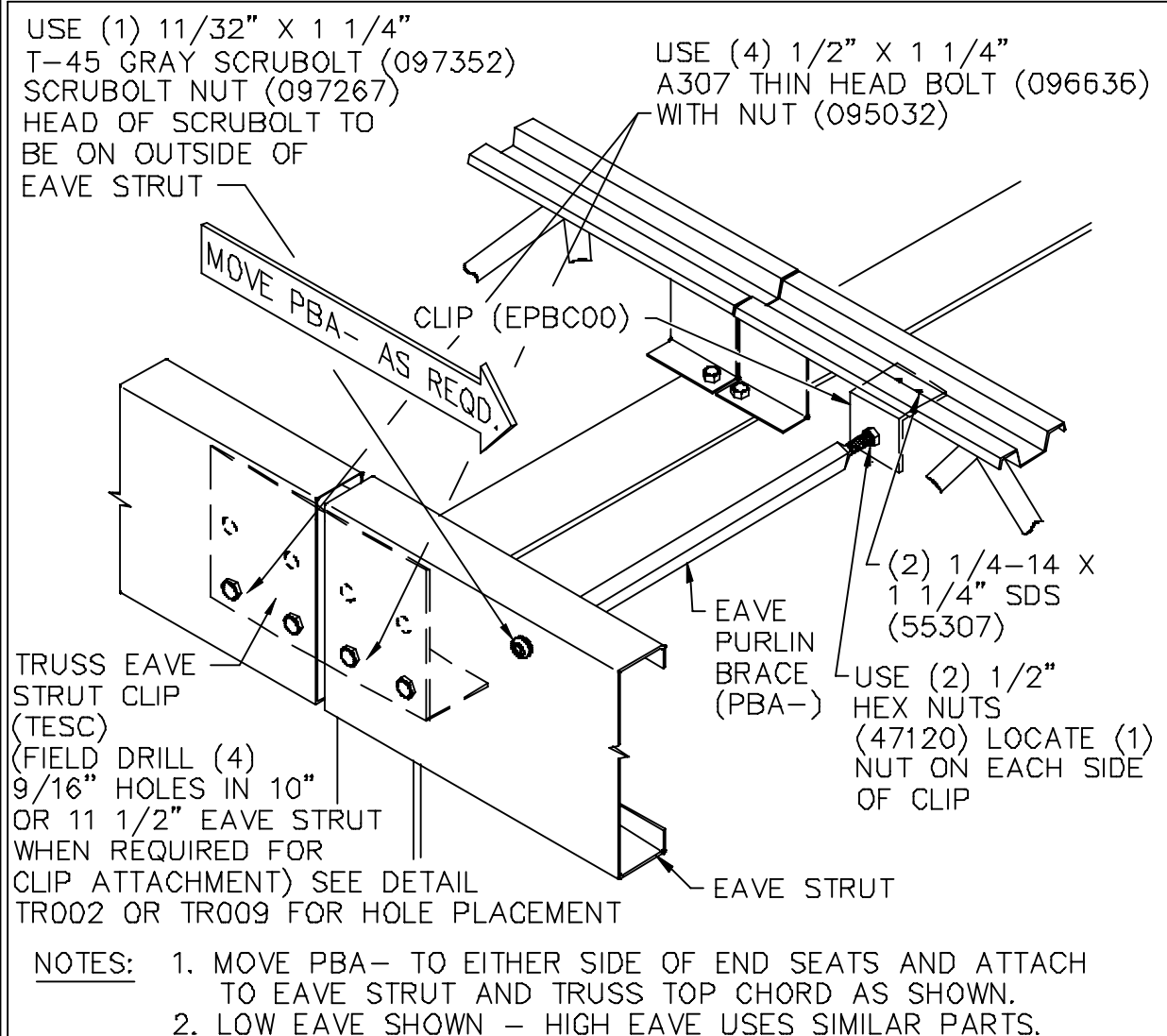
REV. DATE:07/01/09 | REV. NO. 00
BR09RY PURLIN BRACE CLUSTER LOCATION END BAY CHANNEL LOCATION



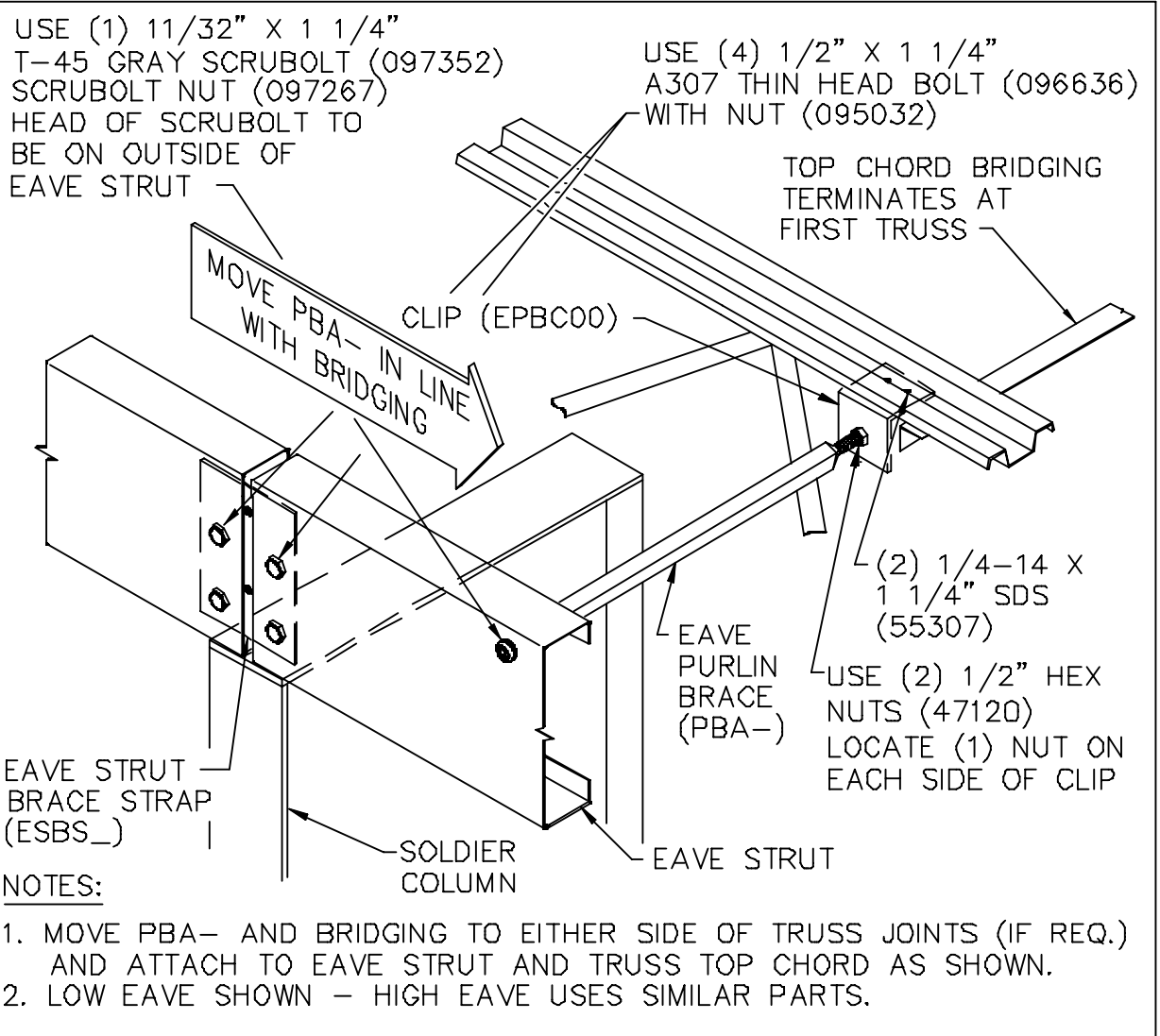
REV. DATE:07/01/09 | REV. NO. 00
BR09RZ PURLIN BRACE CLUSTER LOCATION INTERIOR BAY CHANNEL LOCATION



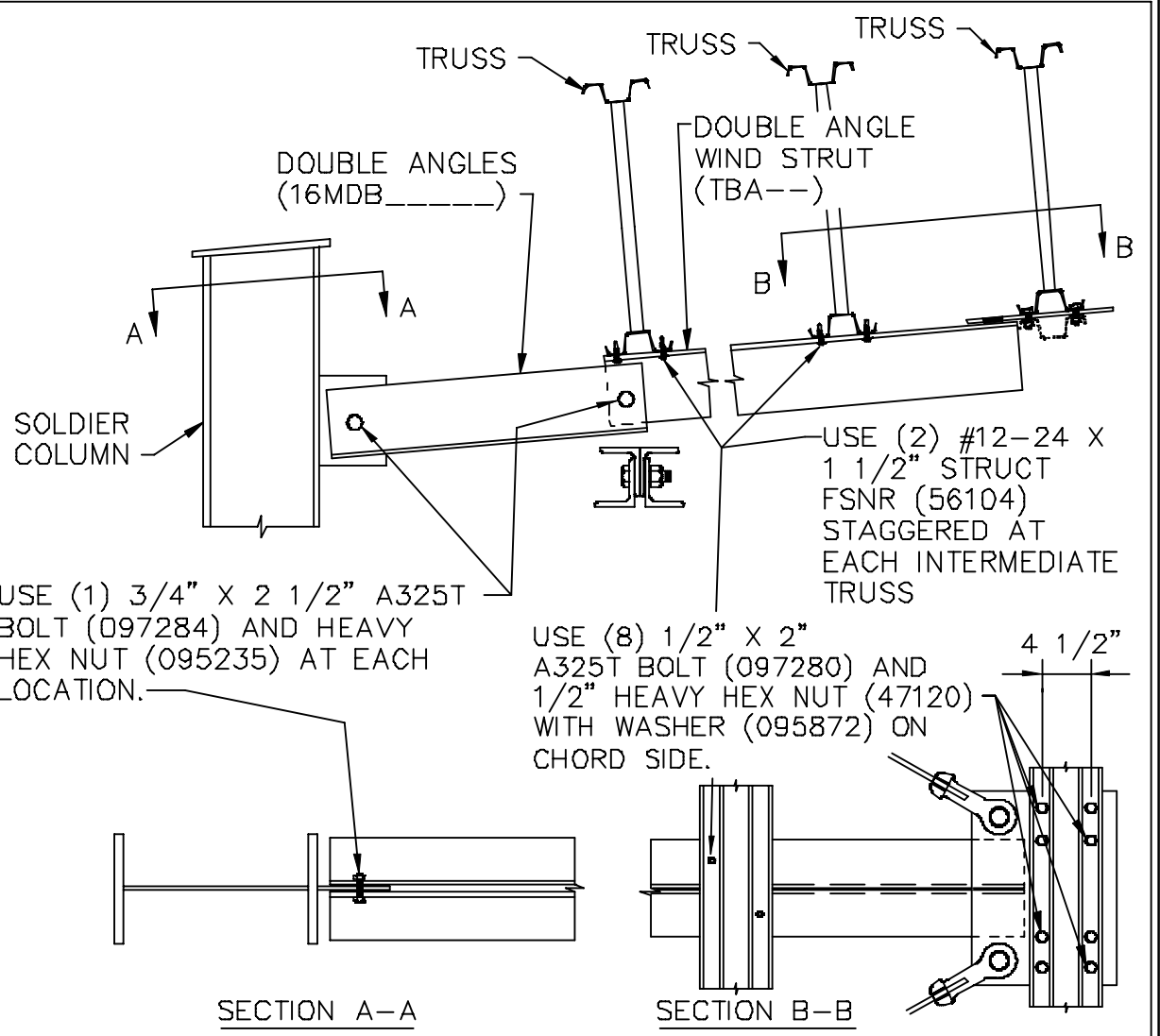
REV. DATE:03/11/16 | REV. NO. 06
BR243 EAVE PURLIN BRACE EAVE STRUT TO TRUSS



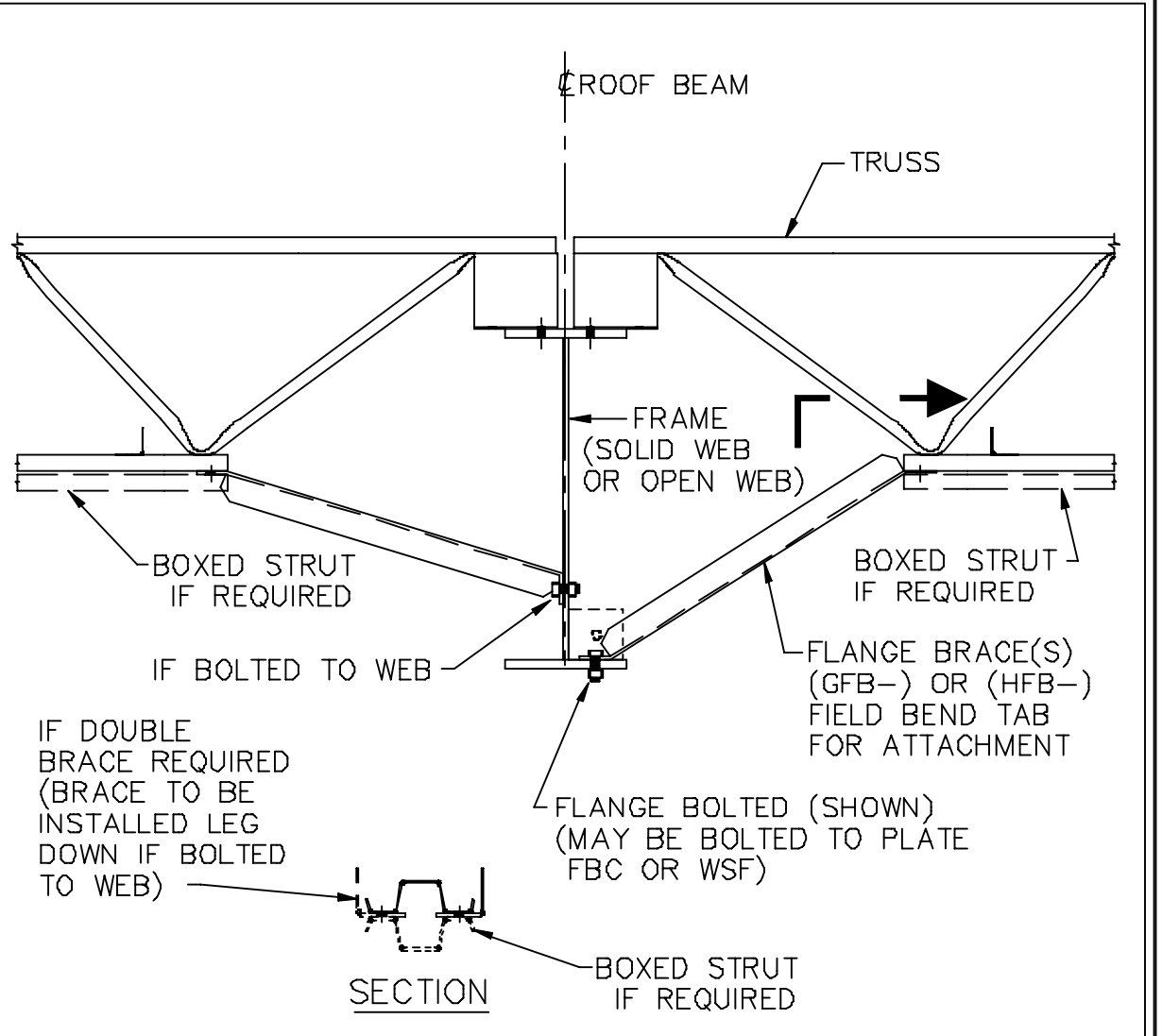
REV. DATE:03/11/16 | REV. NO. 06
BR400 EAVE STRUT CLIP AND EAVE PURLIN BRACE WITH TRUSS AT PRIMARY FRAME



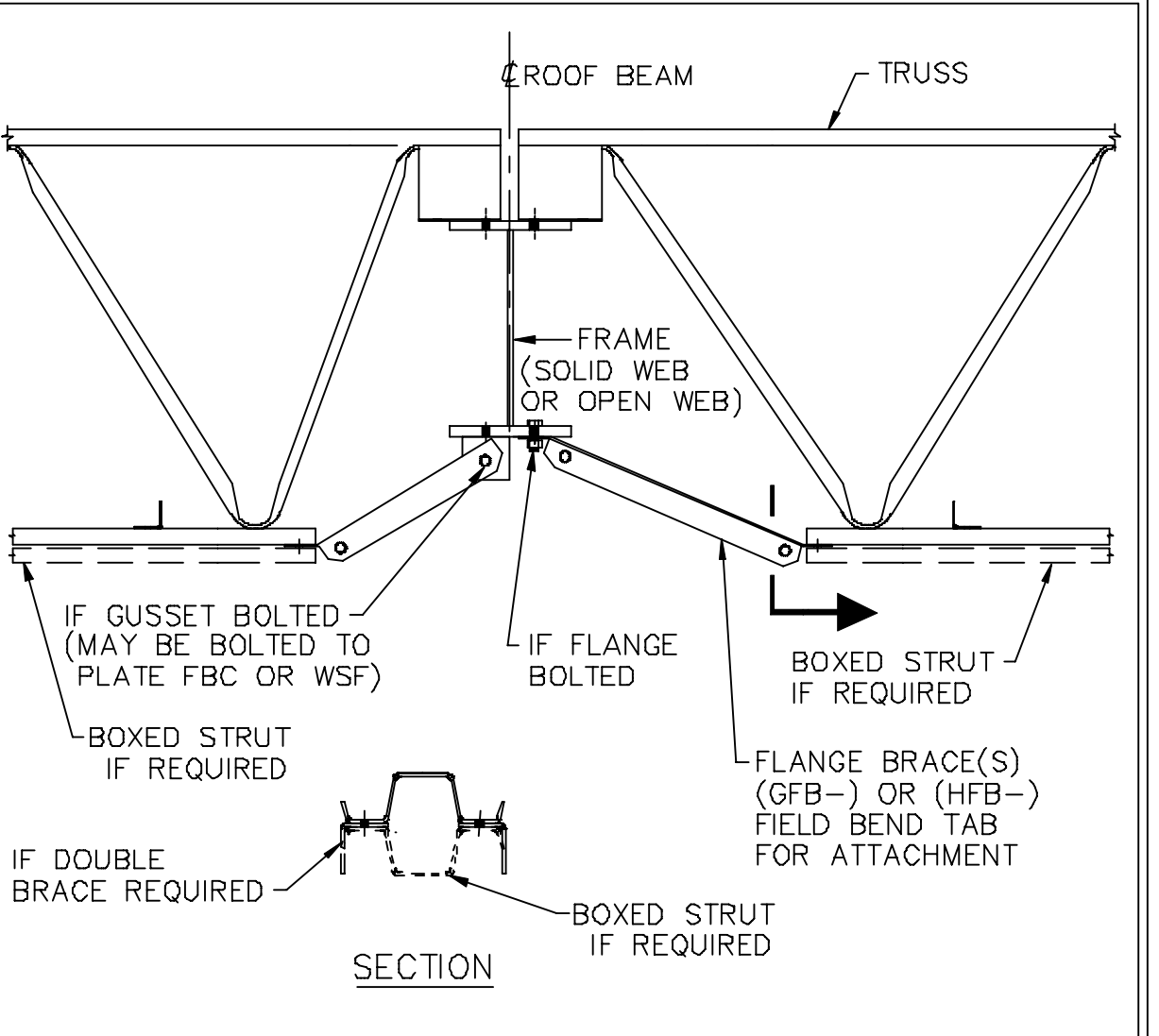
REV. DATE:07/20/16 | REV. NO. 02
BR402 EAVE STRUT CLIP AND EAVE PURLIN BRACE WITH TRUSS AT SOLDIER COLUMN



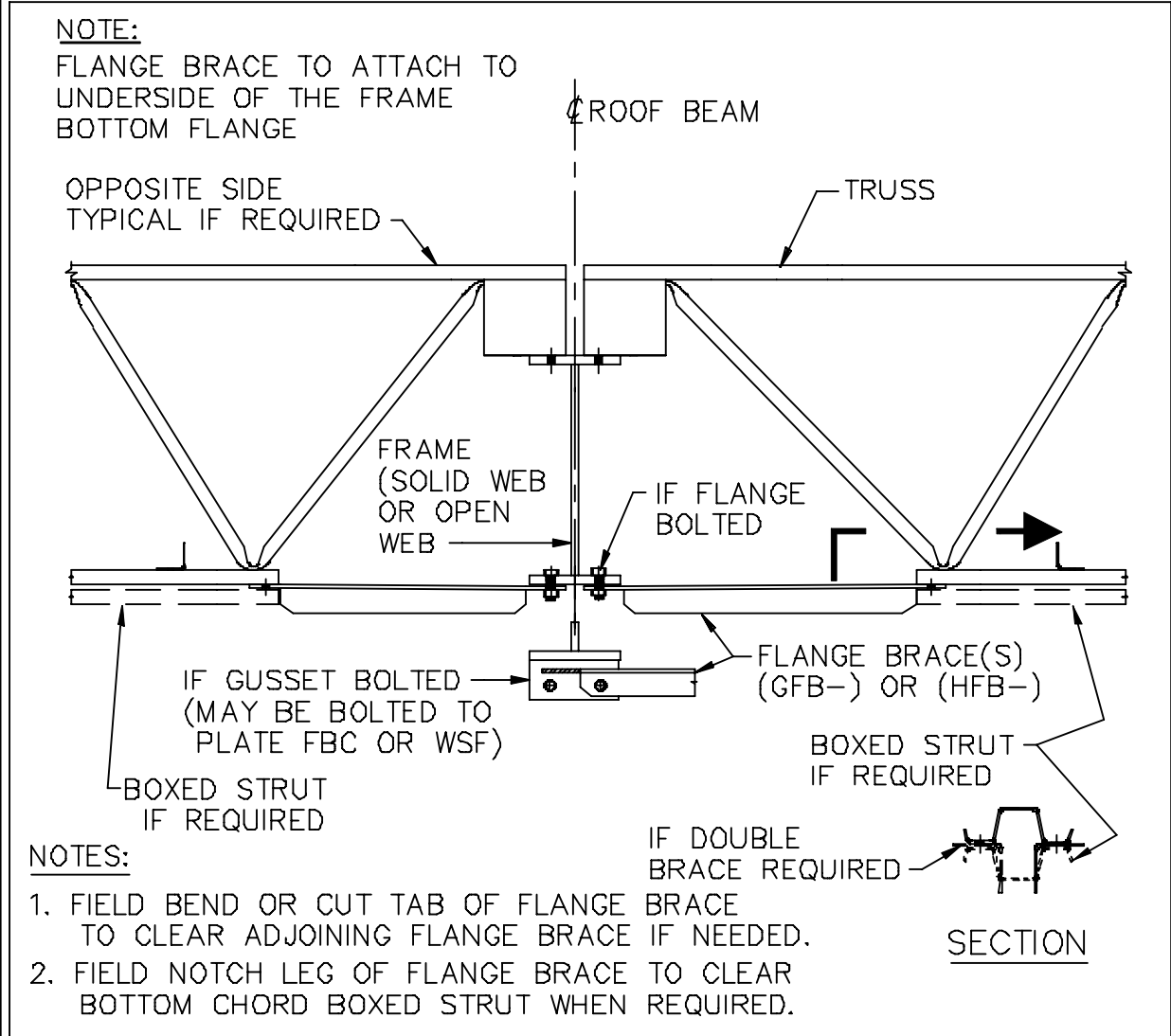
REV. DATE:12/17/15 | REV. NO. 06
BR405 SOLDIER COLUMN WIND STRUT TRUSS WITH STRUT BELOW



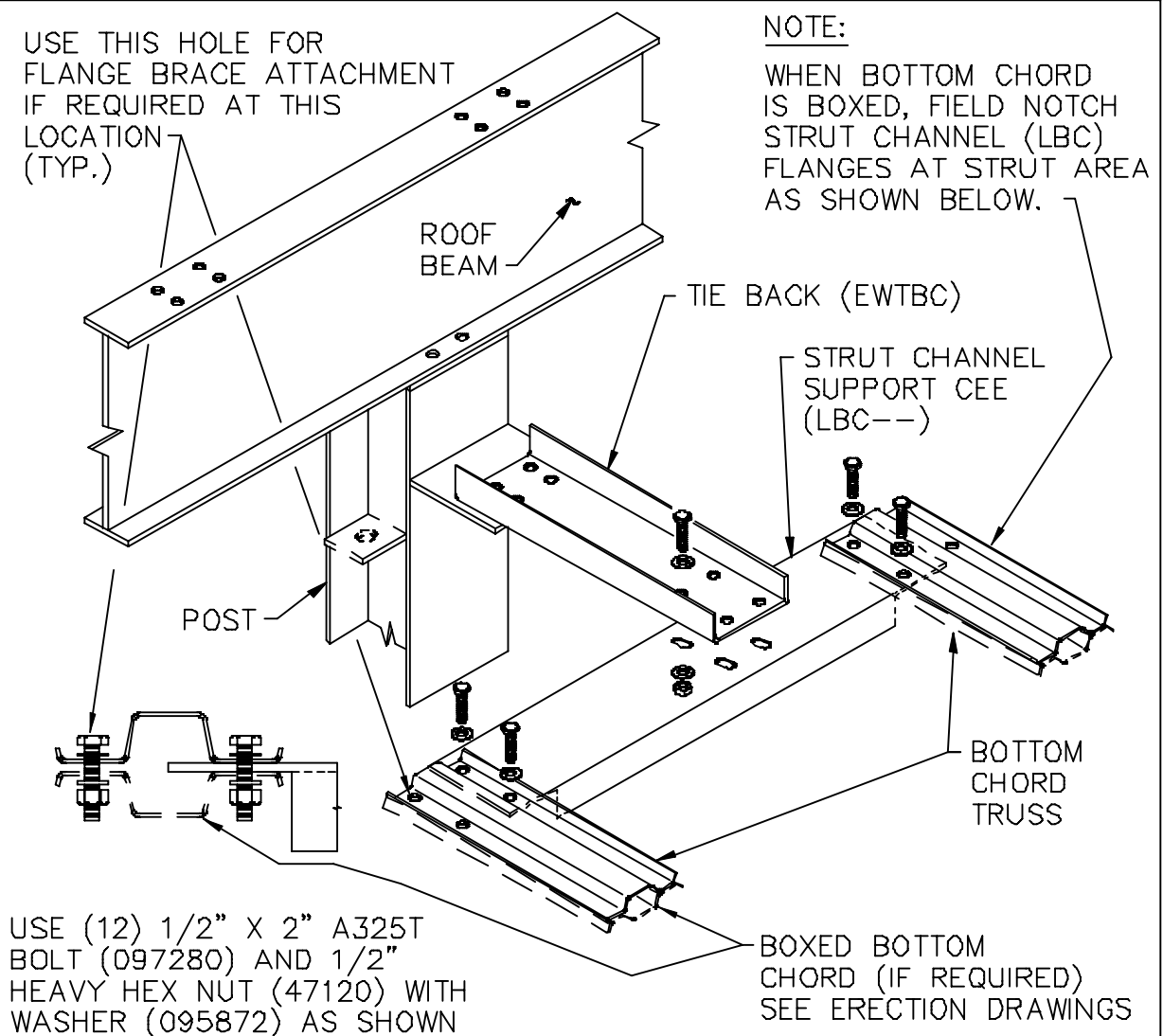
REV. DATE:03/12/14 | REV. NO. 01
BR416 FLANGE BRACE CONNECTION TO TRUSS TRUSS SHALLOWER THAN FRAME



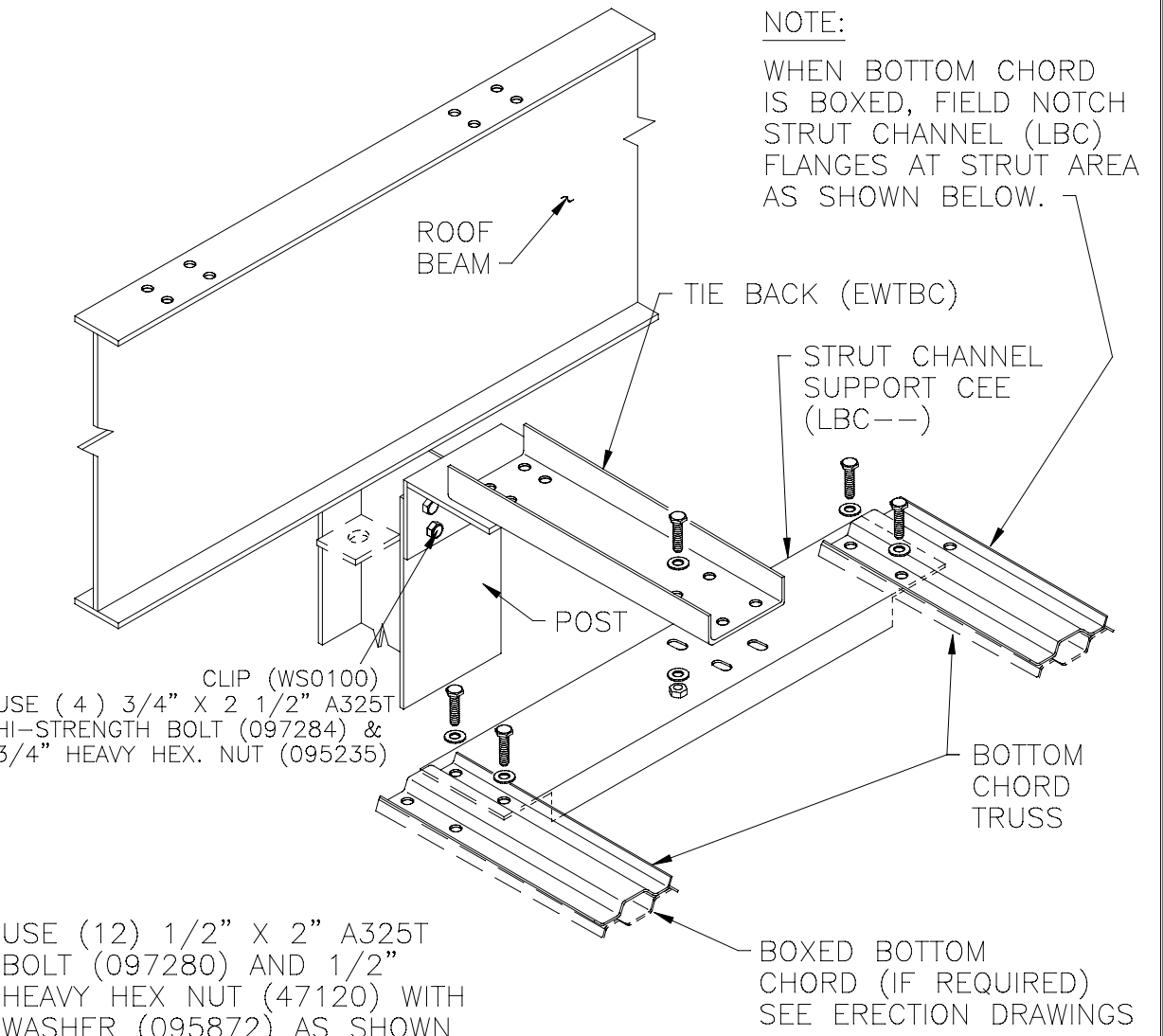
REV. DATE:03/12/14 | REV. NO. 01
BR417 FLANGE BRACE CONNECTION TO TRUSS TRUSS DEEPER THAN FRAME



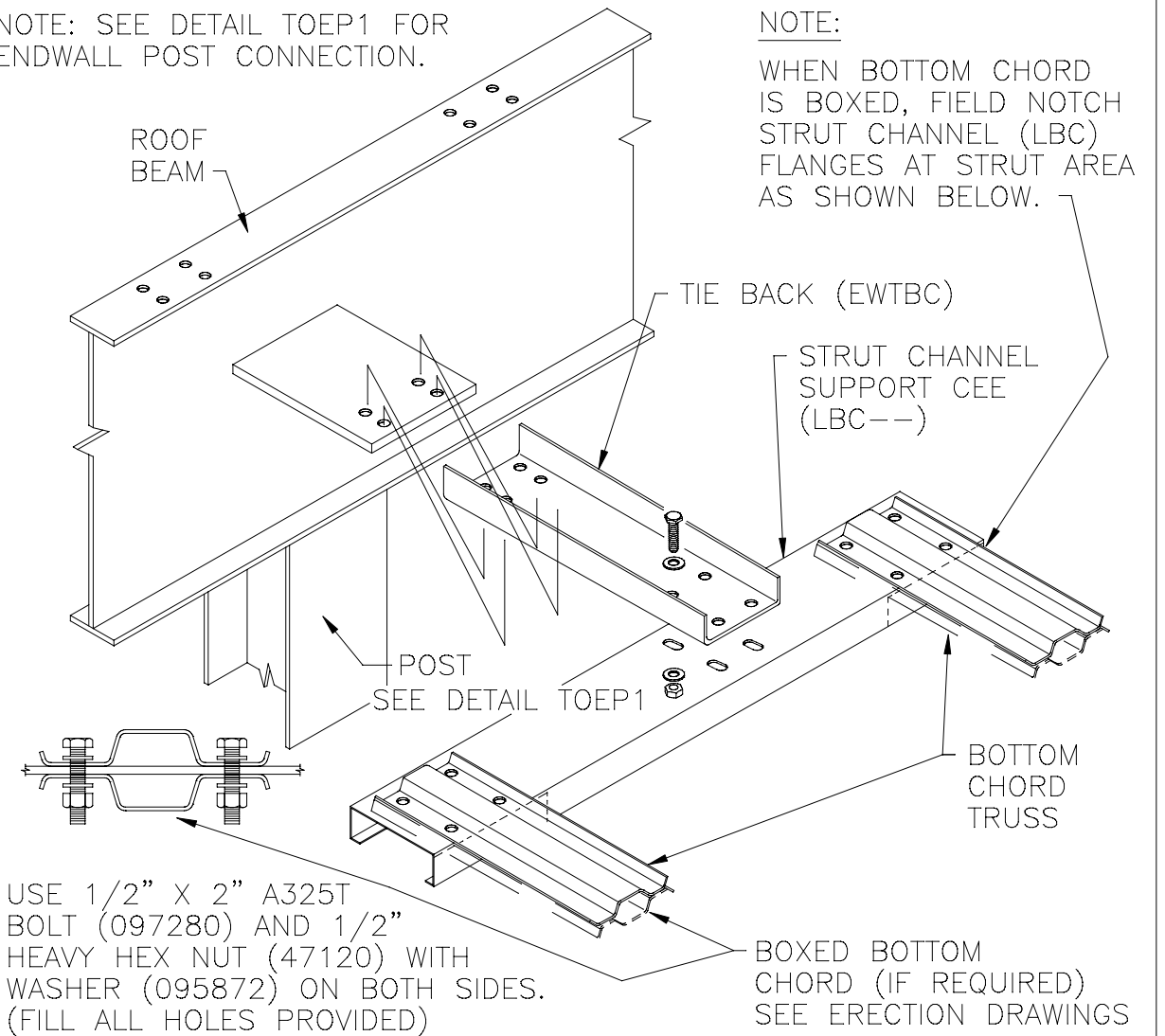
REV. DATE:03/12/14 | REV. NO. 01
BR418 FLANGE BRACE CONNECTION TO TRUSS TRUSS SAME DEPTH AS FRAME



REV. DATE:11/15/16 | REV. NO. 02
BR412 TRUSS AT POST - OFFSET GREATER THAN 8" OFFSET



REV. DATE:11/15/16 | REV. NO. 02
BRX412 TRUSS AT POST - OFFSET GREATER THAN 8" OFFSET



REV. DATE:03/11/14 | REV. NO. 02
BRX413 TRUSS AT POST - OFFSET GREATER THAN 8" OFFSET

FOR CONSTRUCTION

1. UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) TWO WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

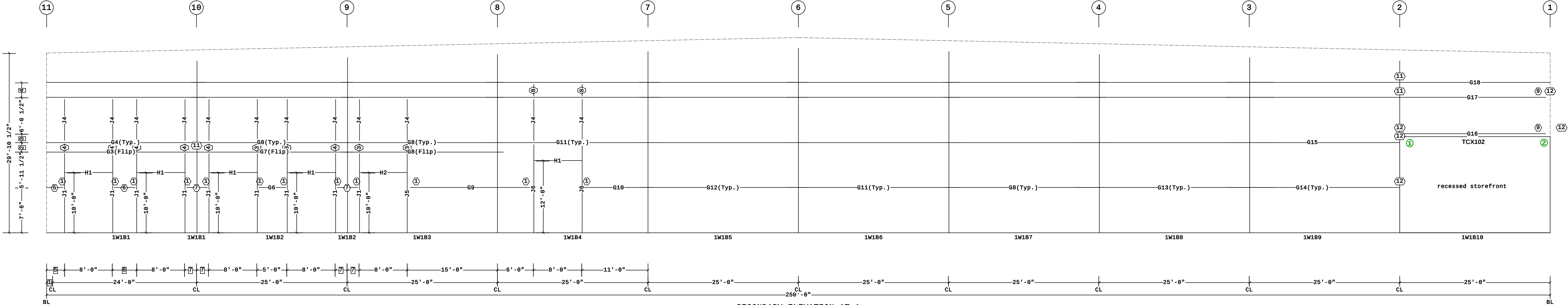
D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			
REV.	DATE:	BY:	DESCRIPTION:
DRAWING SCALE: NTS			

39 ROOF SECONDARY SED'S			
BUILDER:	Avis Construction Co., Inc.		
CUSTOMER:	Humm Kombucha, LLC		
LOCATION:	Roanoke, Virginia		
PROJECT:	Humm Kombucha		
BUILDER'S POW:	18-020		
JOB #:	18-026503-01		
DATE:	10/16/18		
DRAWN/CHECK:	JRB / DMD		
Butler Manufacturing	VPC VERSION: 2018.1c		
PAGE:	34		

Secondary Part Schedule					
Mark	Part	Thick.	Depth	Lap	Detail
G1	00108ZS020841702	0.0600	8 1/2"		WS12A2,WS12N2,WS20F2
G10	08Z1108417G102	0.0600	8 1/2"	10 1/2"	WS01G3,WS20F2
G11	08Z28114173302	0.0600	8 1/2"	1'-10 1/2"	WS01G3
G12	08Z27114172202	0.0600	8 1/2"	1'-4 1/2"	WS01G3
G13	08Z32114175502	0.0600	8 1/2"	3'-10 1/2"	WS01G3
G14	08Z2811417D502	0.0600	8 1/2"	3'-10 1/2"	WS01Q2,WS01G3
G15	08Z2811416D502	0.0600	8 1/2"	3'-10 1/2"	WS01Q2,WS01G3
G16	00108CS240241700	0.0600	8 1/2"		WS12A2,WS12N2,WS01G2,WS01AV
G17	00608ZS240241600	0.0600	8 1/2"		WS12A2,WS12N2,WS01G2,WS01AV
G18	08Z2411416DD00	0.0600	8 1/2"		WS12A2,WS12N2,WS01G2,WS01AV
G2	00208ZS030541702	0.0600	8 1/2"		WS12A2,WS12N2,WS20F2
G3(Flip)	08Z2411415AD02	0.0730	8 1/2"		WS12A2,WS12N2,WS01Q2
G4	08Z2605417A202	0.0600	8 1/2"	1'-4 1/2"	WS12A2,WS12N2,WS01G3
G5	00308ZS030541702	0.0600	8 1/2"		WS20F2
G6	00408ZS040541702	0.0600	8 1/2"		WS20F2
G7(Flip)	08Z2511417D102	0.0600	8 1/2"	10 1/2"	WS01G3,WS01Q2
G8	08Z26114171102	0.0600	8 1/2"	10 1/2"	WS01G3
G9	00508ZS200261702	0.0600	8 1/2"		WS01G3,WS20F2,WS20E2
H1	00108JS00000017	0.0600	8 1/2"		WS20F9
H2	00708JS00000017	0.0600	8 1/2"		WS20J9,WS20F9
J1	00208JS1301617	0.0600	8 1/2"		WS20F9,WS20F2,WS20B2,WS20B8
J2	00308JS0011017	0.0600	8 1/2"		WS20B2,WS20H2
J3	00408JS0011017	0.0600	8 1/2"		WS20B2,WS20H2
J4	00608JS0010417	0.0600	8 1/2"		WS20B2,WS20H2
J5	00108DS1301614	0.0790	8 1/2"		WS20E2,WS20B2,WS20B8
J6	00008JS1408217	0.0600	8 1/2"		WS20F9,WS20F2,WS20B2,WS20B8
J7	01508JS0110417	0.0600	8 1/2"		WS20B2,WS20H2

Member Schedule:		
Part	Description	Length
TCX102	HSS 16x12x3/8	22'-10 15/16"

TUBE	GIRT	Connection	Bolts		
Qty	Grade	Bolt	Diam.	Bolt Length	PartNo
1	2	A325	3/4"	2 1/2"	0097284
2	4	A325	3/4"	2 1/2"	0097284



NOTE:
BUILDER TO USE PG1 CLIPS AT FRAMED OPENING U.N.O.

12	GFAP0084
11	GFAP1054
10	0543333
9	VCC07003090
8	J7
7	G5
6	G2
5	G1
4	J3
3	J2
2	PG1
1	JTG1

□ Dimension Key ○ Part Mark Key

Shape Name = Humm, Wall = 1

FOR CONSTRUCTION

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

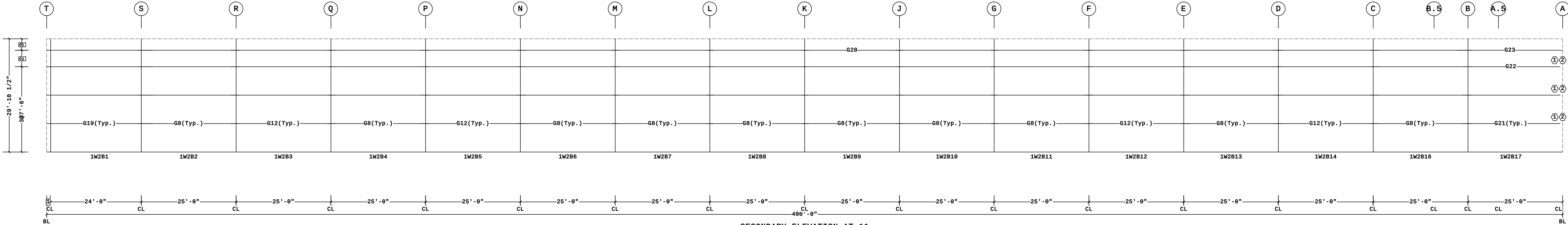
THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D	BUTLER MANUFACTURING			SECONDARY ELEVATION AT A	
	REV:	DATE:	BY:	DESCRIPTION:	BUILDER: Avis Construction Co., Inc.
					CUSTOMER: Humm Kombucha, LLC
					LOCATION: Roanoke, Virginia
					PROJECT: Humm Kombucha
DRAWING SCALE:				NTS	BUILDER'S POW: 18-020
				VPC VERSION: 2018.1c	JOB #: 18-026503-01
					DATE: 10/16/18
					DRAWN/CHECK: JRB / DMD
					PAGE: 36

Secondary Part Schedule					
Mark	Part	Thick.	Depth	Lap	Detail
G12	08Z27114172202	0.0600	8 1/2"	1' -4 1/2"	WS01G3
G19	08Z2711417A402	0.0600	8 1/2"	2' -10 1/2"	WS12A2,WS12N2,WS01G3
G20	08Z26114161102	0.0600	8 1/2"	10 1/2"	WS01G3
G21	08Z2508416Q202	0.0600	8 1/2"	1' -4 1/2"	WS12A2,WS12N2,WS01G3
G22	08Z2508417Q202	0.0600	8 1/2"	1' -4 1/2"	WS12A2,WS12N2,WS01G3
G23	08Z2711416D402	0.0600	8 1/2"	2' -10 1/2"	WS12A2,WS12N2,WS01G3
G8	08Z26114171102	0.0600	8 1/2"	10 1/2"	WS01G3



3	3' -0"	3	0543333
2	4' -4 1/2"	2	6FAP1054
1	1' -0"	1	VCC07003090

□ Dimension Key ○ Part Mark Key

Shape Name = Humm, Wall = 2

FOR CONSTRUCTION

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

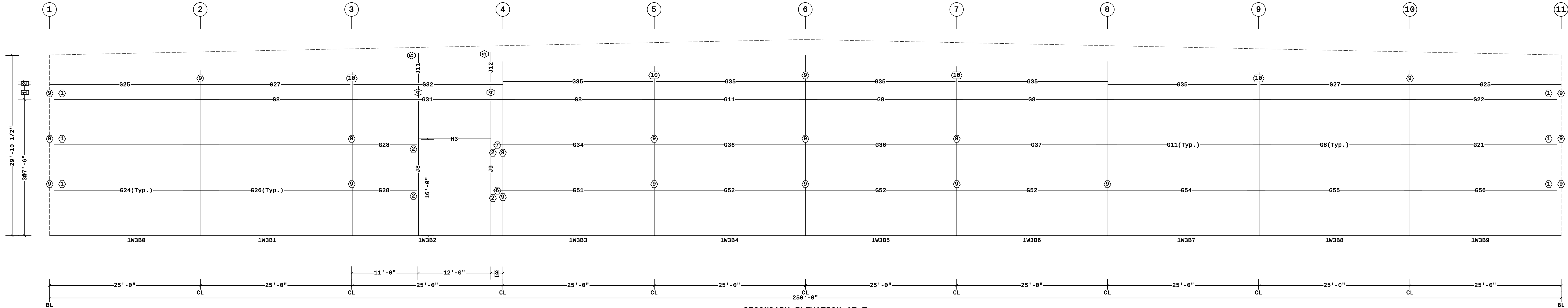
THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		SECONDARY ELEVATION AT 11	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	BUILDER'S POW:	18-020
				CUSTOMER:	Humm Kombucha, LLC		
				LOCATION:	Roanoke, Virginia		
				PROJECT:	Humm Kombucha		
DRAWING SCALE: NTS				BUTLER MANUFACTURING		JOB #:	
						18-026503-01	
						DATE:	
						10/16/18	
						DRAWING CHECK:	
						JRB / DMD	
						PAGE:	
						37	

Secondary Part Schedule					
Mark	Part	Thick.	Depth	Lap	Detail
G11	08Z28114173302	0.0600	8 1/2"	1' -10 1/2"	WS01G3
G21	08Z2508416Q202	0.0600	8 1/2"	1' -4 1/2"	WS12A2,WS12N2,WS01G3
G22	08Z2508417Q202	0.0600	8 1/2"	1' -4 1/2"	WS12A2,WS12N2,WS01G3
G24	08Z2702417Q402	0.0600	8 1/2"	2' -10 1/2"	WS12A2,WS12N2,WS01G3
G25	08Z2411416D002	0.0600	8 1/2"		WS12A2,WS12N2,WS01Q2
G26	08Z2711417D402	0.0600	8 1/2"	2' -10 1/2"	WS01Q2,WS01G3
G27	08080ZS240841602	0.0600	8 1/2"		WS01Q2
G28	08Z1008417D602	0.0600	8 1/2"		WS20F2,WS01Q2
G29	00708ZS010841702	0.0600	8 1/2"		WS01Q2,WS20F2
G30	00208CS010841702	0.0600	8 1/2"		WS01Q2,WS20F2
G31	08Z28114163302	0.0600	8 1/2"	1' -10 1/2"	WS01G3
G32	00908ZS240841702	0.0600	8 1/2"		WS01Q2
G34	00308CS241141702	0.0600	8 1/2"		WS01Q2
G35	01008ZS240841502	0.0730	8 1/2"		WS01Q2
G36	08C2411411DD02	0.1130	8 1/2"		WS01Q2
G37	08Z2605416D202	0.0600	8 1/2"	1' -4 1/2"	WS01G3,WS01Q2
G51	01108ZS241141202	0.0900	8 1/2"		WS01Q2
G52	01208ZS241141202	0.0900	8 1/2"		WS01Q2
G54	01308ZS251141602	0.0600	8 1/2"	10 1/2"	WS01G3,WS01Q2
G55	01408ZS281141702	0.0600	8 1/2"	1' -10 1/2"	WS01G3
G56	01508ZS250241602	0.0600	8 1/2"	10 1/2"	WS12A2,WS12N2,WS01G3
G8	08Z26114171102	0.0600	8 1/2"	10 1/2"	WS01G3
H3	01008JS1200017	0.0600	8 1/2"		WS20F9
J10	00908JS0110417	0.0600	8 1/2"		WS20B2,WS20H2
J11	00508JS0409617	0.0600	8 1/2"		WS20B5,WS20H2
J12	01308JS0500617	0.0600	8 1/2"		WS20B5,WS20H2
J8	01108JS2202211	0.1130	8 1/2"		WS20F9,WS20F2,WS20B2,WS20B8
J9	01208JS2202215	0.0730	8 1/2"		WS20F9,WS20F2,WS20B2,WS20B8



NOTE:
BUILDER TO USE PG1 CLIPS AT FRAMED OPENING U.N.O.

11	GFAP0084
10	GFAP1114
9	GFAP1054
8	0543333
7	G30
6	G29
5	DJC1102
4	J10
3	PG1
2	JTG1
1	VCC07003090
Dimension Key	
Part Mark Key	

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

Shape Name = Humm, Wall = 3

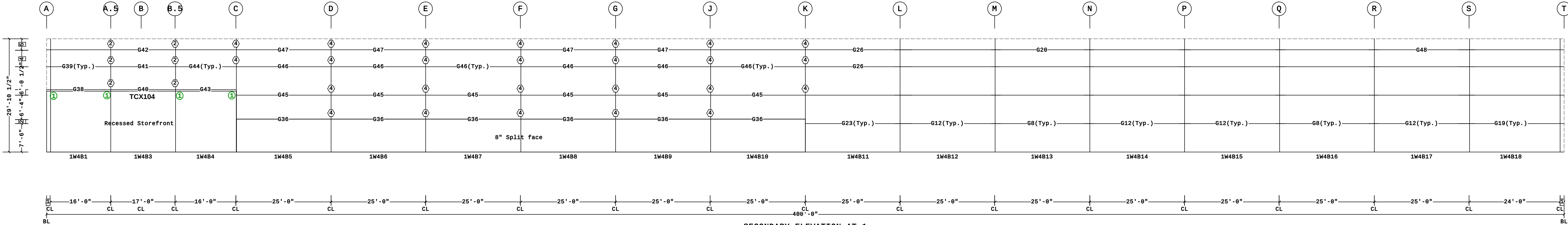
FOR CONSTRUCTION

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		SECONDARY ELEVATION AT T	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	BUILDER:	Avis Construction Co., Inc.
				CUSTOMER:	Humm Kombucha, LLC	CUSTOMER:	Humm Kombucha, LLC
				LOCATION:	Roanoke, Virginia	LOCATION:	Roanoke, Virginia
				PROJECT:	Humm Kombucha	PROJECT:	Humm Kombucha
				BUILDER'S PO#:	18-020	BUILDER'S PO#:	18-020
DRAWING SCALE:				NTS		VPC VERSION: 2018.1c	
						JOB #:	
						DATE:	
						DRAWN/CHECK:	
						PAGE:	

Secondary Part Schedule				
Mark	Part	Thick.	Depth	Lap
G12	08Z27114172202	0.0600	8 1/2"	1' -4 1/2"
G19	08Z2711417A402	0.0600	8 1/2"	2' -10 1/2"
G20	08Z26114161102	0.0600	8 1/2"	10 1/2"
G23	08Z2711416D402	0.0600	8 1/2"	2' -10 1/2"
G26	08Z2711417D402	0.0600	8 1/2"	2' -10 1/2"
G36	08C2411411DD002	0.1130	8 1/2"	
G38	08C1611417AD00	0.0600	8 1/2"	
G39	08Z1611417AD00	0.0600	8 1/2"	
G40	08C1611417DD00	0.0600	8 1/2"	
G41	08Z1611417DD00	0.0600	8 1/2"	
G42	08Z1611416DD00	0.0600	8 1/2"	
G43	08C1511417DD00	0.0600	8 1/2"	
G44	08Z1511417DD00	0.0600	8 1/2"	
G45	08Z2411412DD02	0.0900	8 1/2"	
G46	08Z2411413DD02	0.0800	8 1/2"	
G47	08Z2411417DD02	0.0600	8 1/2"	
G48	08Z27114162202	0.0600	8 1/2"	1' -4 1/2"
G8	08Z26114171102	0.0600	8 1/2"	10 1/2"

Member Schedule:		
Part	Description	Length
TCX104	HSS 16x12x3/8	48'-2 13/16"

TUBE GIRT Connection Bolts					
Qty	Grade	Bolt Diam.	Bolt Length	PartNo	
1 2	A325	3/4"	2 1/2"	0097284	



5	3' -0"	
4	4' -4 1/2"	4 GFAP1054
3	1' -5 1/2"	3 GFAP0004
2	1' -2"	2 GFAP1024
1	1' -0"	1 0543333

☐ Dimension Key ☐ Part Mark Key

Shape Name = Humm, Wall = 4

FOR CONSTRUCTION

- UNLESS NOTED, USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47120) W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
- FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
- REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

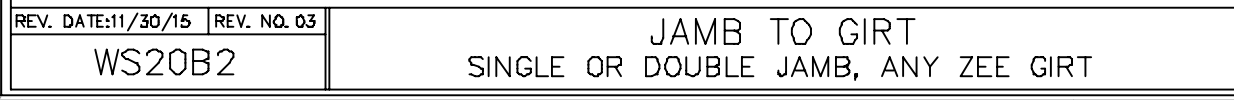
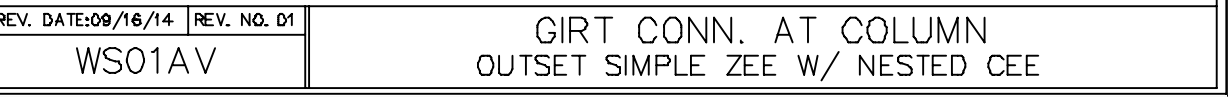
THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		SECONDARY ELEVATION AT 1	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01
				CUSTOMER:	Humm Kombucha, LLC		DATE: 10/16/18
				LOCATION:	Roanoke, Virginia		DRAWN/CHECK: JRB / DMD
				PROJECT:	Humm Kombucha		PAGE: 39
DRAWING SCALE: NTS				BUILDER'S POW:	18-020		



REV. DATE: 07/01/09	REV. NO. 00	SECONDARY PART MARK NUMBER
EN51B1		COMMON GENERATED MARK NUMBERS

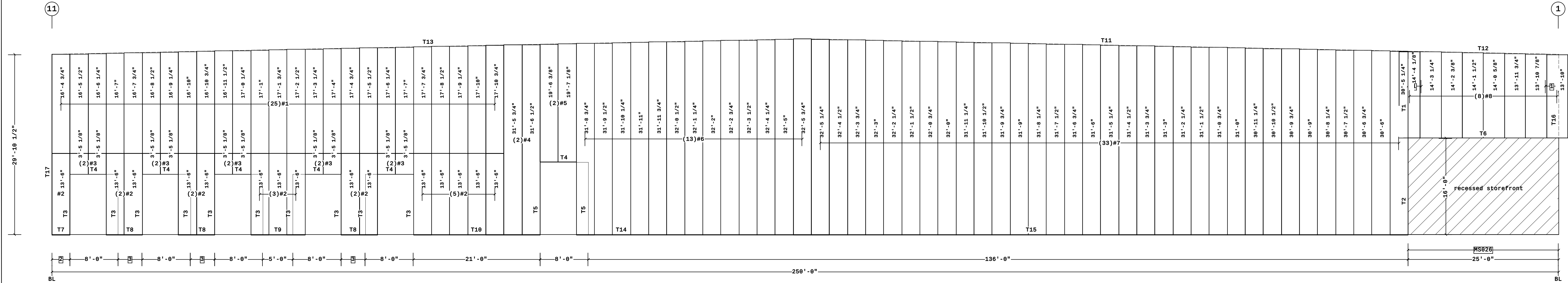


a division of BlueScope Buildings North America, Inc.

Covering Schedule									
Id	Qty	Type	Start	Length	Gage	OP	Fin.	Color	Increment
#1	25	SHP	16'-4 3/4"	26	2	K	SW	3/4"	Left to Right
#2	15	SHP	13'-6"	26	7	K	SW		Left to Right
#3	10	SHP	3'-5 1/8"	26	3	K	SW		Left to Right
#4	2	SHP	31'-5 3/4"	26	1	K	SW	3/4"	Left to Right
#5	2	SHP	19'-6 3/8"	26	2	K	SW	3/4"	Left to Right
#6	13	SHP	31'-8 3/4"	26	1	K	SW	3/4"	Left to Right
#7	33	SHP	32'-5 1/4"	26	1	K	SW	-3/4"	Left to Right
#8	8	THTX20	14'-4 1/8"	24	1	T	TA	-7/8"	Left to Right
Oper. Code:2=SQ,SQ									
Oper. Code:7=SQ,SQ									
Oper. Code:3=SQ,SQ									
Oper. Code:1=SQ,SQ									
Finish:K=Butler-Cote									
Finish:T=Texture-Cote									
Color:SW=Cool Solar White									
Color:TA=Texture-Adobe II									

Trim Schedule		
Id	Parts	Color
T1	(1.1)0570751,(1.5)TF10	Cool Solar White
T2	(1.5)0570751,(2)SHOCT12	Cool Solar White
T3	(0.8)DSF12C	Cool Solar White
T4	D6S12	Cool Solar White
T5	DSF12C	Cool Solar White
T6	(2.1)F5002-24-12,(2.1)F5986-24-12	Cool Country Wheat
T7	(0.2)B62215,(0.2)BT12A	Cool Solar White
T8	(0.3)B62215,(0.3)BT12A	Cool Solar White
T9	(0.3)B62215,(0.4)BT12A	Cool Solar White
T10	(1.4)B62215,(1.7)BT12A	Cool Solar White
T11	(4.9)MRGT20R,(8.3)SHCL12,(9.8)WA10A	Cool Solar White
T12	(1.2)MRGT20R,(2.5)WA10A	Cool Solar White
T13	(6.1)MRGT20L,(10.4)SHCL12,(12.3)WA10A	Cool Solar White
T14	(0.7)B62215,(0.9)BT12A	Cool Solar White
T15	(5)BA225,(10.4)BT12A	Cool Solar White
T16	(2)F5139-26-12,(2)SCT12A	Cool Solar White
T17	(3)SHOCT12,(4.5)0620163	Cool Solar White

Details	
PVX148	
PV138	
NV568,NV569,WCB024,WCB025	
NV125,NV140,NV566	
NV568,NV569,WCB024,WCB025	
MS018,MS035,NV675,MSX011,MSX011	
ENB006,GV386,GV443,NV115,NV120,NV128,NV130,NV135,NV143,NV664,WCB082,WCB083,WCB084,WCB085,WCB086	
ENB006,GV386,GV443,NV115,NV120,NV128,NV130,NV135,NV143,NV664,WCB082,WCB083,WCB084,WCB085,WCB086	
ENB006,GV386,GV443,NV115,NV120,NV128,NV130,NV135,NV143,NV664,WCB082,WCB083,WCB084,WCB085,WCB086	
ENB006,GV386,GV443,NV115,NV120,NV128,NV130,NV135,NV143,NV664,WCB082,WCB083,WCB084,WCB085,WCB086	
ENB006,GV386,GV442,NV115,NV120,NV128,NV130,NV135,NV143,NV664,WCB082,WCB083,WCB084,WCB085,WCB086	
MS007,MS035	
NV118,NV119,NV133,NV134	



COVERING ELEVATION AT A

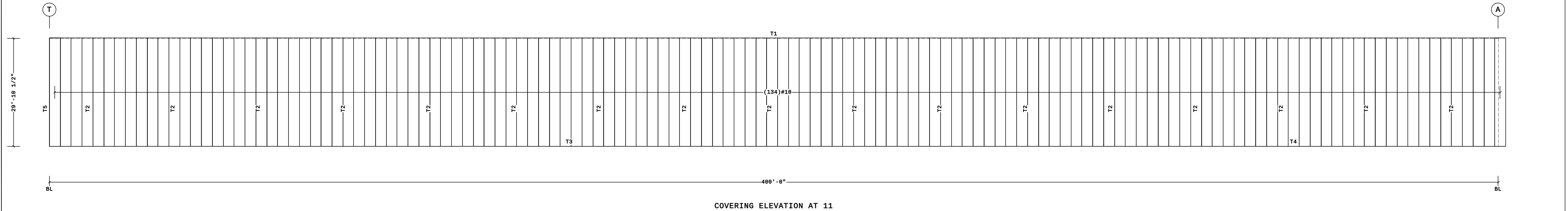
Planograph Schedule	
Id	Details
T1	P-080483,P-081180,P-081197
T2	P-081180,P-081196
T3	P-081201,P-081202,P-081203
T4	P-081202
T5	P-081201,P-081202,P-081203
T6	B-081517
T7	P-081180,P-081505
T8	P-081180,P-081505
T9	P-081180,P-081505
T10	P-081180,P-081505
T11	
T12	B-081517,P-080883,P-081167,P-105018,P-RCI
T13	
T14	P-081180,P-081505
T15	P-081180,P-081505
T16	B-081398,B-081517
T17	P-081180,P-081185

Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097362-102	Scrubolt 11/32 x 1 1/2", T-45 Torx Hd w/Washer

- 3 4'-0"
- 2 3'-0"
- 1 2'-1" Scribe Line
- ☐ Dimension Key

Shape Name = Humm, Wall = 1										FOR CONSTRUCTION			
1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE's AND/OR FASTENERS TO STRUCTURAL BEAMS 2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED. 3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING, SEE THE COVERING SCHEDULE FOR CUT LENGTHS. 4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				COVERING ELEVATION AT A					
				REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c	JOB #:	18-026503-01	
							CUSTOMER:	Humm Kombucha, LLC	DATE:		10/16/18		
							LOCATION:	Roanoke, Virginia	DRAWN/CHECK:		JRB / DMD		
							PROJECT:	Humm Kombucha	PAGE:		44		
			DRAWING SCALE:				NTS				BUILDER'S POW:		18-020

Covering Schedule									Trim Schedule								
Id	Qty	Type	Start	Length	Gage	OP	Fin.	Color	Direction	Id	Parts						
#10	134	SHP	30'-0	1/4"	26	1	K	SW	Left to Right	T1	(34)SHCL12,(34)CLE12C,(16)W6TR25						
Oper. Code:1=SQ,SQ										T2	(2)5CE45,5CE75,CB,(3)CP510						
Finish:K=Butler-Cote										T3	(11.5)BA225,(23.9)BT12A						
Color:SW=Cool Solar White																	
										T4	(7.5)B62215,(9.4)BT12A						
										T5	(3)SHOCT12,(4.5)0620163						



Fastener Schedule		Planograph Schedule		Shape Name = Humm, Wall = 2		FOR CONSTRUCTION						
Part	Description	Id	Details	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			COVERING ELEVATION AT 11					
0097362-102	Scrubolt 11/32 x 1 1/2", T-45 Torx Hd w/Washer	T1	P-080082,P-080088,P-081241,P-105017				REV:	DATE:	BY:	DESCRIPTION:	BUILDER: Avis Construction Co., Inc.	JOB #: 18-026503-01
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer	T2	P-080091,P-081240,P-105228								CUSTOMER: Humm Kombucha, LLC	DATE: 10/16/18
		T3	P-081180,P-081505								LOCATION: Roanoke, Virginia	DRAWN/CHECK: JRB / DMD
		T4	P-081180,P-081505								PROJECT: Humm Kombucha	PAGE: 45
		T5	P-081180,P-081185	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.			THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.					
1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE's AND/OR FASTENERS TO STRUCTURAL BEAMS		2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.		3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING, SEE THE COVERING SCHEDULE FOR CUT LENGTHS.		4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.		DRAWING SCALE: NTS		BUILDER'S POR: 18-020		

Covering Schedule										
ID	Qty	Type	Start	Length	Gage	OP	Fin.	Color	Increment	Direction
#14	21	SHP	29'-11"		26	1	K	SW	3/4"	Left to Right
#15	3	SHP	15'-1	7/8"	26	2	K	SW	3/4"	Left to Right
#16	18	SHP	31'-5"		26	1	K	SW	3/4"	Left to Right
#35	42	SHP	32'-5	1/4"	26	1	K	SW	-3/4"	Left to Right
Oper. Code:1=SQ,SQ										
Oper. Code:2=SQ,SQ										
Finish:K=Butler-Cote										
Color:SW=Cool Solar White										

```
Trim Schedule
Id  Parts
T1  (1.3)DSF12C
T2  DGS12
T3  (4.1)BG2215,(5.1)BT12A
```

```
Color
Cool Solar White
Cool Solar White
Cool Solar White
```

Details

NV568, NV569, WCB024, WCB025
NV125, NV140, NV566
ENB006, GV386, GV443, NV115, NV120, NV128, NV130,
NV135, NV143, NV1634, WCB082, WCB083, WCB084,
WCB085, WCB086
KV403, KV404, PV167
KV403, KV404, PV167
ENB006, GV386, GV442, NV115, NV120, NV128, NV130,
NV135, NV143, NV664, WCB082, WCB083, WCB084,
WCB085, WCB086
ENB006, GV386, GV443, NV115, NV120, NV128, NV130,
NV135, NV143, NV664, WCB082, WCB083, WCB084,
WCB085, WCB086
NV118, NV119, NV133, NV134
ENB006, NV664

T4 (12.3)WA10A, (6.1)MRGT20L, (10.4)SHCL12
T5 (12.3)WA10A, (6.1)MRGT20R, (10.4)SHCL12
T6 (4)BA225, (8.3)BT12A

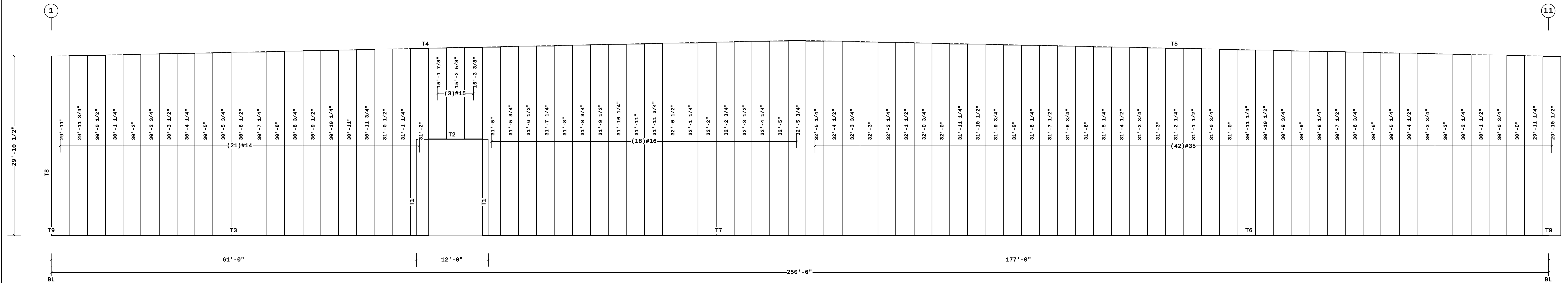
```
Cool Solar White
Cool Solar White
Cool Solar White
```

T7 (5.1)BG2215, (6.4)BT12A

Cool Solar White

T8 (3)SHOCT12, (4.5)0620163
T9 CTB2R, CTB2L

Cool Solar White
Cool Solar White



COVERING ELEVATION AT T

Planograph Schedule	
ID	Details
T1	P-081201, P-081202, P-081203
T2	P-081202
T3	P-081100, P-081505
T4	P-081167, P-081183, P-GAI
T5	P-081167, P-081183, P-GAI
T6	P-081180, P-081505
T7	P-081180, P-081505
T8	P-081180, P-081185
T9	P-081180, P-081505

Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097362-102	Scrubolt 11/32 x 1 1/2", T-45 Torx Hd w/Washer

Shape Name = Humm, Wall = 3

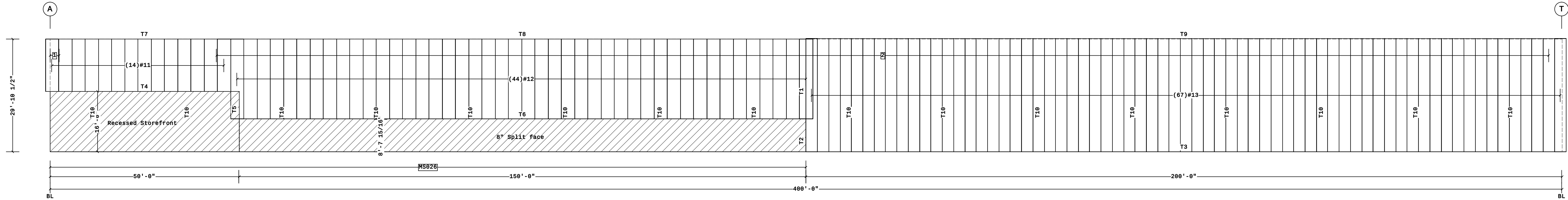
FOR CONSTRUCTION

1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE's AND/OR FASTENERS TO STRUCTURAL BEAMS 2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED. 3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS. 4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102				COVERING ELEVATION AT T				
			REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.	 Butler Manufacturing VPC VERSION: 2018.1c	JOB #:	18-026503-01
							CUSTOMER:	Humm Kombucha, LLC		DATE:	10/16/18
							LOCATION:	Roanoke, Virginia		DRAWN/CHECK:	JRB / DMD
							PROJECT:	Humm Kombucha		PAGE:	46
DRAWING SCALE:				NTS		BUILDER'S PO#: 18-020					

Covering Schedule								
Id	Qty	Type	Start	Length	Gage	OP	Fin.	Color
#11	14	THTX20	13'-9 1/2"	24	1	T	TA	Left to Right
#13	67	SHP	30'-0 1/4"	26	1	K	SW	Left to Right
#12	44	THTX20	21'-0 7/8"	24	1	T	TA	Left to Right
Oper. Code:1=SQ,SQ								
Finish:T=Texture-Cote								
Finish:K=Butler-Cote								
Color:TA=Texture-Adobe II								
Color:SW=Cool Solar White								

Trim Schedule	
Id	Parts
T1	(1.6)0570751,(2.2)TF10
T2	0570751,(0.7)SHOCT12
T3	(13.3)BG2215,(16.7)BT12A
T4	(4.2)F5002-24-12,(4.2)F5986-24-12
T5	F5139-26-12,SCT12A
T6	(12.7)F5002-24-12,(12.7)F5986-24-12
T7	(2)WGTR25,(5)CLE12D
T8	(6)WGTR25,(13)CLE12D
T9	(17)SHCL12,(17)CLE12C,(8)WGTR25
T10	(2)5CE45,5CE75,CB,(3)CP510

Color	Details
Cool Solar White	PVX148
Cool Solar White	PV142
Cool Solar White	ENB006, GV386, GV443, NV115, NV120, NV128, NV130, NV135, NV143, NV664, WCB082, WCB083, WCB084, WCB085, WCB086
Cool Country Wheat	MS018, MS035, NV675, MSX011
Cool Country Wheat	MS007, MS035
Cool Country Wheat	MS018, MS035, NV675, MSX019
Cool Solar White	MS018, MS027, MV265
Cool Solar White	MS018, MS027, MV265
Cool Solar White	MV272, NV110, NV116, NV131
Cool Solar White	KV861



COVERING ELEVATION AT 1

Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097362-102	Scrubolt 11/32 x 1 1/2", T-45 Torx Hd w/Washer

- 2 352'-5 1/4" Scribe Line
1 2'-4" Scribe Line
☐ Dimension Key

Planograph Schedule	
Id	Details
T1	P-080483,P-081180,P-081197
T2	P-081180,P-081196
T3	P-081180,P-081505
T4	B-081517
T5	B-081398,B-081517
T6	B-081517
T7	B-081517,P-080082,P-080088,P-081241,P-105017
T8	B-081517,P-080082,P-080088,P-081241,P-105017
T9	P-080082,P-080088,P-081241,P-105017
T10	P-080091,P-081240,P-105228

Shape Name = Humm, Wall = 4

FOR CONSTRUCTION

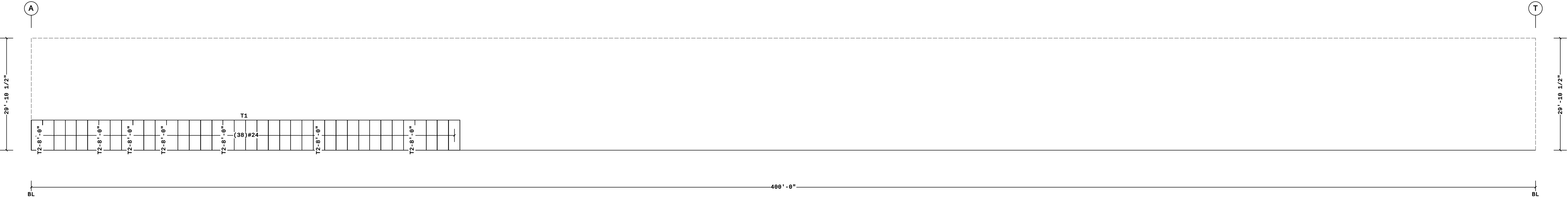
1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE's AND/OR FASTENERS TO STRUCTURAL BEAMS 2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED. 3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING, SEE THE COVERING SCHEDULE FOR CUT LENGTHS. 4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.	THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG. THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D <table><tr><th>REV:</th><th>DATE:</th><th>BY:</th><th>DESCRIPTION:</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td colspan="4">DRAWING SCALE: NTS</td></tr></table>	REV:	DATE:	BY:	DESCRIPTION:													DRAWING SCALE: NTS				BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		COVERING ELEVATION AT 1	
				REV:	DATE:	BY:	DESCRIPTION:																				
				DRAWING SCALE: NTS																							
BUILDER: Avis Construction Co., Inc.		 Butler Manufacturing VPC VERSION: 2018.1c	JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: JRB / DMD PAGE: 47																								
CUSTOMER: Humm Kombucha, LLC																											
LOCATION: Roanoke, Virginia																											
PROJECT: Humm Kombucha																											
BUILDER'S PO#: 18-020																											

Wall Liner Schedule							
Id	Qty	Type	Length	Gage	OP	Finish Color	Direction
#24	38	MOD	8'-0"	26	1	K SW	Left to Right
Oper. Code:1=SQ,SQ							
Finish:K=Butler-Cote							
Color:SW=Cool Solar White							

Trim Schedule	
Id	Parts
T1	(9.4)LPJT
T2	(12)JT10

Color		Details
Cool Solar White		NV361
Cool Solar White		WCB088,WCB090

Planograph Schedule	
Id	Details
T1	P-080234
T2	



WALL LINER ELEVATION AT 11
(View from inside Building)

Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097365-102	(T-3) #12-14 x 1 1/4", T-30 Torx Hd w/Washer

- PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS
- STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.
- DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING, SEE THE COVERING SCHEDULE FOR CUT LENGTHS.
- SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D	BUTLER MANUFACTURING		
	1540 GENESSEE ST. KANSAS CITY, MO 64102		
	REV:	DATE:	DESCRIPTION:
DRAWING SCALE: NTS			

WALL LINER ELEVATION AT 11

BUILDER:	Avis Construction Co., Inc.	JOB #:	18-026503-01
CUSTOMER:	Humm Kombucha, LLC	DATE:	10/16/18
LOCATION:	Roanoke, Virginia	DRAWN/CHECK:	JRB / DMD
PROJECT:	Humm Kombucha	PAGE:	49
BUILDER'S PO#:	18-020	Butler Manufacturing	
		VPC VERSION: 2018.1c	



Wall Liner Schedule					
Id	Qty	Type	Length	Gage	OP
#25	47	MOD	8'-0"	26	1
Oper. Code:1=SQ,SQ					
Finish:K=Butler-Cote					
Color:SW=Cool Solar White					
Finish Color					
K SW					
Direction					
Left to Right From Peak					

Trim Schedule	
Id	Parts
T1	(5.1)LPJT
T2	(6.4)LPJT
T3	(0.7)DSF12
T4	(10)JT10
T5	ICT12

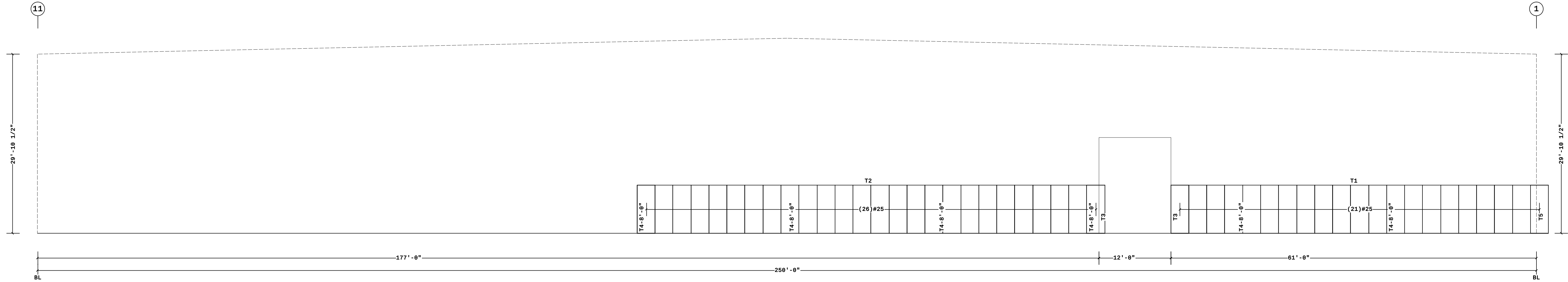
Color	
Cool Solar White	NV361
Cool Solar White	NV361
Cool Solar White	NV360
Cool Solar White	WCB088,WCB090
Cool Solar White	NV365,WC61A8,WC61A9

Details

NV361
NV361
NV360
WCB088,WCB090
NV365,WC61A8,WC61A9

Planograph Schedule

Id	Details
T1	P-080234
T2	P-080234
T3	P-080234
T4	
T5	P-080234



WALL LINER ELEVATION AT T
(View from inside Building)

Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097365-102	(T-3) #12-14 x 1 1/4", T-30 Torx Hd w/Washer

Shape Name = Humm, Wall = 3

FOR CONSTRUCTION

- PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS
- STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.
- DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING, SEE THE COVERING SCHEDULE FOR CUT LENGTHS.
- SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

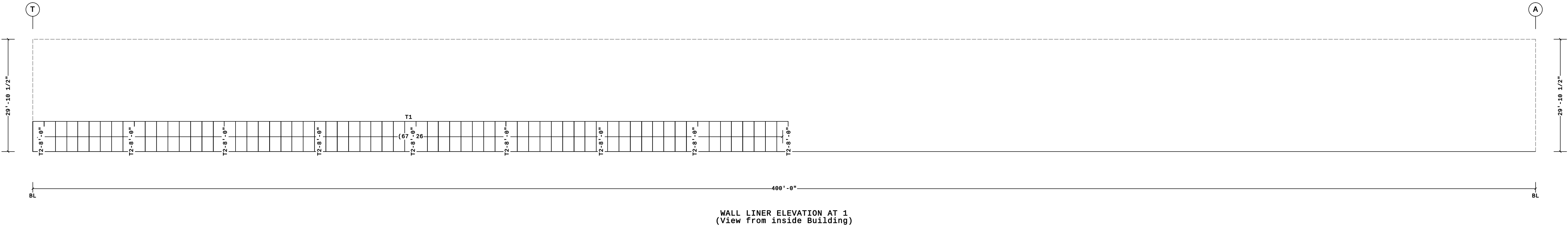
D	BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102			WALL LINER ELEVATION AT T		
	REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.
					CUSTOMER:	Humm Kombucha, LLC
					LOCATION:	Roanoke, Virginia
					PROJECT:	Humm Kombucha
DRAWING SCALE:				NTS	BUILDER'S POW:	18-020
					Butler Manufacturing VPC VERSION: 2018.1c	
					JOB #:	18-026503-01
					DATE:	10/16/18
					DRAWN/CHECK:	JRB / DMD
					PAGE:	50

Wall Liner Schedule						
Id	Qty	Type	Length	Gage	OP	Finish Color Direction
#26	67	MOD	8'-0"	26	1	K SW Left to Right
Oper. Code:1=SQ,SQ						
Finish:K=Butler-Cote						
Color:SW=Cool Solar White						

Trim Schedule	
Id	Parts
T1	(16.7)LPJT
T2	(15)JT10

Color	Details
Cool Solar White	NV361
Cool Solar White	WCB088,WCB090

Planograph Schedule	
Id	Details
T1	P-080234
T2	



Fastener Schedule	
Part	Description
0097364-102	(T-1) 1/4-14 x 3/4", T-30 Torx Hd w/Washer
0097365-102	(T-3) #12-14 x 1 1/4", T-30 Torx Hd w/Washer

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

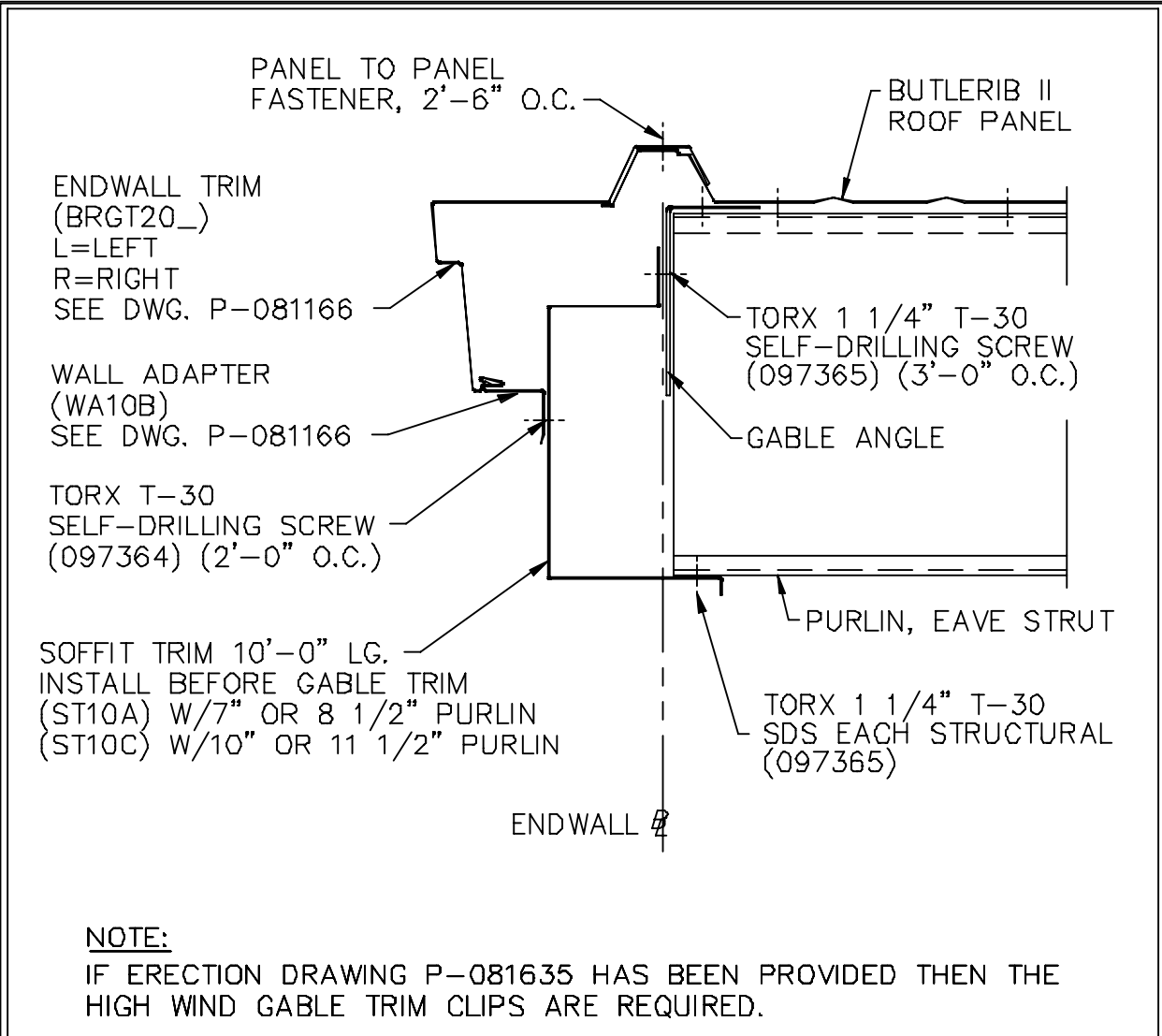
THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D	BUTLER MANUFACTURING		
	1540 GENESSEE ST. KANSAS CITY, MO 64102		
	REV:	DATE:	DESCRIPTION:
DRAWING SCALE: NTS			

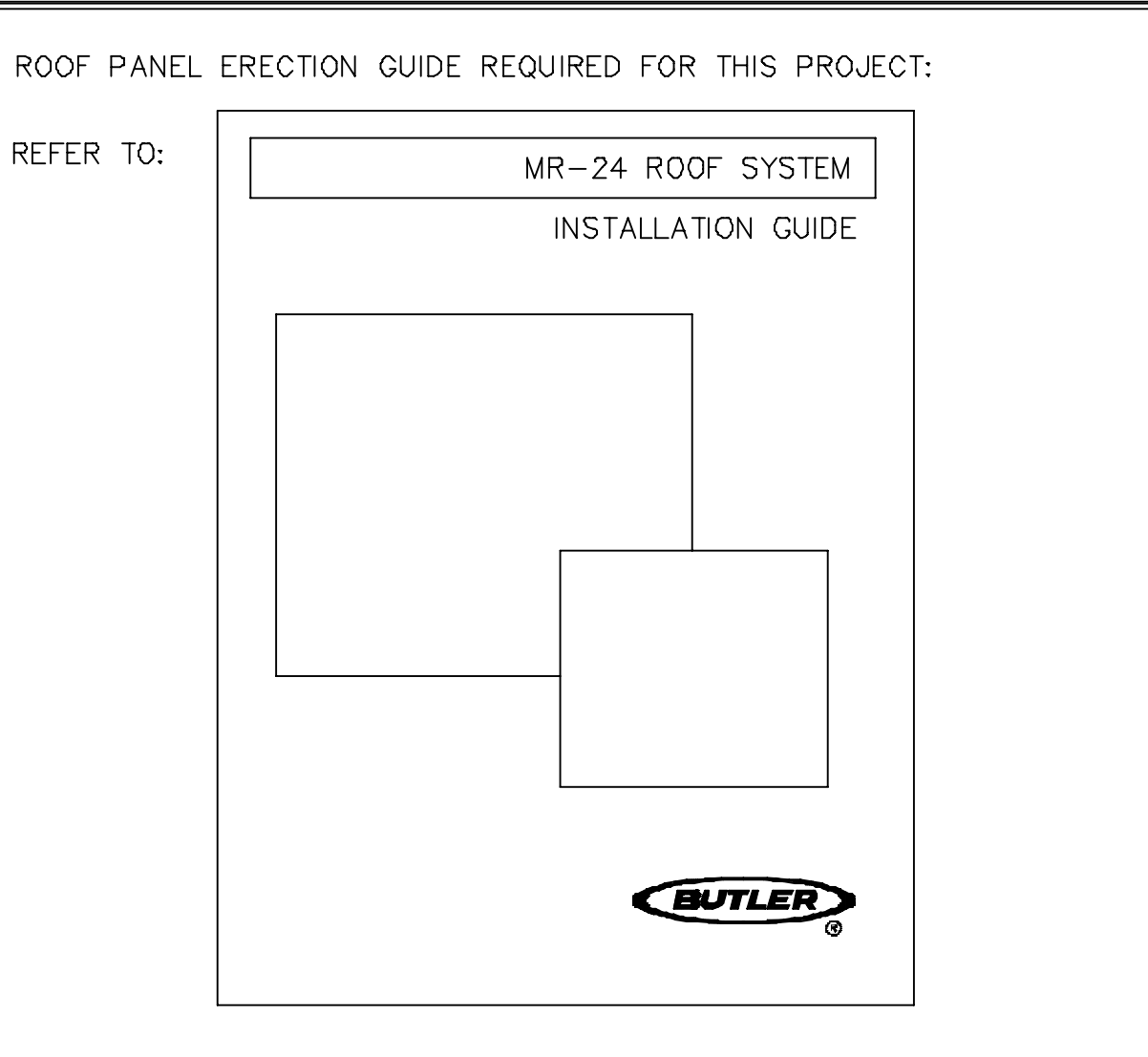
WALL LINER ELEVATION AT 1

BUILDER:	Avis Construction Co., Inc.	JOB #:	18-026503-01
CUSTOMER:	Humm Kombucha, LLC	DATE:	10/16/18
LOCATION:	Roanoke, Virginia	DRAWN/CHECK:	JRB / DMD
PROJECT:	Humm Kombucha	PAGE:	51
BUILDER'S PO#:	18-020	VPC VERSION:	2018.1c

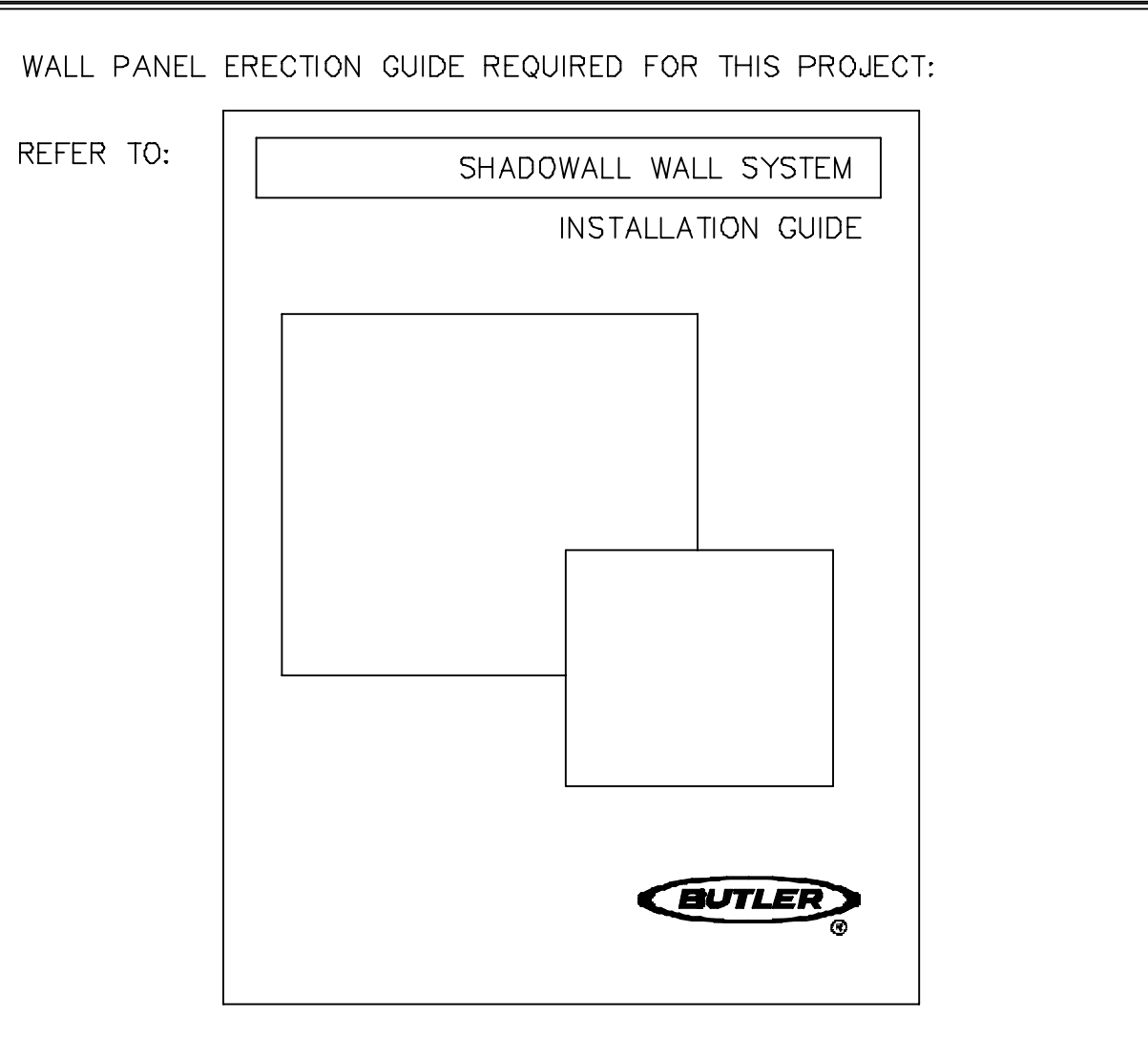




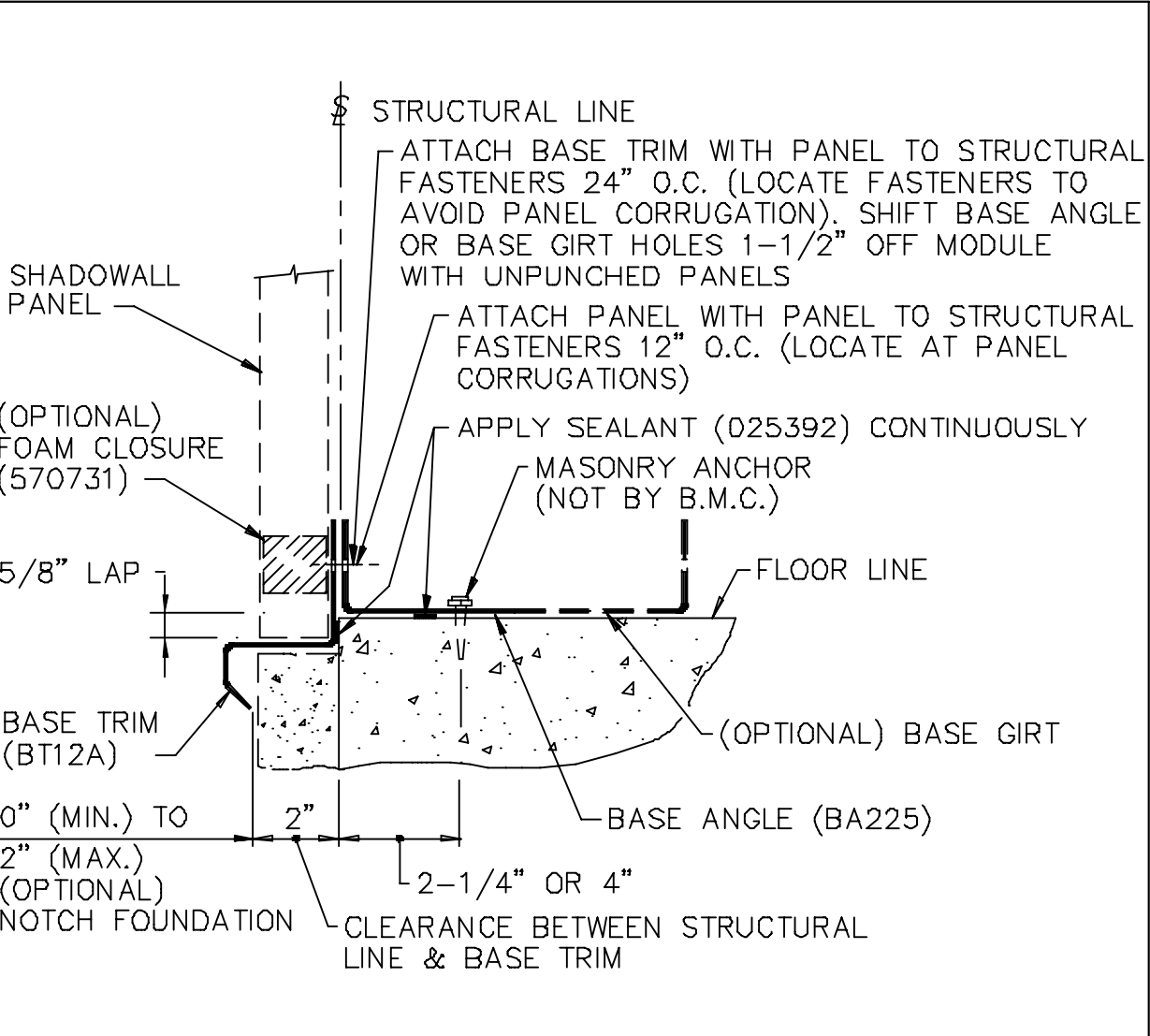
REV. DATE:02/26/16 | REV. NO. 01
RCB325 GABLE TRIM WITH BUTLERIB II ROOF OPEN EW



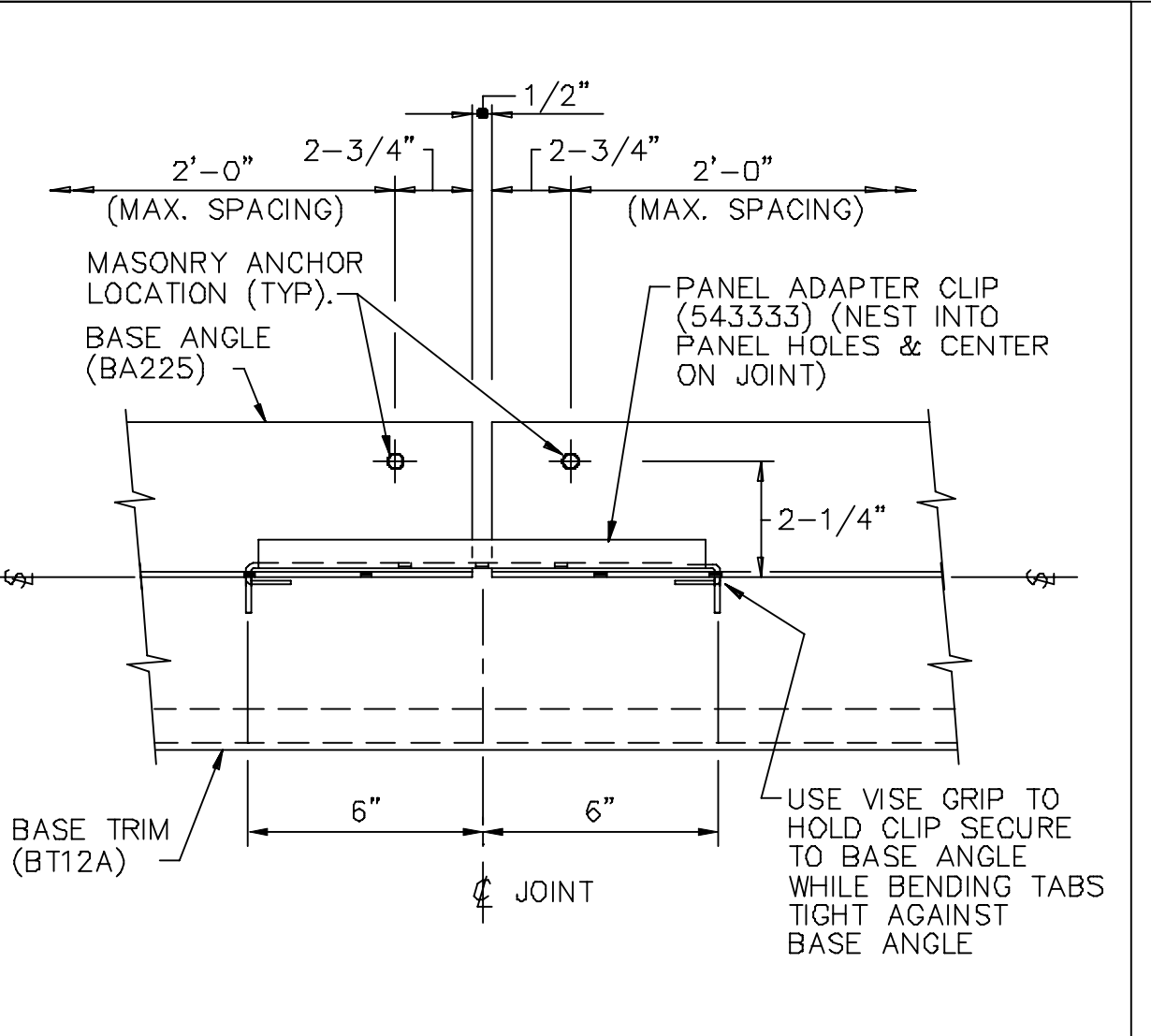
REV. DATE:01/30/14 | REV. NO. 00
ENB004 MR-24 ROOF SYSTEM



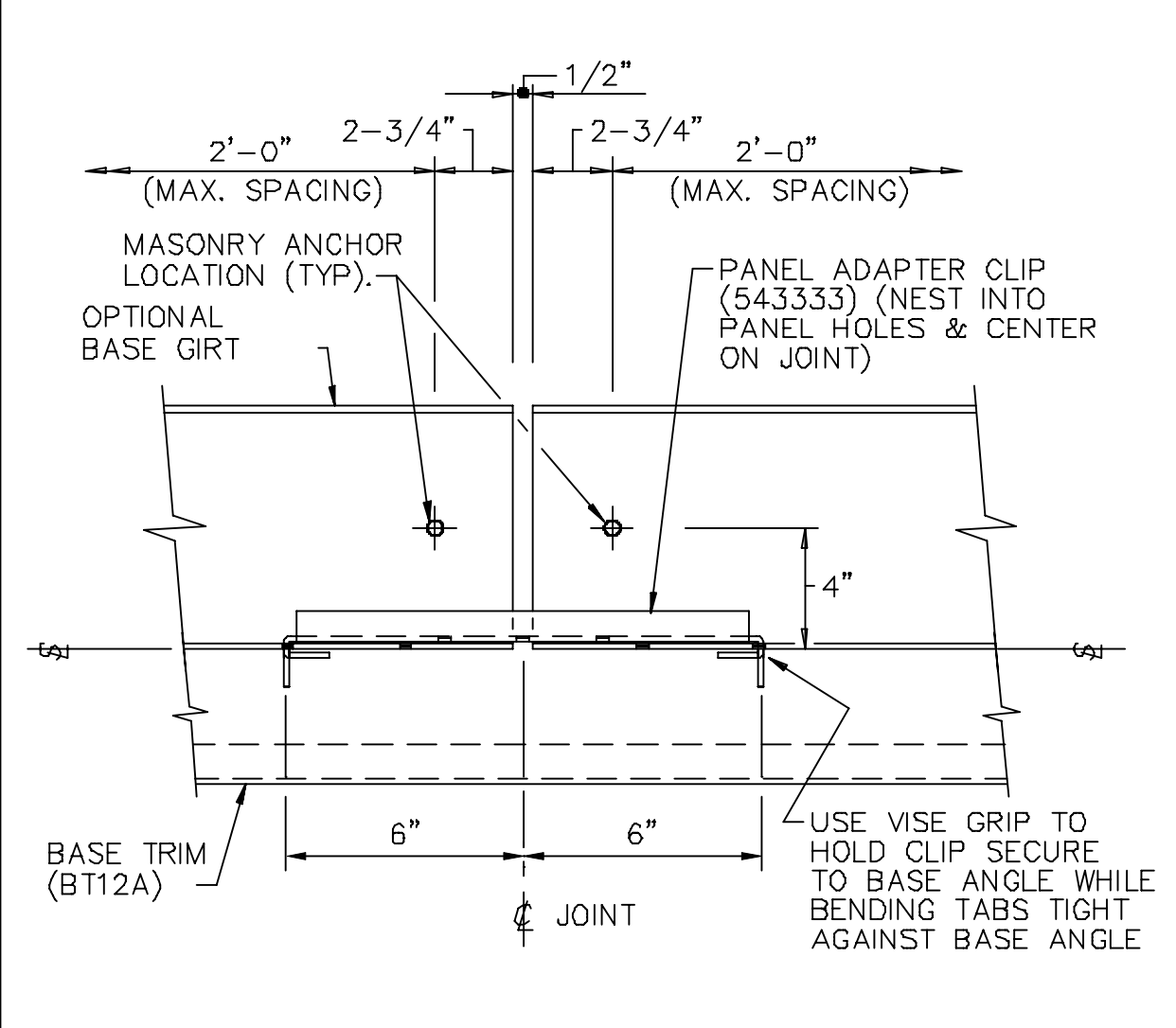
REV. DATE:01/30/14 | REV. NO. 00
ENB006 SHADOWALL WALL SYSTEM



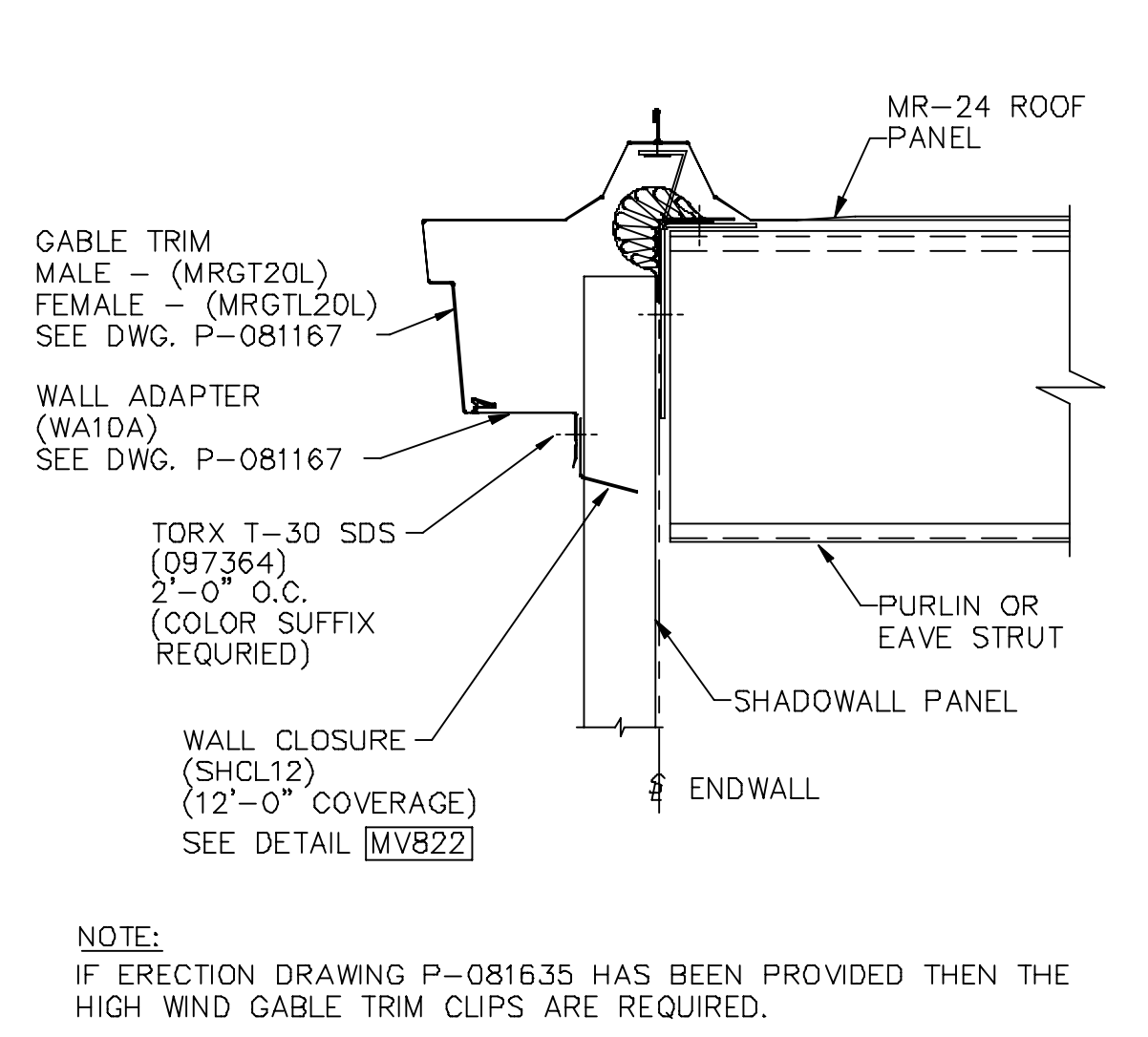
REV. DATE:01/14/10 | REV. NO. 00
GV386 SHADOWALL - BASE TRIM INSTALLATION LAPPED & NOTCHED FOUNDATION AT FLOOR LINE



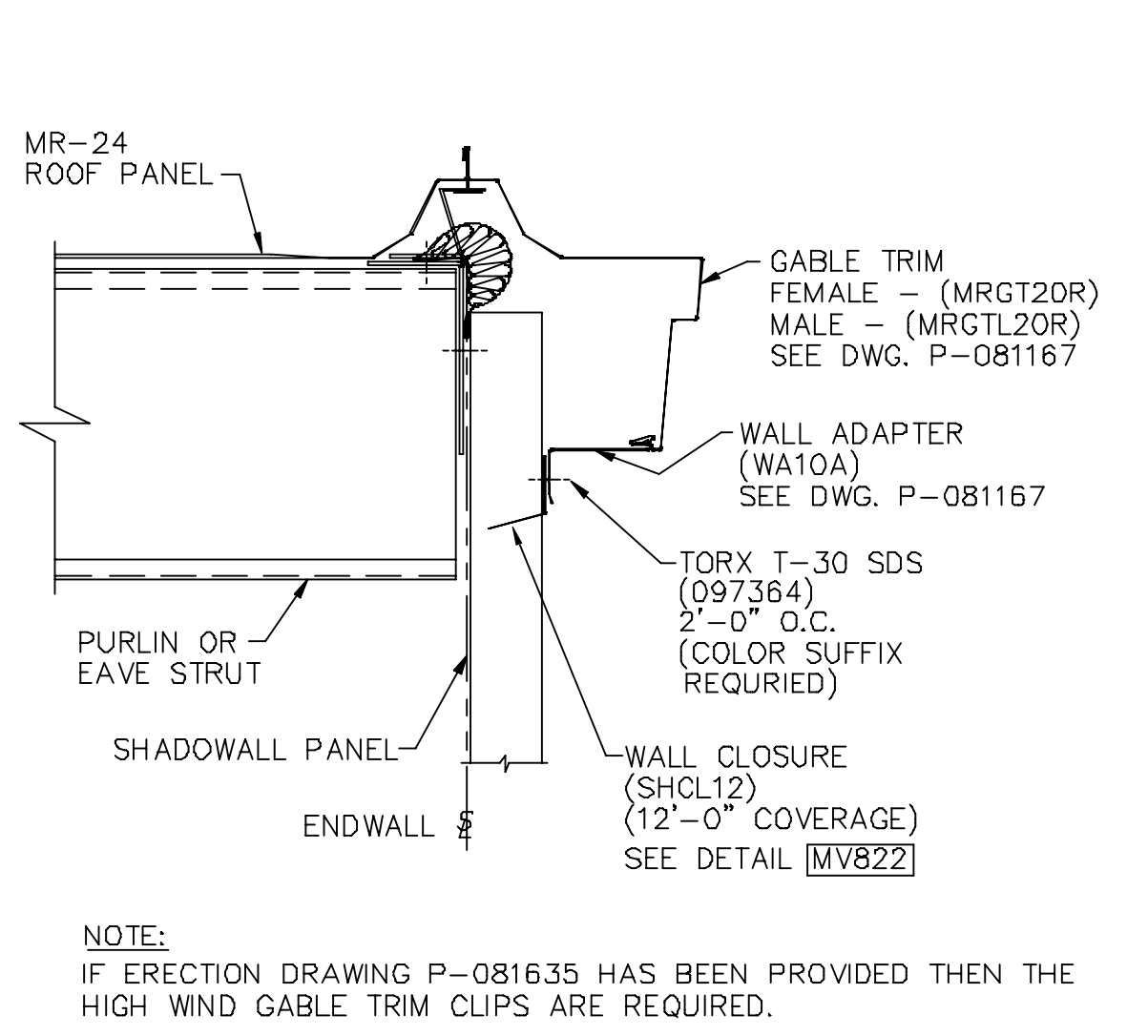
REV. DATE:01/14/10 | REV. NO. 00
GV442 BASE ANGLE JOINT DETAIL - AT FLOOR LINE



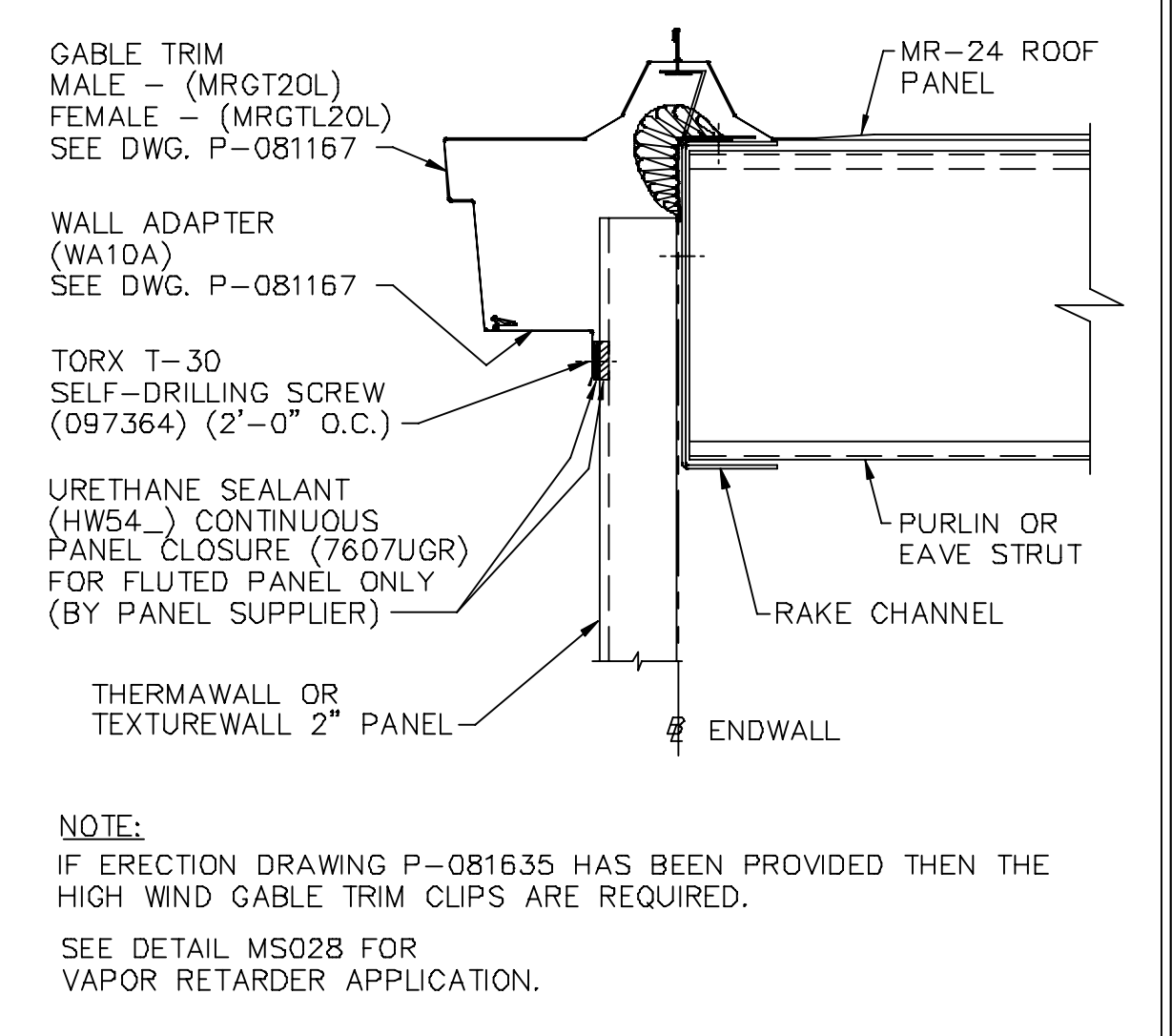
REV. DATE:01/14/10 | REV. NO. 00
GV443 OPTIONAL BASE CHANNEL JOINT DETAIL - AT FLOOR LINE



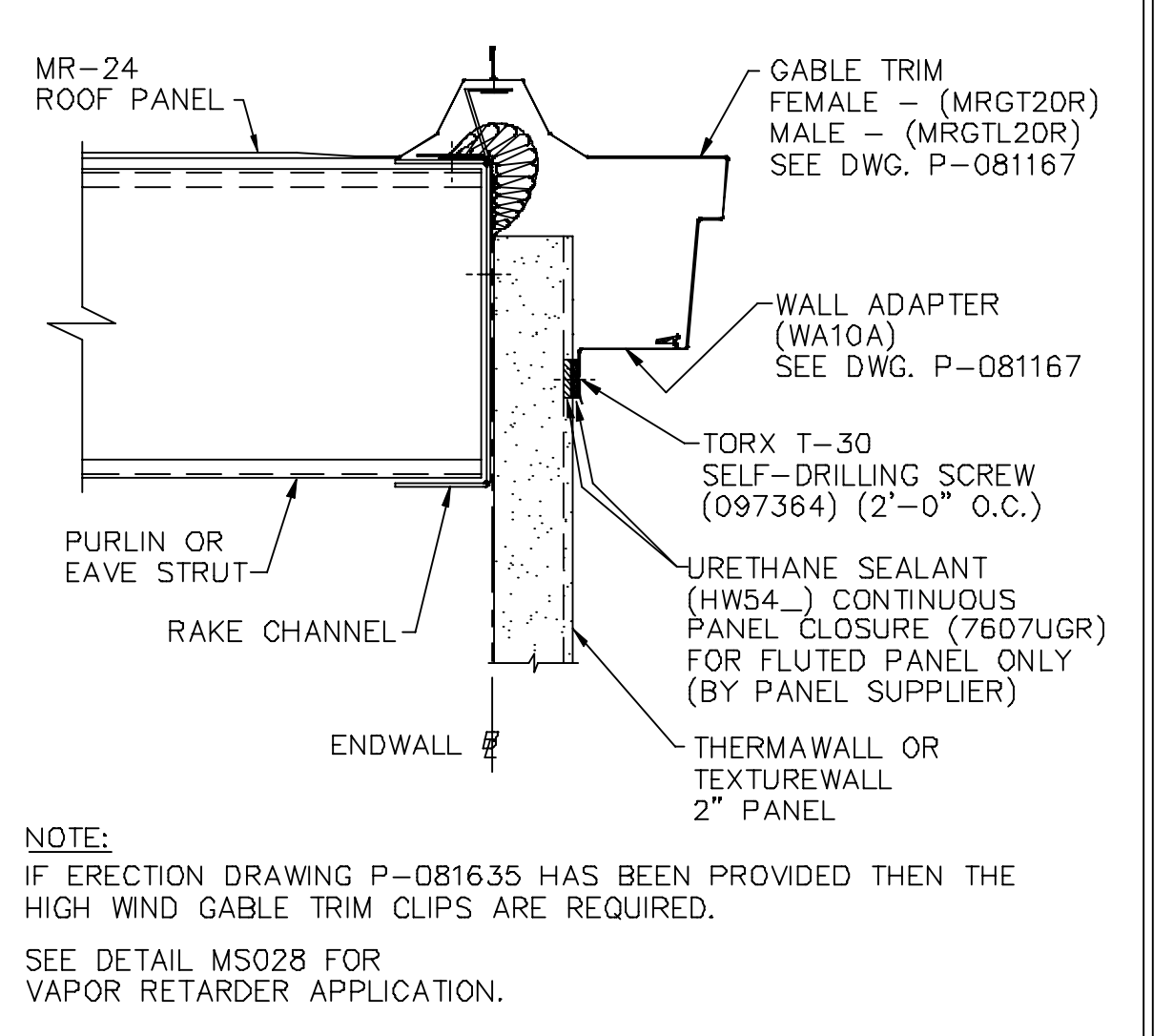
REV. DATE:03/09/17 | REV. NO. 03
KV403 GABLE TRIM LEFT WITH MR-24 ROOF SHADOWALL WALL PANEL WITH CLOSURE



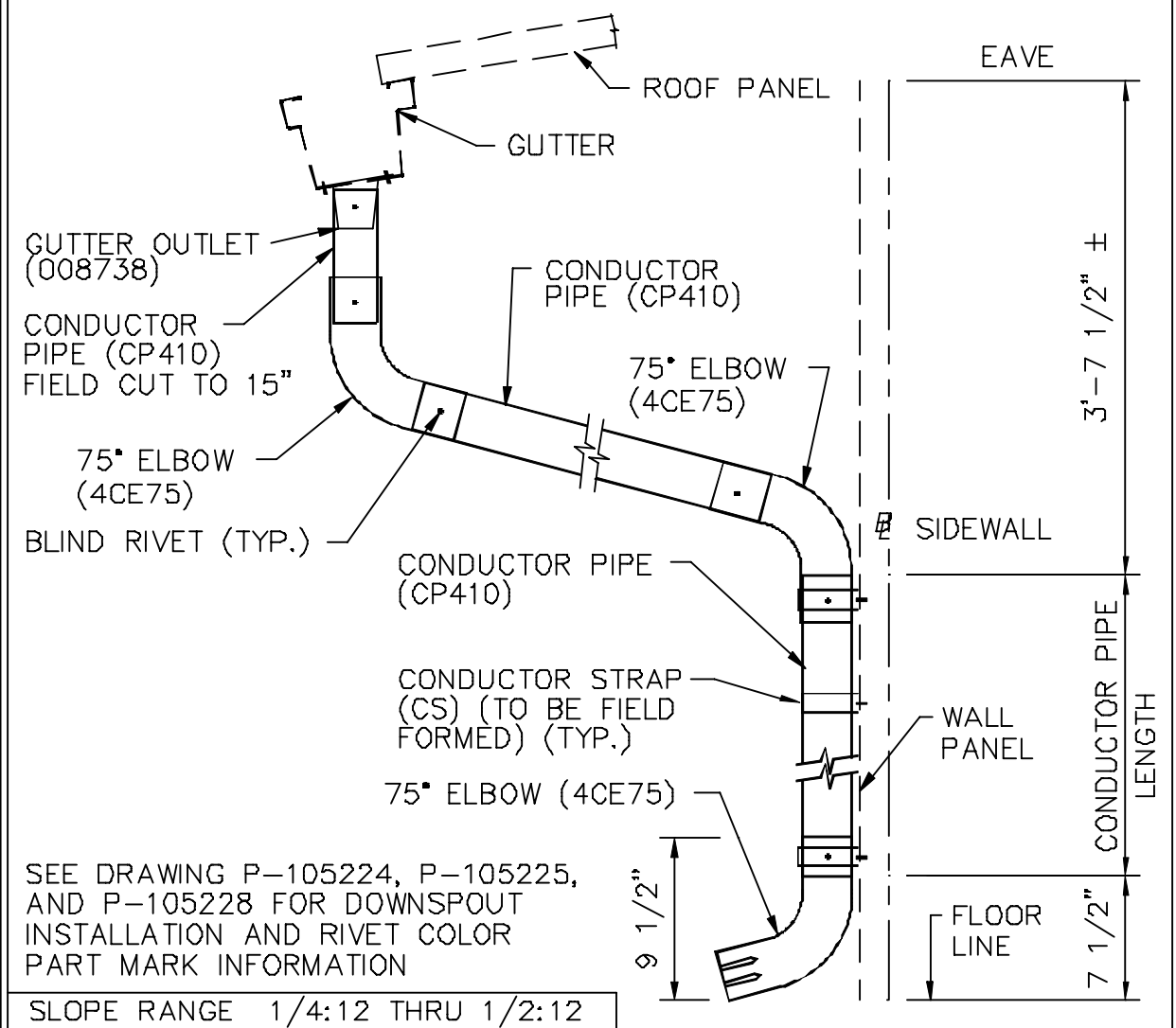
REV. DATE:03/09/17 | REV. NO. 03
KV404 GABLE TRIM RIGHT WITH MR-24 ROOF SHADOWALL WALL PANEL WITH CLOSURE



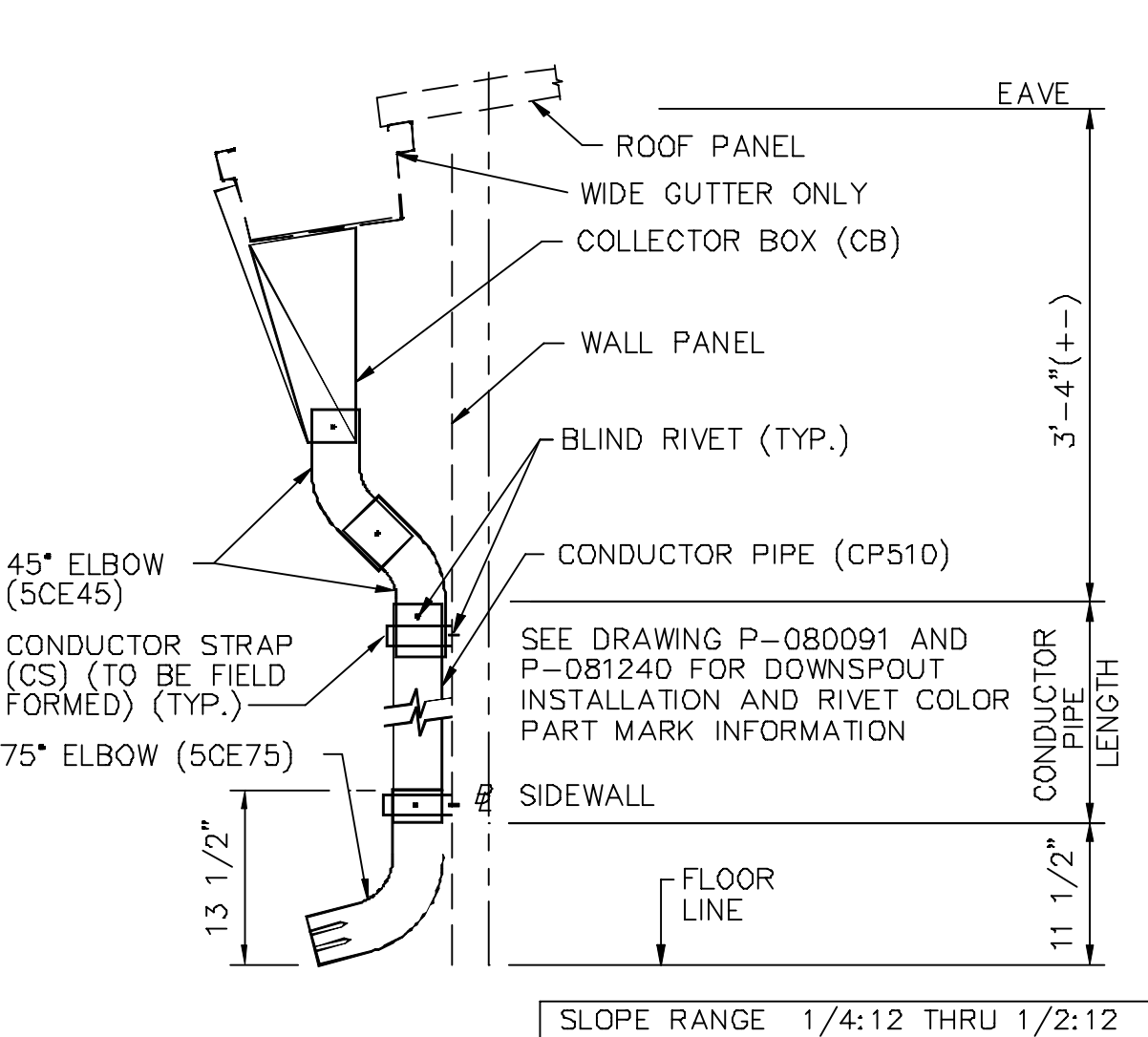
REV. DATE:10/24/17 | REV. NO. 05
KV413 GABLE TRIM LEFT WITH MR-24 ROOF 2" THERMAWALL/TEXTUREWALL PANEL W/PNL CLSR



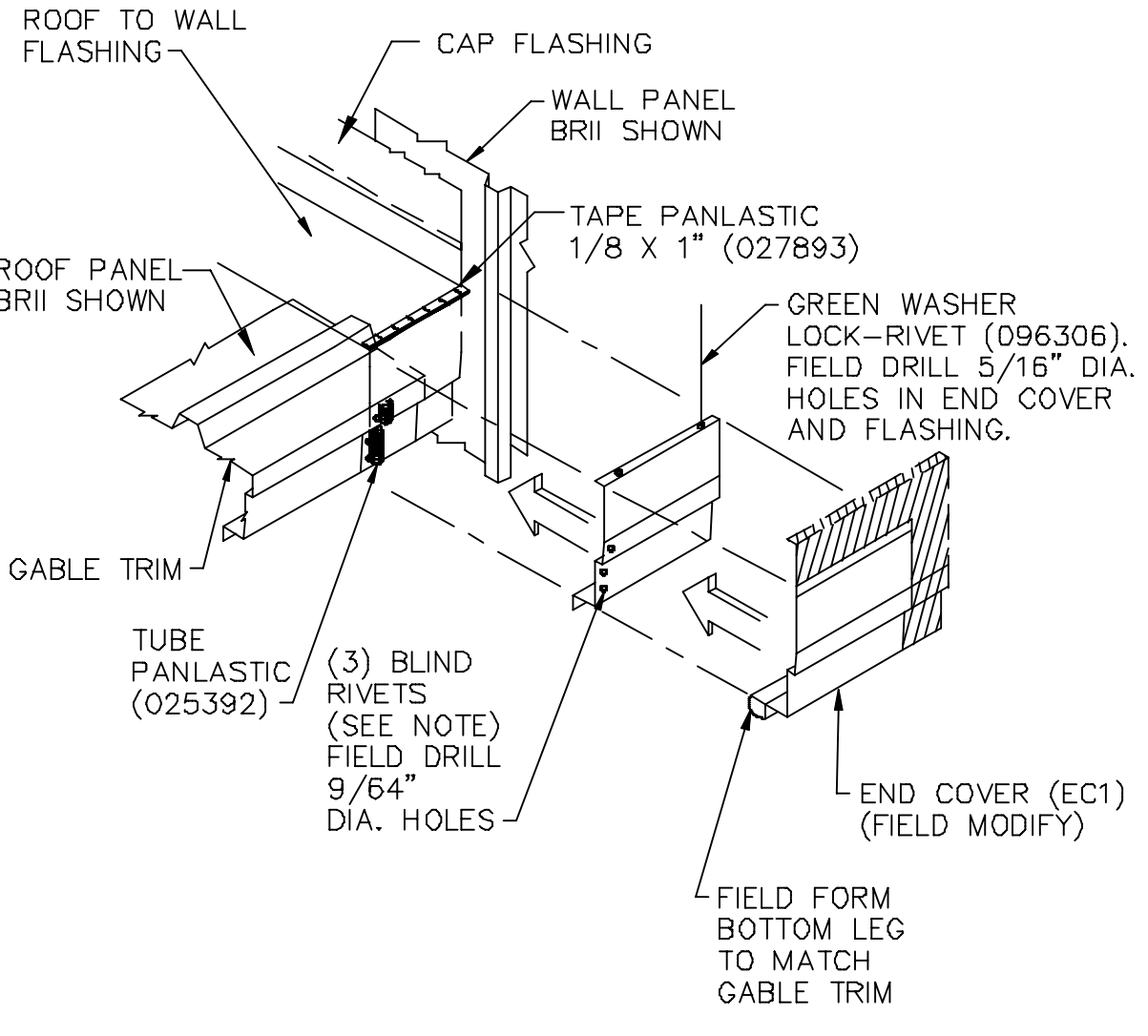
REV. DATE:10/24/17 | REV. NO. 05
KV414 GABLE TRIM RIGHT WITH MR-24 ROOF 2" THERMAWALL/TEXTUREWALL PANEL W/PNL CLSR



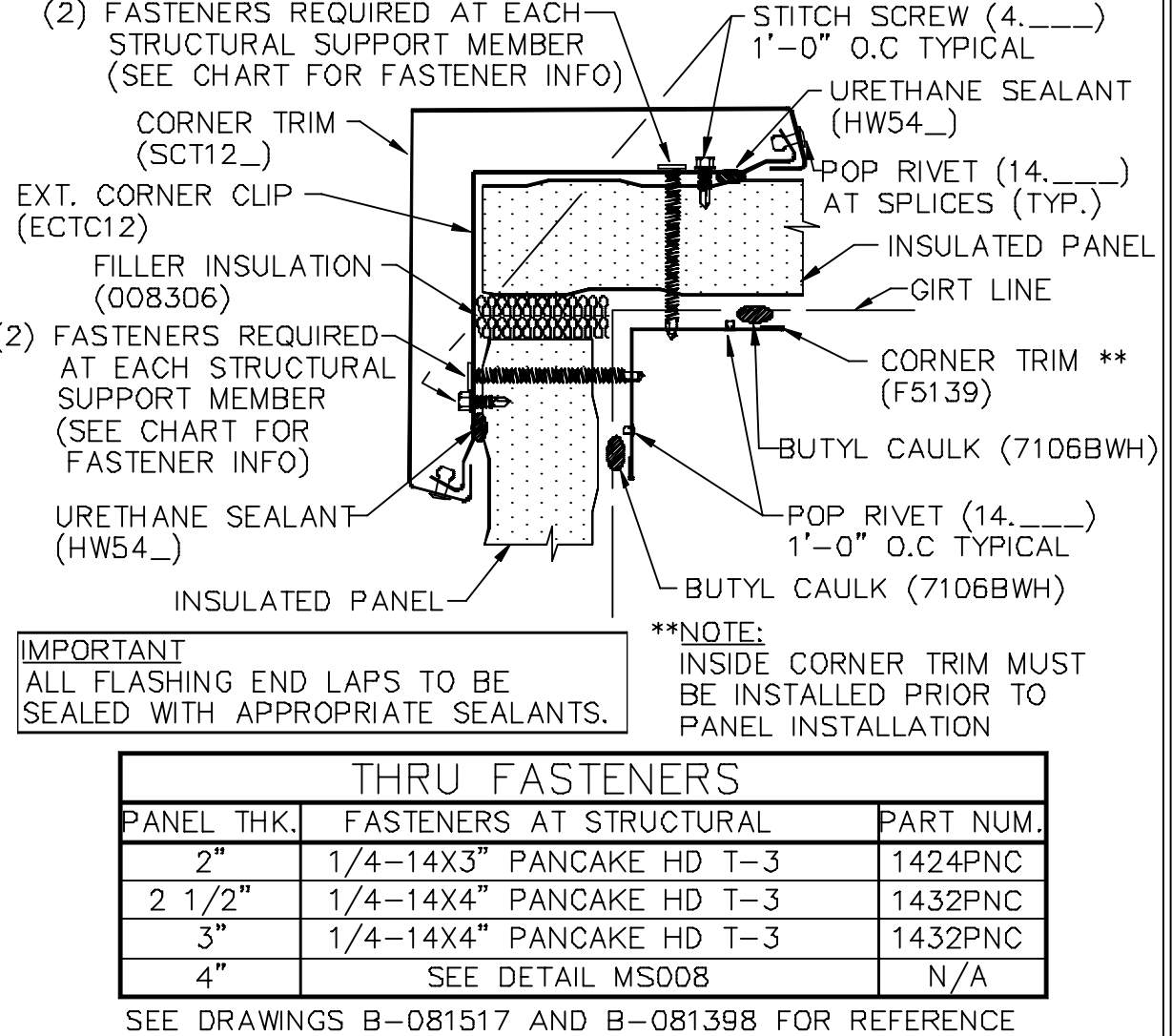
REV. DATE:02/03/15 | REV. NO. 03
KV849 4 INCH DOWNSPOUT AT 5'-0" CANOPY



REV. DATE:01/24/14 | REV. NO. 02
KV861 5 INCH DOWNSPOUT AT WALL



REV. DATE:07/28/11 | REV. NO. 08
LV413 ROOF TO WALL CANOPY FLASHING MID-WALL END COVER AT GABLE TRIM



REV. DATE:11/20/14 | REV. NO. 02
MS007 INSULATED WALL PANEL CORNER TRIM DETAIL PANEL BUTT JOINT

FOR CONSTRUCTION

D		BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102		COVERING & TRIM SED'S	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.
				CUSTOMER:	Humm Kombucha, LLC
				LOCATION:	Roanoke, Virginia
				PROJECT:	Humm Kombucha
				BUILDER'S POW:	18-020
DRAWING SCALE: NTS				JOB #: 18-026503-01 DATE: 10/16/18 DRAWN/CHECK: JRB / DMD PAGE: 52	

Butler Manufacturing
VPC VERSION: 2018.1c
a division of BlueScope Buildings North America, Inc.

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

NOTE:
PIGTAIL CAULKING WILL BE REQUIRED AT BOTH BASE AND TOP OF PANEL WHERE A PANEL SPLICE AND ATTACHING STRUCTURAL OR FRAMED OPENING FASTEN TOGETHER.

FACTORY APPLIED SEALANT (THIS RECESS ONLY)

INSULATED PANEL INTERIOR FACE

BUTYL CAULK (7106BWH) APPLIED TO PANEL OR ATTACHING STRUCTURAL IN THE FIELD

INSULATED PANEL AT SPLICE CONNECTION

BUTYL CAULK WITH PIGTAIL (7106BWH) CONNECT FROM FACTORY APPLIED SEALANT TO FIELD BUTYL CAULK

REV. DATE:09/13/17 | REV. NO. 01

MS018

PIGTAIL CAULK AT PANEL SPLICE

ATTACHING STRUCTURAL

EXTERIOR SIDE OF PANEL

PANEL WIDTH

NOTE:
SEE APPROPRIATE DETAIL OR DRAWING FOR PANEL CLIP AND FASTENERS.

REV. DATE:02/16/11 | REV. NO. 00

MS025

FASTENING PATTERN 1 (FP1)
TYPICAL PANEL CONNECTION

DIMENSION FROM FEMALE EDGE IS (CRITICAL)

10 1/2"

ATTACHING STRUCTURAL

EXTERIOR SIDE OF PANEL

PANEL WIDTH

SIDE JOINT FASTENING WITH ONE LOCK-RIVET (097444) BACK FASTENING

REV. DATE:02/16/11 | REV. NO. 00

MS026

FASTENING PATTERN 2 (FP2)
AS REQUIRED ON ERECTION DRAWINGS

INSTALLATION NOTES:
1. SECURE VAPOR RETARDER CONTINUOUSLY TO EAVE STRUT USING DOUBLE FACE TAPE. CONTINUOUSLY SEAL ROOF VAPOR RETARDER TO EAVE VAPOR RETARDER. LOCATE TAPE ON TOP SIDE OF TOP FLANGE AND NEAR BOTTOM FLANGE OF THE EAVE STRUT.
2. EXTEND ENOUGH VAPOR RETARDER MATERIAL AT EACH ENDWALL TO WRAP AROUND AND SEAL TO RAKE CHANNEL.

STANDING SEAM ROOF PANEL

DOUBLE FACE TAPE (650534) LOCATE AS NEEDED

EAVE STRUT

VAPOR RETARDER (651121 - 12") OR (651122 - 18") WRAP AROUND EAVE STRUT AS REQUIRED

INSULATED WALL PANEL

SIDEWALL

REV. DATE:10/24/17 | REV. NO. 01

MS027

VAPOR RETARDER AT EAVE STANDING SEAM RAKE SEAL ROOF TO WALL FOR INSULATED WALL PANEL

ENDWALL TRIM

STANDING SEAM ROOF PANEL

DOUBLE FACE TAPE (650534) LOCATE AS NEEDED

PURLIN OR EAVE STRUT

VAPOR RETARDER (651121 - 12") OR (651122 - 18") WRAP AROUND RAKE CHANNEL AT ALL SPLICES

INSULATED WALL PANEL

ENDWALL

REV. DATE:10/24/17 | REV. NO. 01

MS028

VAPOR RETARDER AT GABLE STAND SEAM RAKE SEAL ROOF TO WALL FOR INSULATED WALL PANEL

ITEM NUMBER: USED TO MATCH ITEM FROM TRUCK MANIFEST TO BUNDLE ITEM

ITEM DESCRIPTION: IDENTIFIES THE BUILDING/SHAPE, WALL AND SET ID AND APPEARS AS FOLLOWS: "SHAPENAME" W _ ID ____
SHAPE NAME IS LIMITED TO 12 CHARACTERS
WALL IS IDENTIFIED AS W _
SET ID IS IDENTIFIED AS ID ____

LENGTH: USE TO LOCATE THE PANEL WITHIN THE SET ID

JOB NUMBER

LINE-PACKAGE NUMBER

57632

L2-112

CUSTOMER NAME:

THICKNESS: 2 0"

COLOR:

PANEL TYPE:

PROFILE:

CAULKING REQ: Interior detail Exterior detail Phase Numbers 4 of 4 DATE OF PRODUCTION

ITEM	ITEM DESC.	LENGTH	QTY / EXTRA
128	DOCK-1	28'-9 1/2"	1
129	DOCK-2	24'-7 1/2"	1
130	DOCK-3	20'-5 1/2"	1
131	DOCK-4	16'-3 1/2"	1
132	DOCK-5	12'-1 1/2"	1

OPERATOR:

BUNDLE

SHIFT

L2-sh1

TOTAL PACKAGED:

5

SEE DRAWINGS P-080082, P-080088 AND P-081241 FOR WIDE GUTTER INSTALLATION

INSULATION (008306) AND INSULATION RETAINER (IR1) (2'-0" O.C.) SEE DWG P-105017

GUTTER SUPPORT (630000)

PANEL STRAP (560004)

SCRUBBOLT (097104)

BACK-UP STRAP

MR-24 ROOF

EAVE CLOSURE (CLE12D) 12'-0" COVERAGE USE 1" LAP AT SPLICE

EAVE STRUT

THERMAWALL OR TEXTUREWALL 2" PANEL

URETHANE SEALANT (HW54_) CONTINUOUS PANEL CLOSURE (7607UGR) FOR FLUTED PANEL ONLY (BY PANEL SUPPLIER)

SEE DETAIL MS027 FOR VAPOR RETARDER APPLICATION.

SLOPE RANGE 1/4:12 - 1:12

REV. DATE:10/24/17 | REV. NO. 05

MV265

W.GUTTER W/O WTHR. SEAL WITH MR-24 ROOF 2" THERMAWALL/TEXTUREWALL PANEL WITH WALL CLSR

SEE DRAWINGS P-080082, P-080088 AND P-081241 FOR WIDE GUTTER INSTALLATION

GUTTER SUPPORT (630000)

PANEL STRAP (560004)

SCRUBBOLT (097104)

BACK-UP STRAP

SELF-DRILLING SCREW (097295)

GUTTER SUPPORT TAB (GST)

MR-24 ROOF

EAVE CLOSURE (CLE12C) 12'-0" COVERAGE USE 1" LAP AT SPLICE

EAVE STRUT

SHADOWWALL PANEL

WIDE GUTTER TORX T-30 1/4" X 3/4" SELF-DRILLING SCREW (097364) (2'-0" O.C.) (COLOR SUFFIX REQUIRED)

WALL CLOSURE (SHCL12) (12'-0" COVERAGE) SEE DETAIL MV822

NOTE: WHEN USING 6" WALL INSULATION INSTALL 1/4" X 3/4" T-30 SDS (097364) AT 1'-0" O.C. (COLOR SUFFIX REQUIRED)

SLOPE RANGE 1/4:12 - 1:12

REV. DATE:01/28/17 | REV. NO. 02

MV272

W.GUTTER W/O WTHR. SEAL WITH MR-24 ROOF SHADOWWALL WALL PANEL WITH WALL CLSR

PANEL LENGTH

SCRUBBOLT 1" 3/8"

1 1/2"

SELF-DRILLING SCREW

ROOF LINE

PANEL TO STRUCTURAL FASTENER (ROOF SLOPES GREATER THAN 1/2:12 WITH BR11 AND ALL SLOPES WITH MR-24 AND CMR-24 ROOFS)

EAVE STRUT BRACE (ESBS_) AT CENTERLINE OF EAVE STRUCTURAL SPLICE

EAVE STRUT

SHADOWWALL PANEL

REV. DATE:07/20/16 | REV. NO. 01

NV110

SIDEWALL PANEL TOP CONNECTION AT FRAME EAVE STRUT SPLICE

SHADOWWALL PANEL

STRETCH INSULATION TIGHT & ATTACH TO BASE TRIM WITH DOUBLE FACED TAPE (NOT BY B.M.C.) (OPTIONAL) FOAM OR RUBBER CLOSURE

BASE TRIM (SHOWN)

STRUCTURAL LINE

BASE ANGLE (SHOWN)

FLOOR LINE OR TOP OF MASONRY WALL

REV. DATE:06/05/13 | REV. NO. 01

NV115

0"-4" INSULATION AT BASE - BASE TRIM SHADOWWALL WALL PANEL

FILL VOID WITH INSULATION (EXCEPT WITH MITERED WALL PANEL)

EAVE TRIM SHOWN

SHADOWWALL PANEL

EAVE STRUT SHOWN ENDWALL DETAIL SIMILAR

HOLD INSULATION TEMPORARILY WITH DOUBLE FACED TAPE (NOT BY B.M.C.)

REV. DATE:06/05/13 | REV. NO. 02

NV116

0"-4" INSULATION AT TOP OF WALL-WIDESPAN SHADOWWALL WALL PANEL

SUPPORT CHANNEL

ATTACH INSULATION TO SUPPORT CHANNEL WITH DOUBLE FACED TAPE (NOT BY B.M.C.)

SUPPORT CHANNEL

CORNER TRIM

FILL VOID WITH SCRAP INSULATION PRIOR TO INSTALLING CORNER TRIM

REV. DATE:06/05/13 | REV. NO. 02

NV118

0"-4" INSULATION AT OUTSIDE CORNER SHADOWWALL WALL PANEL

ATTACH INSULATION TO SUPPORT CHANNEL WITH DOUBLE FACED TAPE (NOT BY B.M.C.)

SUPPORT CHANNEL

CORNER TRIM

ATTACH INSULATION TO SUPPORT CHANNEL WITH DOUBLE FACED TAPE (NOT BY B.M.C.)

REV. DATE:06/05/13 | REV. NO. 02

NV119

0"-4" INSULATION AT INSIDE CORNER SHADOWWALL WALL PANEL

WALL PANEL

PANEL TO STRUCTURAL FASTENER

BLANKET INSULATION

GIRT

REV. DATE:06/05/13 | REV. NO. 02

NV120

0"-4" INSULATION AT WALL STRUCTURAL SHADOWWALL WALL PANEL

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

REV: DATE: BY: DESCRIPTION:

DRAWING SCALE: NTS

COVERING & TRIM SED'S

BUILDER: Avis Construction Co., Inc.
CUSTOMER: Humm Kombucha, LLC
LOCATION: Roanoke, Virginia
PROJECT: Humm Kombucha
BUILDER'S POW: 18-020

JOB #:
18-026503-01
DATE:
10/16/18
DRAWN/CHECK:
JRB / DMD
PAGE:
53

BUTLER

Butler Manufacturing
VPC VERSION: 2018.1c

VPC FILENAME: 18-026503-04

9/20/2018 SEDSheet 10:56:38

a division of BlueScope Buildings North America, Inc. 105 of 140

REV. DATE:06/05/13 | REV. NO.02
NV125

REV. DATE:06/06/13 | REV. NO.02
NV128

REV. DATE:10/18/17 | REV. NO.03
NV130

REV. DATE:10/18/17 | REV. NO.03
NV131

REV. DATE:10/18/17 | REV. NO.03
NV133

REV. DATE:10/18/17 | REV. NO.03
NV134

REV. DATE:10/18/17 | REV. NO.03
NV135

REV. DATE:10/18/17 | REV. NO.03
NV140

REV. DATE:10/18/17 | REV. NO.03
NV143

REV. DATE:10/17/17 | REV. NO.02
NV360

REV. DATE:07/08/13 | REV. NO.02
NV361

REV. DATE:07/14/10 | REV. NO.00
NV363

REV. DATE:07/13/11 | REV. NO.01
NV365

REV. DATE:07/14/10 | REV. NO.00
NV566

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

D

BUTLER MANUFACTURING
1540 GENESSEE ST. KANSAS CITY, MO 64102

REV: DATE: BY: DESCRIPTION:

DRAWING SCALE: NTS

COVERING & TRIM SED'S

BUILDER: Avis Construction Co., Inc.
CUSTOMER: Humm Kombucha, LLC
LOCATION: Roanoke, Virginia
PROJECT: Humm Kombucha
BUILDER'S POW: 18-020

Butler Manufacturing
VPC VERSION: 2018.1c

JOB #: 18-026503-01
DATE: 10/16/18
DRAWN/CHECK: JRB / DMD
PAGE: 54

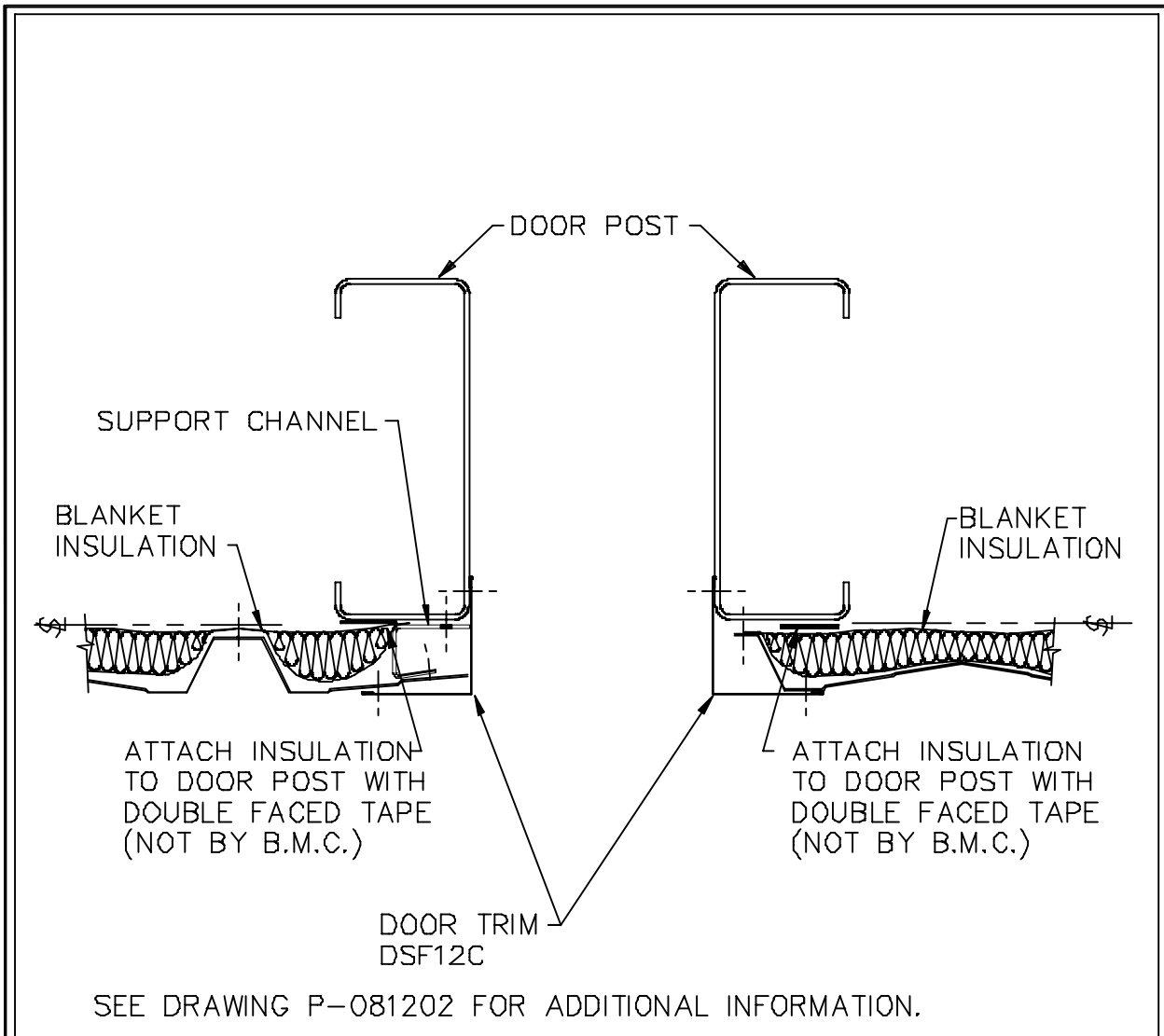
VPC FILENAME: 18-026503-04

9/20/2018 SEDSheet

10:56:39

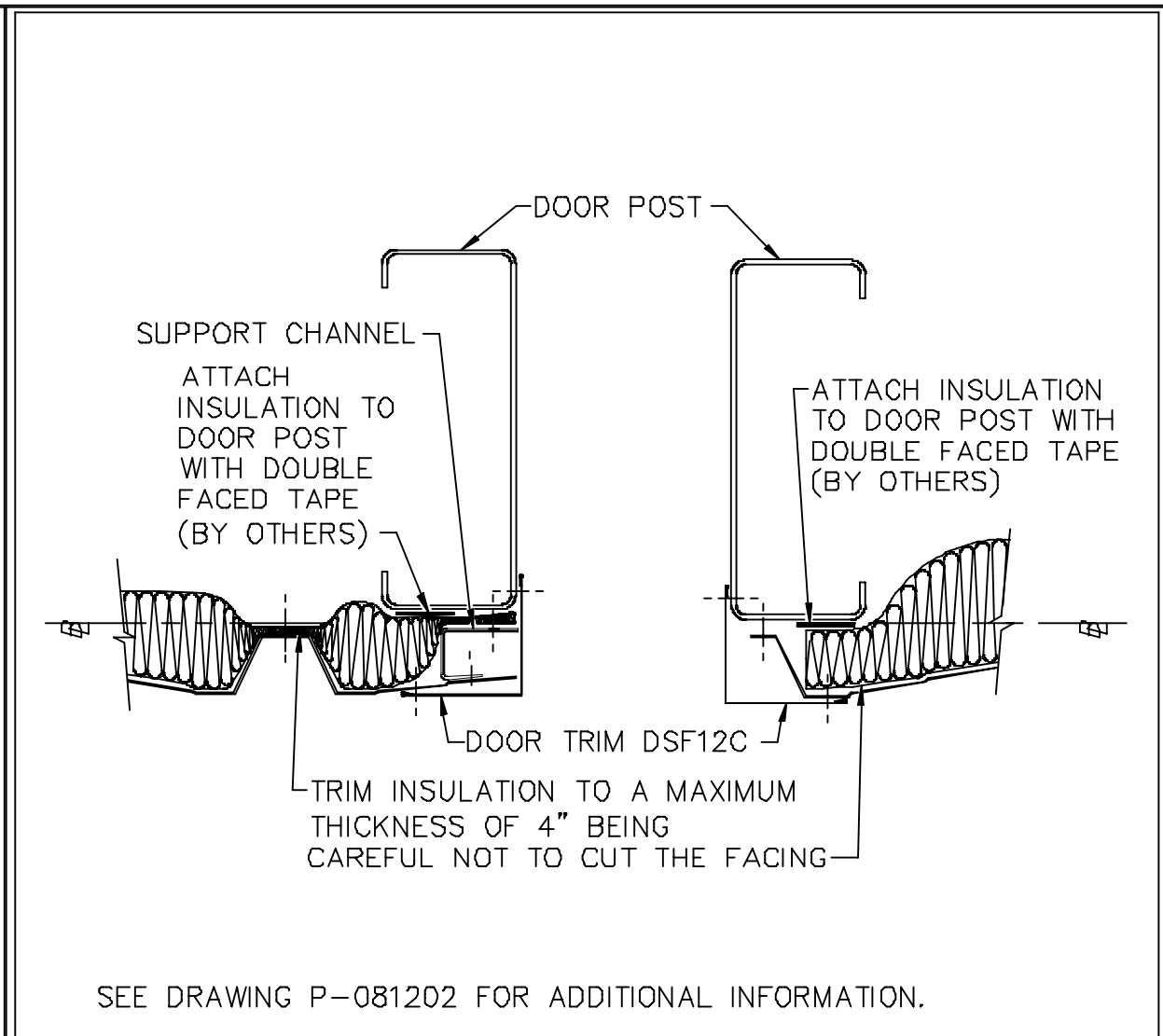
a division of BlueScope Buildings North America, Inc.

106 of 140



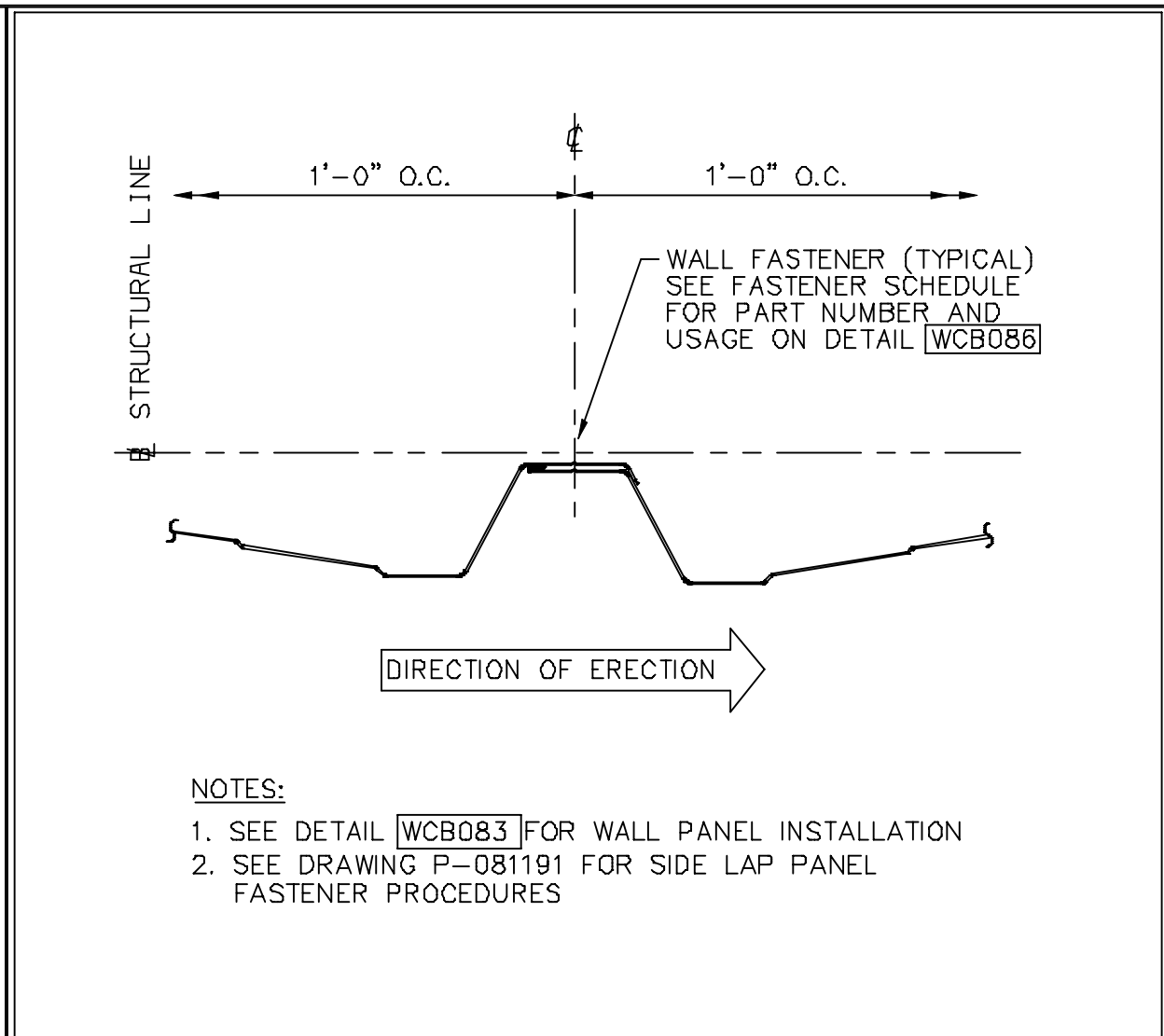
REV. DATE:10/11/16 | REV. NO.00
WCB024

0"–4" INSULATION AT OVERHEAD DOOR POST
ONE SIDE ON MOD – ONE SIDE OFF MOD – SHADOWALL



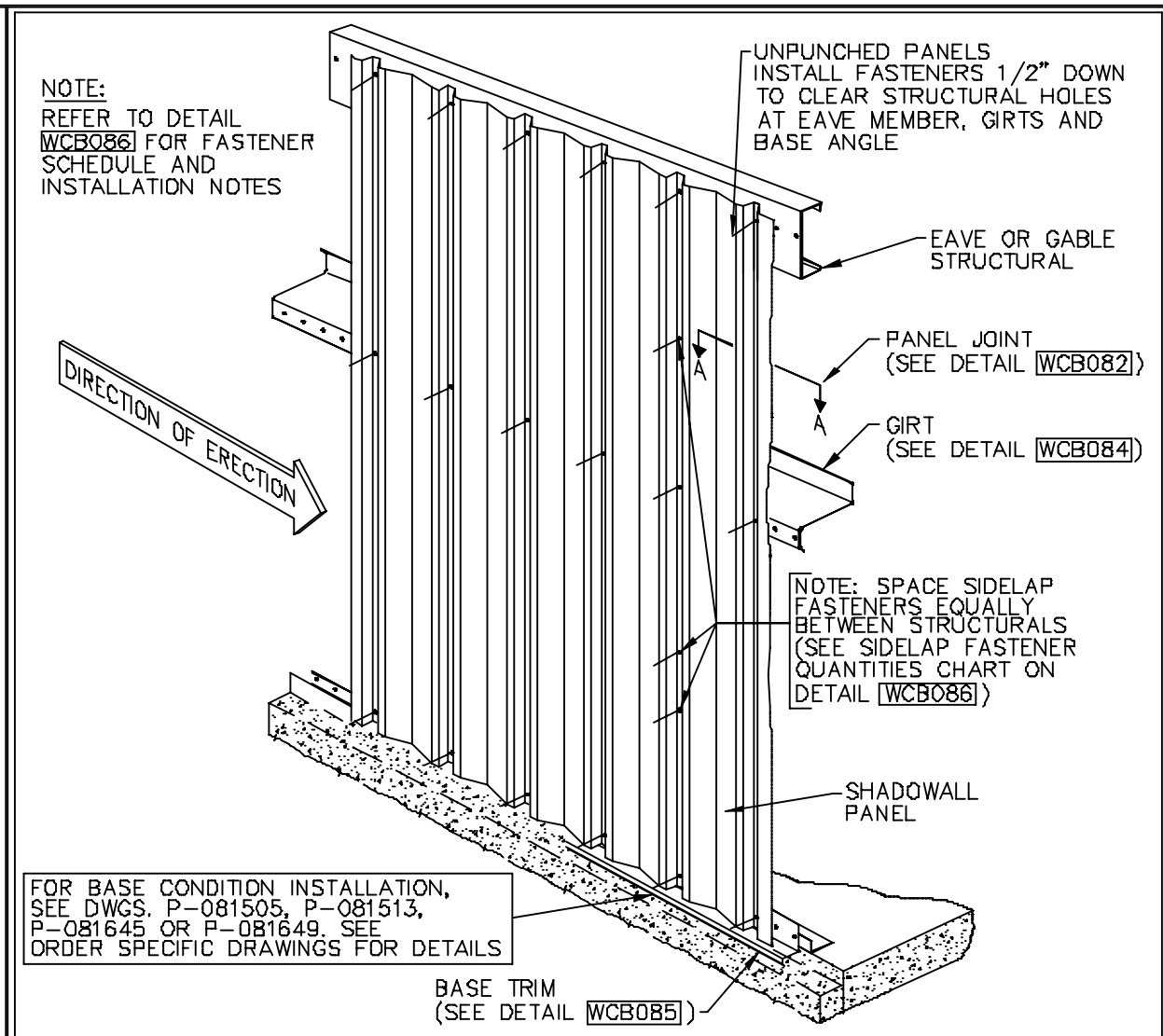
REV. DATE:10/16/17 | REV. NO.01
WCB025

4 1/2"–8" INSUL. AT OVERHEAD DOOR POST
ONE SIDE ON MOD – ONE SIDE OFF MOD – SHADOWALL



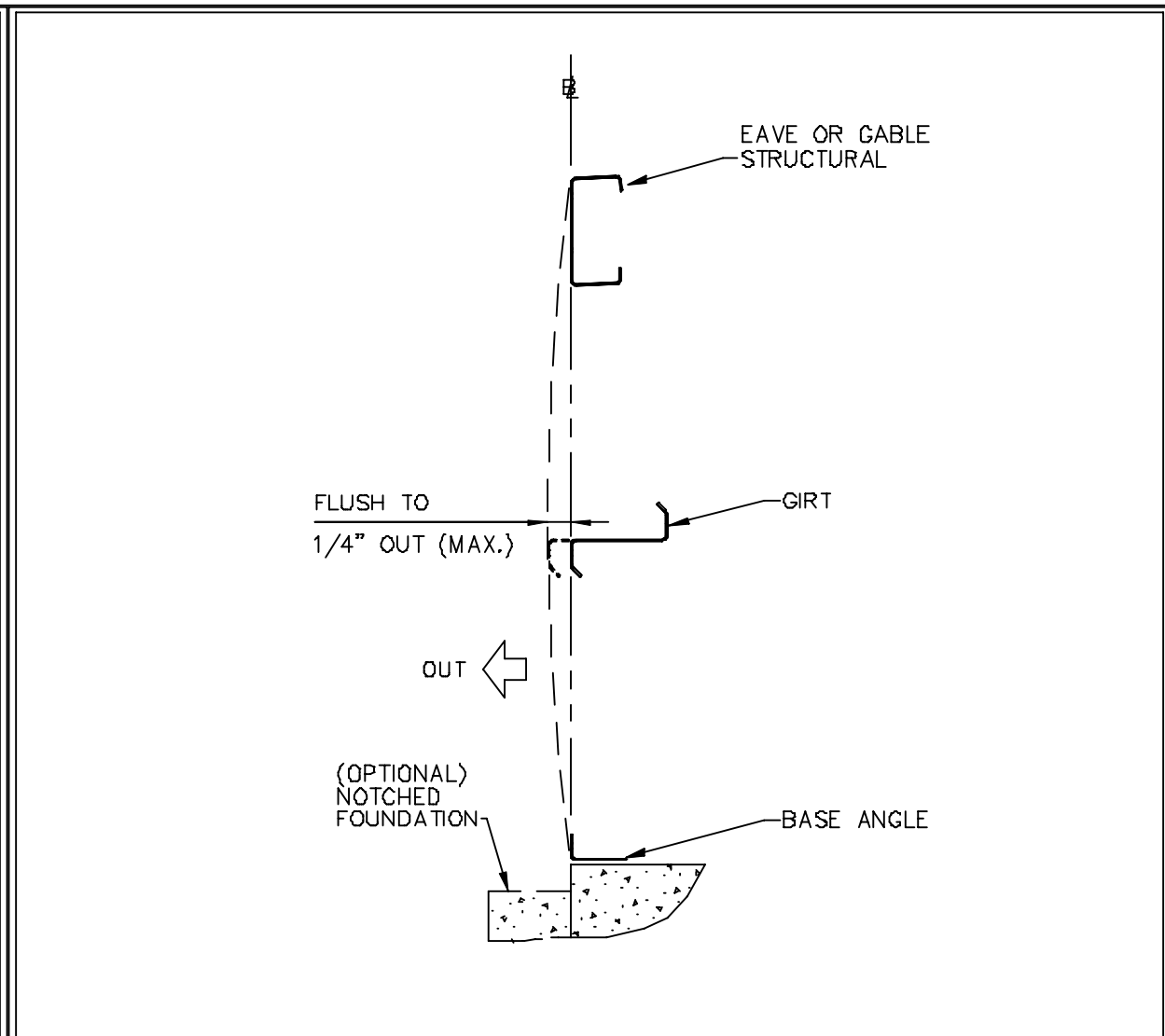
REV. DATE:06/22/17 | REV. NO.00
WCB082

SHADOWALL PANEL JOINT ASSEMBLY
SECTION A–A



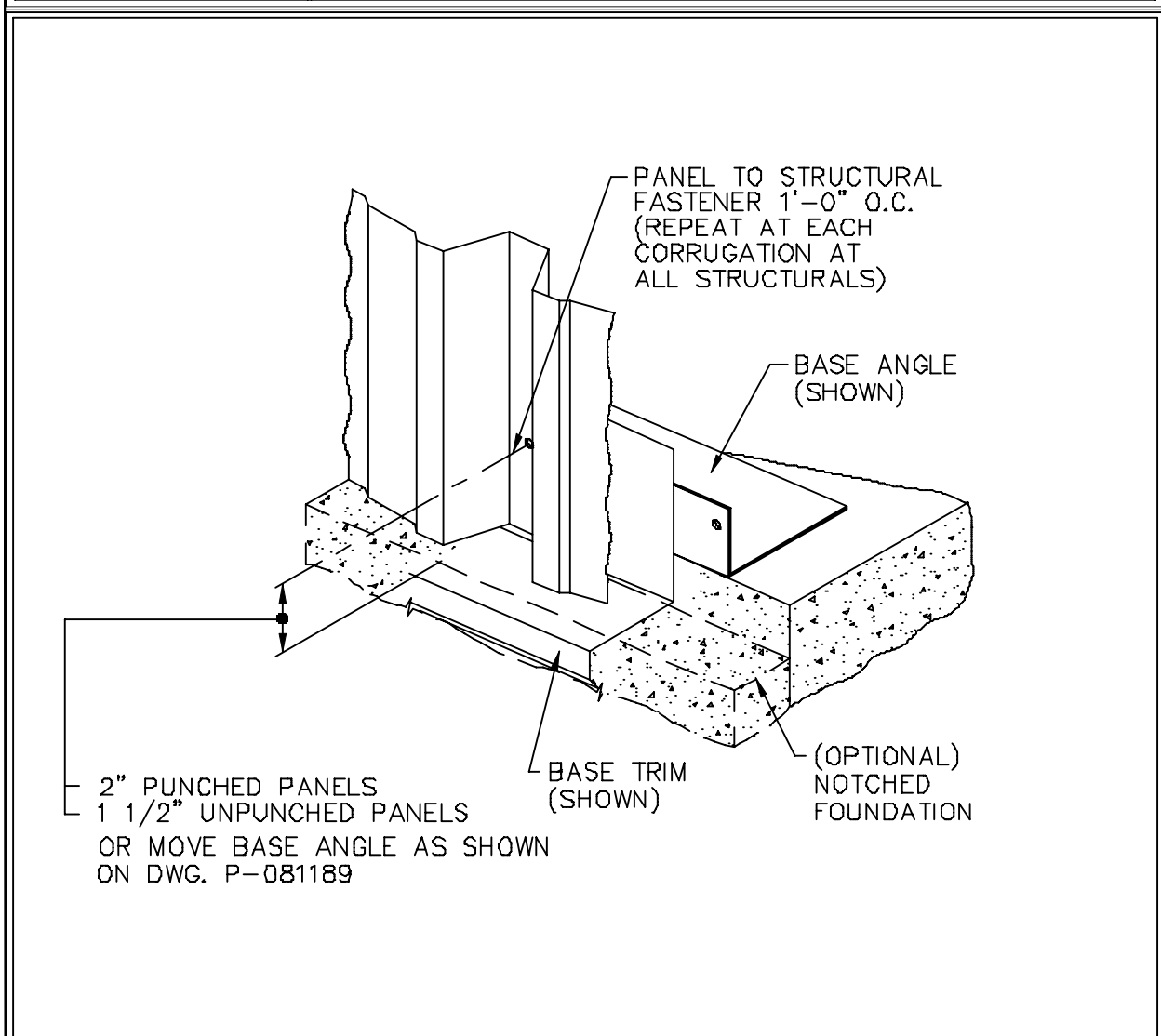
REV. DATE:09/11/17 | REV. NO.00
WCB083

SHADOWALL PANEL INSTALLATION
PANEL TO STRUCTURAL



REV. DATE:06/23/17 | REV. NO.00
WCB084

SHADOWALL GIRT ALIGNMENT



REV. DATE:06/23/17 | REV. NO.00
WCB085

SHADOWALL PANEL ATTACHMENT AT BASE
LAP FOUNDATION SHOWN

FASTENER SCHEDULE			
INSULATION THICKNESS (8 #/CUFT. OR LESS)	PANEL–TO–STRUCTURAL FASTENERS		PANEL–TO–PANEL FASTENERS
	PAINTED SCRUBOLTS (PUNCHED OR UNPUNCHED PANELS)	PAINTED SELF–DRILLING SCREWS (UNPUNCHED PANELS ONLY)	PAINTED SELF–DRILLING SCREWS (PUNCHED OR UNPUNCHED PANELS)
0" THRU 4"	SB – 7/8" T–45 TORX SCRUBOLT 097361	MPS – 1 1/4" T–30 TORX MEDIUM SELF–DRILLING SCREW 097365	SDS – 3/4" T–30 TORX SHORT SELF–DRILLING SCREW 097364
OVER 4" THRU 6"	LSB – 1 1/2" T–45 TORX LONG SCRUBOLT 097362	MPS – 1 1/4" T–30 TORX MEDIUM SELF–DRILLING SCREW 097365	SDS – 3/4" T–30 TORX SHORT SELF–DRILLING SCREW 097364
OVER 6" THRU 8"	LSB – 1 1/2" T–45 TORX LONG SCRUBOLT 097362	NOT RECOMMENDED	SDS – 3/4" T–30 TORX SHORT SELF–DRILLING SCREW 097364

SIDELAP FASTENER QUANTITIES		
DISTANCE BETWEEN WALL STRUCTURALS	FASTENER QUANTITY BETWEEN STRUCTURALS	
3'-0" OR LESS	0	
OVER 3'-0" THRU 6'-0"	1	
OVER 6'-0"	2	

FASTENER NOTES:

- HEADS OF FASTENERS ARE PAINTED TO MATCH WALL PANEL COLOR. THE FASTENER PART NUMBERS SHOWN IN THE FASTENER SCHEDULE WILL BE FOLLOWED BY A THREE DIGIT COLOR SUFFIX CODE.
- PANEL–TO–STRUCTURAL FASTENERS ARE INSTALLED ON 1'-0" CENTERS AT EACH PANEL CORRUGATION. PANEL–TO–PANEL FASTENERS ARE INSTALLED AT EACH PANEL JOINT AND SPACED EVENLY BETWEEN STRUCTURALS AS SHOWN IN SIDELAP FASTENER QUANTITIES CHART.

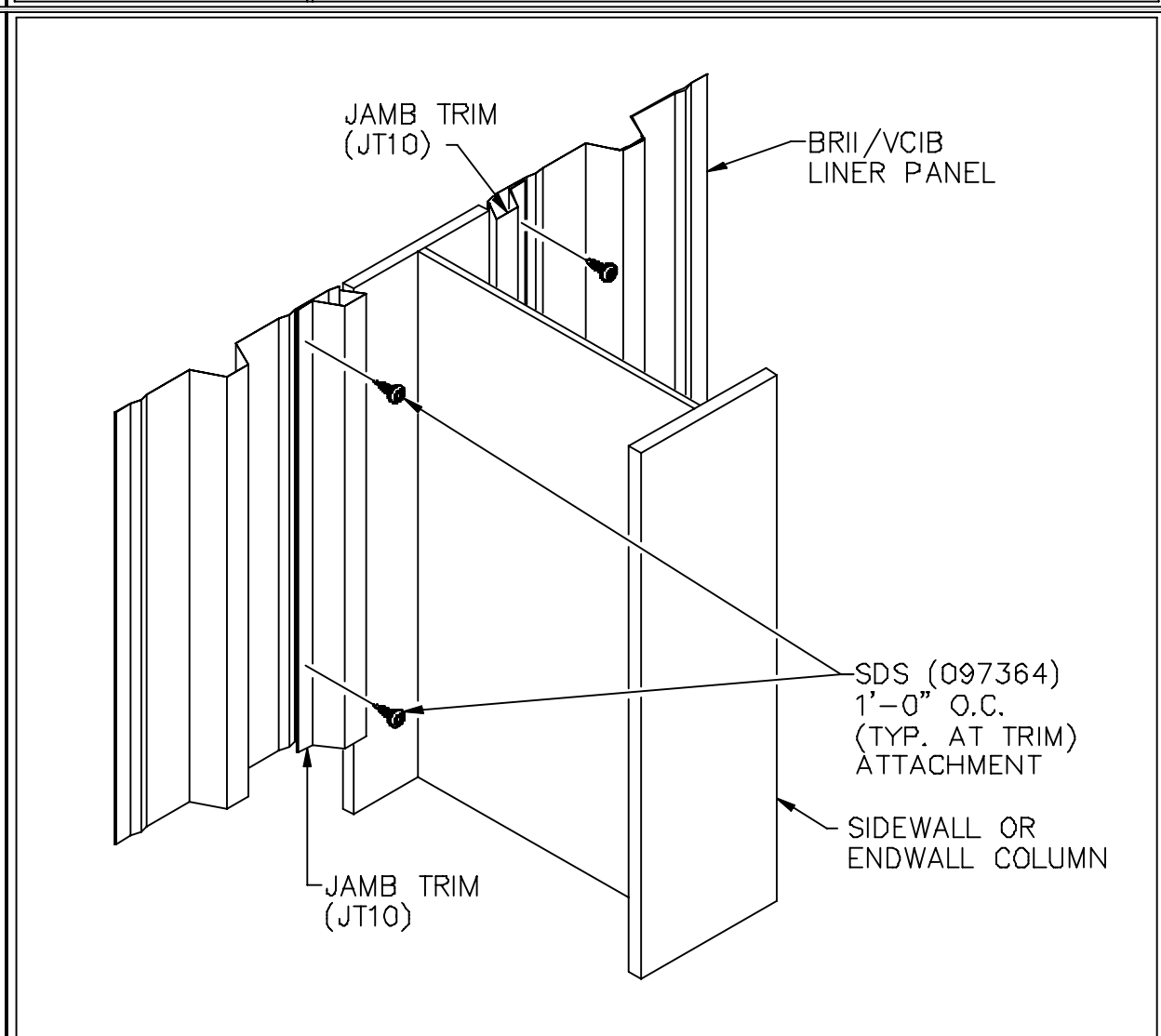
INSTALLATION NOTES:

- SHADOWALL PANELS ARE AVAILABLE WITH OR WITHOUT PUNCHING. REFER TO PANEL IDENTIFICATION FOR PART NUMBER AND PANEL USAGE.
- WHEN USING UNPUNCHED PANELS, CHECK MODULARITY ON EVERY PANEL TO ASSURE PROPER COVERAGE AND FIT UP OF TRIM AT ACCESSORIES.
- FOR CORRECT INSTALLATION OF SELF–DRILLING SCREWS FOR UNPUNCHED PANELS, A VARIABLE SPEED SCREW GUN WITH CAPABILITY OF 1600 TO 2500 RPM IS RECOMMENDED. (SEE DRAWING P–081189).
- REFERENCE SHADOWALL INDEX P-081180 FOR APPROPRIATE INSTALLATION DRAWINGS.
- REFER TO APPROPRIATE INSULATION INSTALLATION DETAILS ON ORDER SPECIFIC DRAWINGS TO PREVENT UNSIGHTLY BLOWING ON EXTERIOR SURFACE OF WALL PANELS.

IMPORTANT:
MAXIMUM SPACING BETWEEN SIDELAP FASTENERS IS 3'-0".

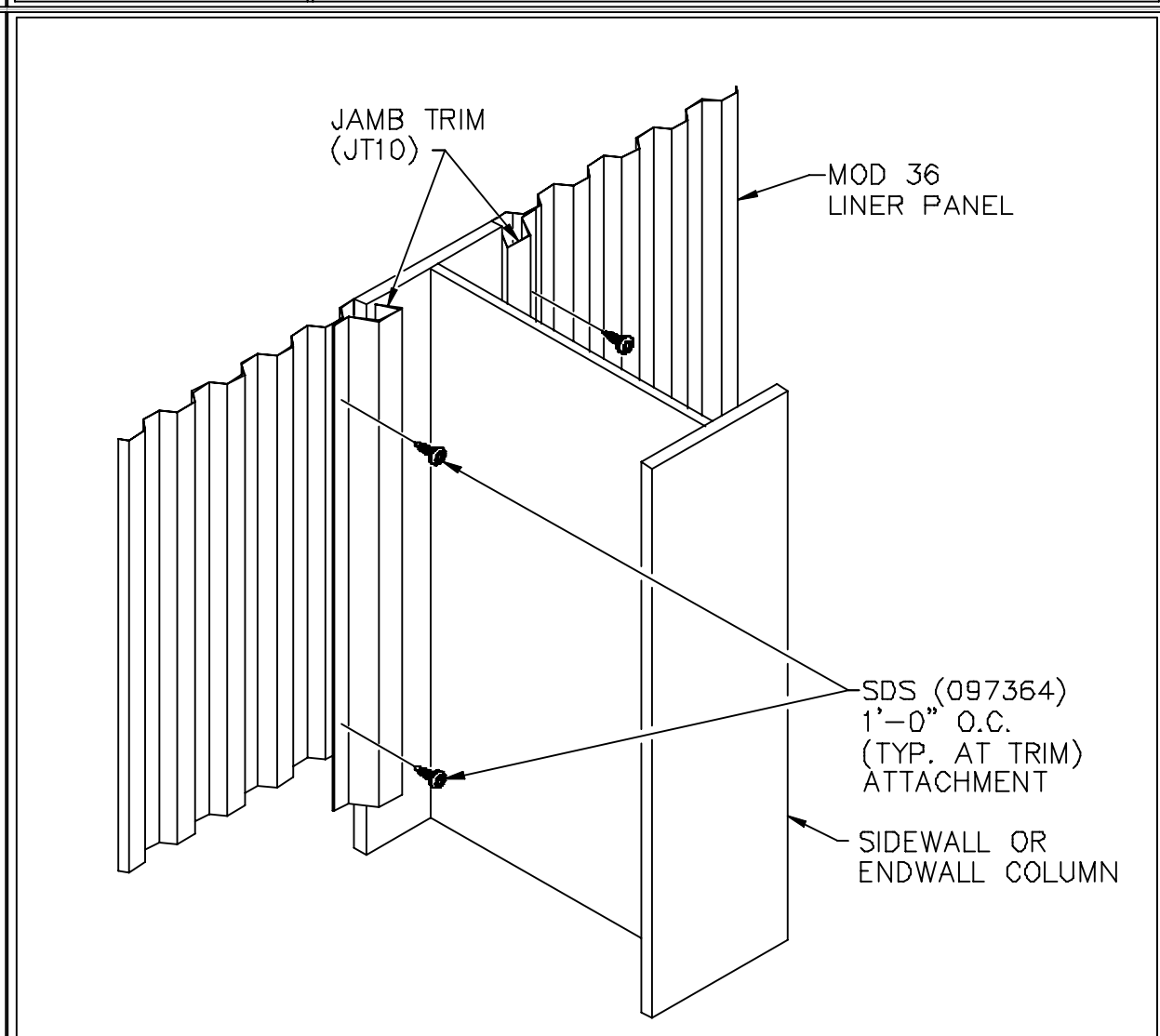
REV. DATE:06/26/17 | REV. NO.00
WCB086

SHADOWALL PANEL GENERAL NOTES
FASTENER AND INSTALLATION



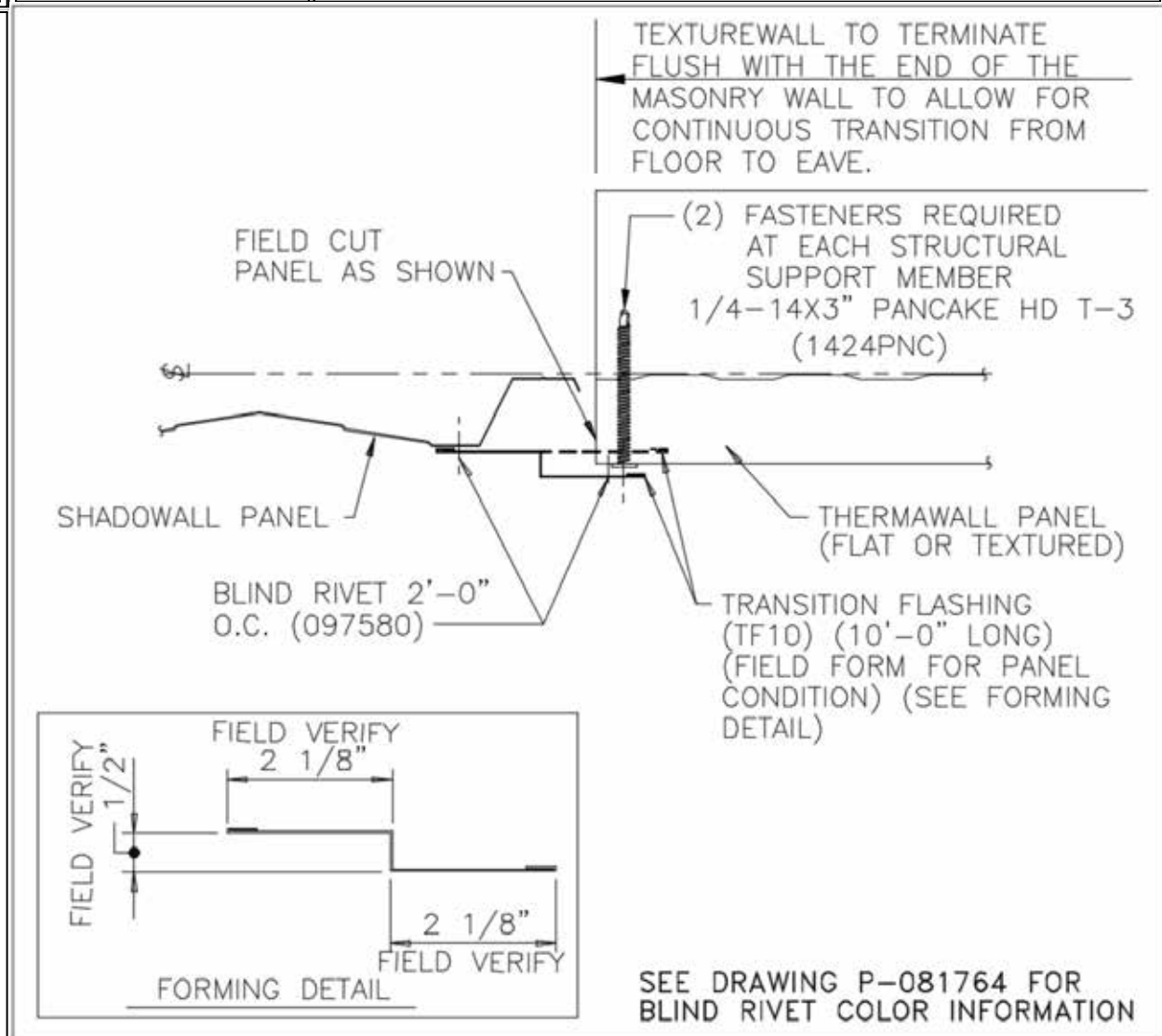
REV. DATE:06/23/17 | REV. NO.00
WCB088

LINER TRIM AT COLUMN – OUTSET WALL
BUTLERIB II/VCIB UNPUNCHED PANEL



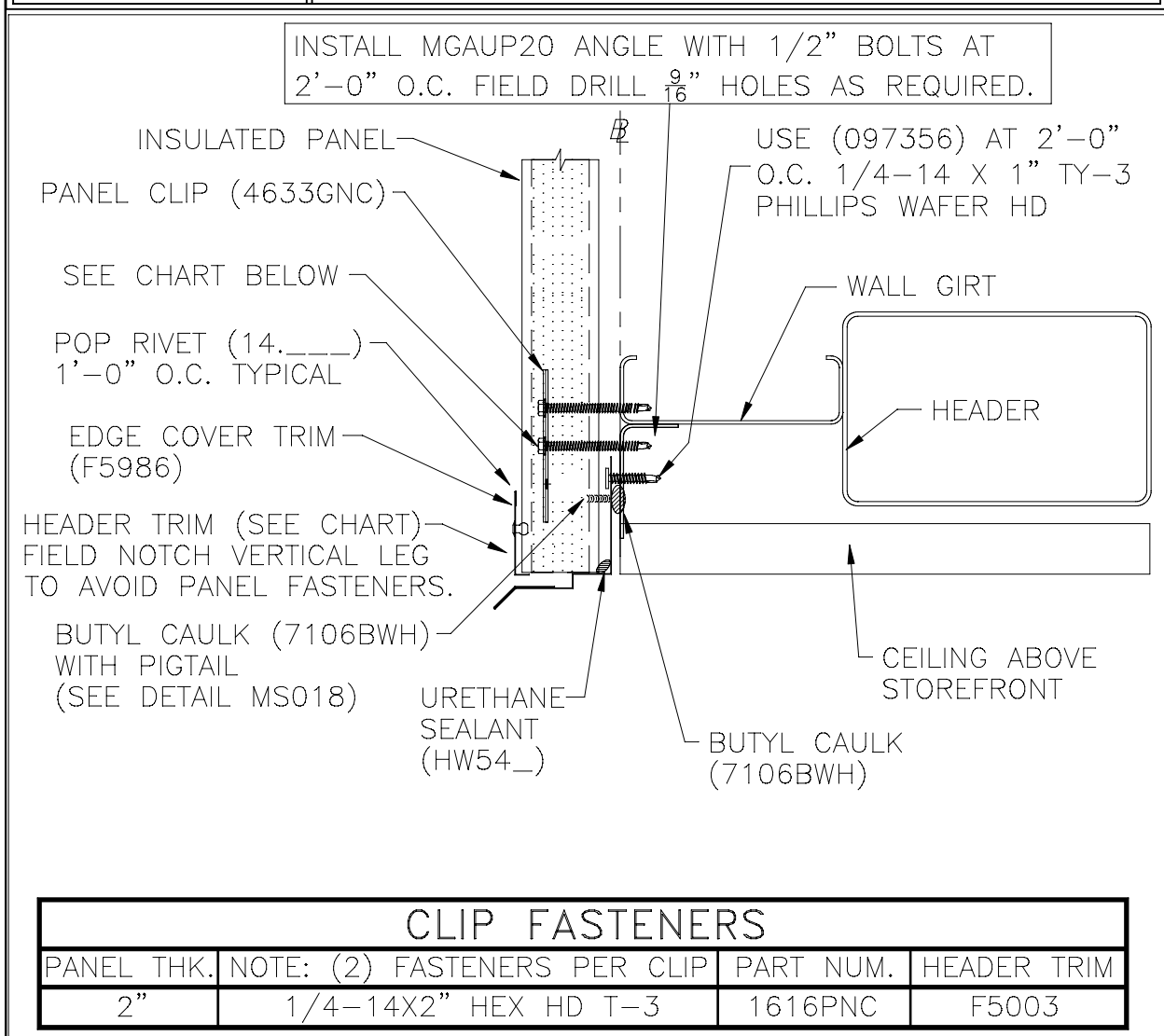
REV. DATE:06/23/17 | REV. NO.00
WCB090

LINER TRIM AT COLUMN – OUTSET WALL
MOD 36 PANEL



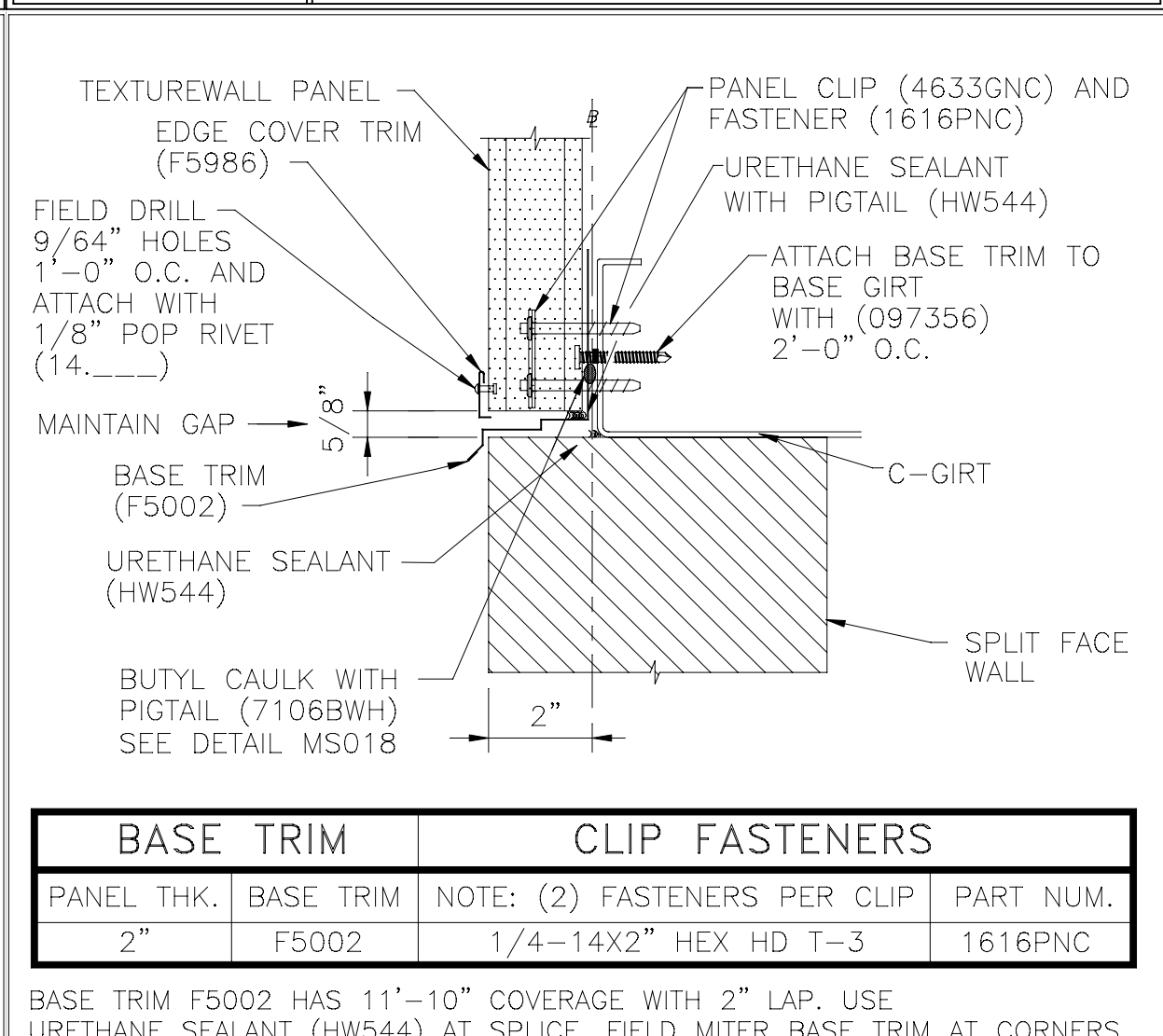
REV. DATE:10/08/13 | REV. NO.02
PVX148

TRANSITION
SHADOWALL TO TEXTURE WALL



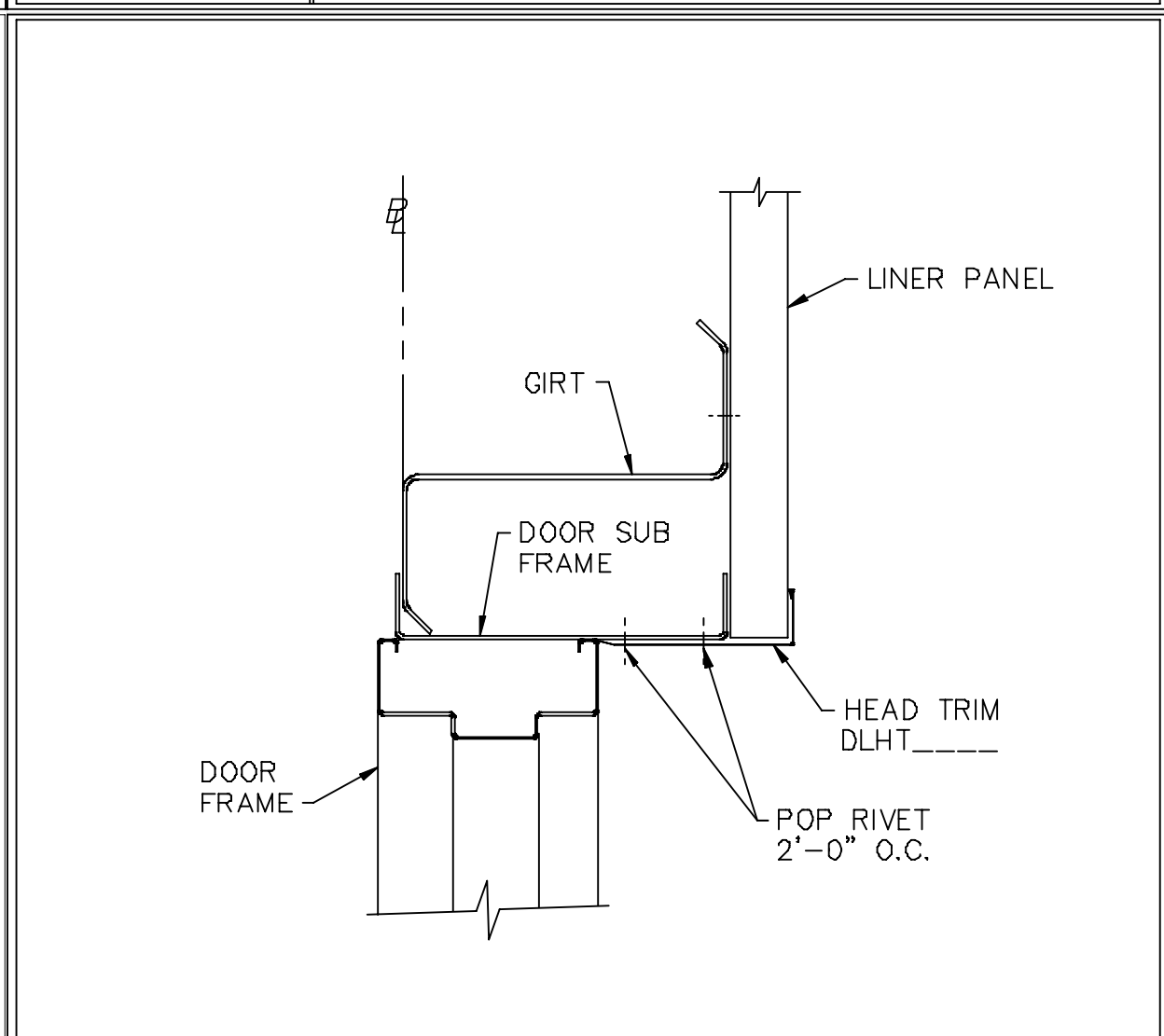
REV. DATE:05/11/18 | REV. NO.00
MSX011

FRAMED OPEN HEADER DETAIL (FACTORY CUT)
TYPICAL DOORS, LOUVERS AND WINDOWS



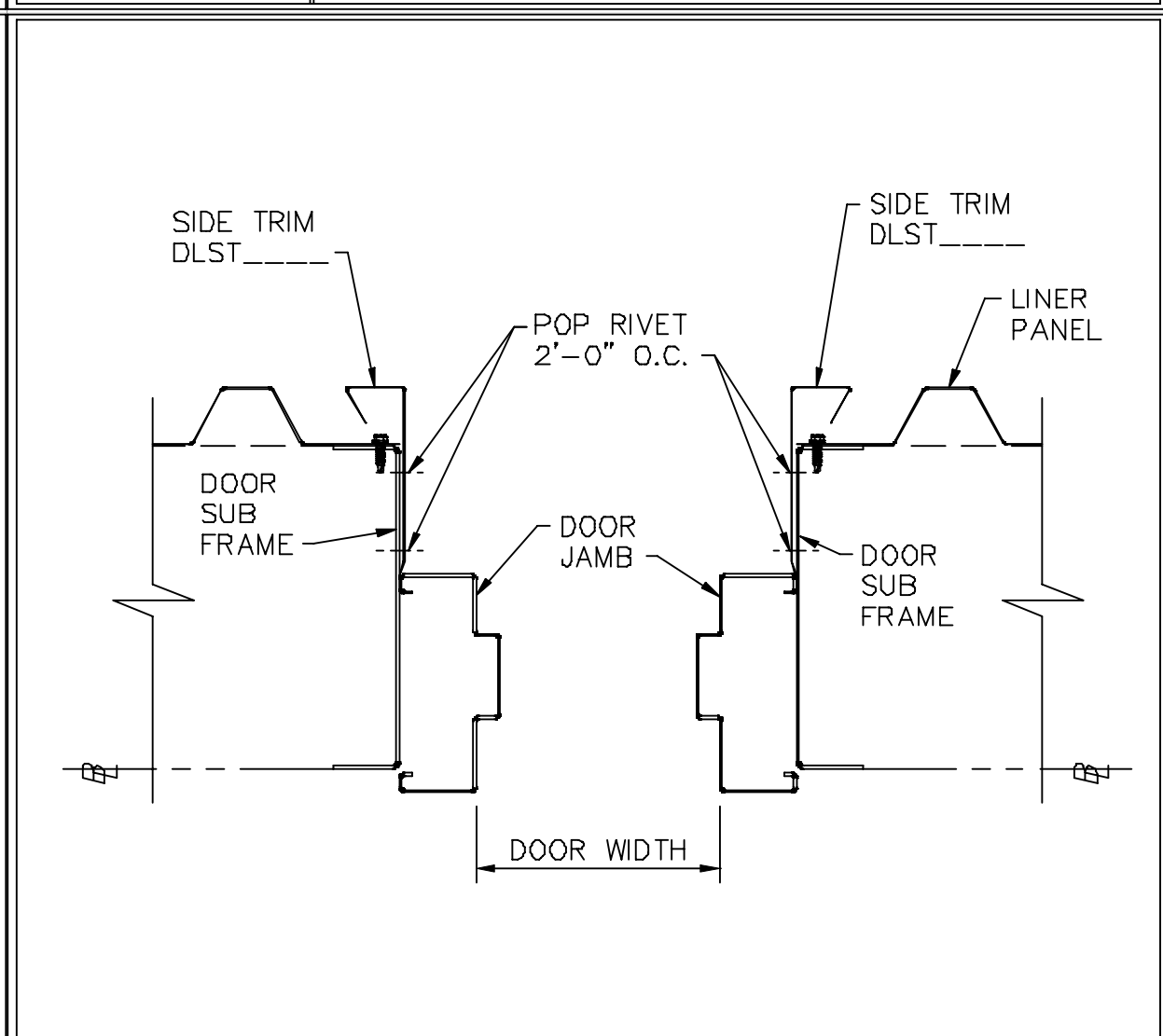
REV. DATE:05/11/18 | REV. NO.00
MSX019

INSULATED PANEL BASE DETAIL
ABOVE SPLIT FACE WALL



REV. DATE:06/26/14 | REV. NO.00
WAR001

HOLLOW METAL DOOR HEAD (5/8" OFFSET)
LINER TRIM



REV. DATE:06/26/14 | REV. NO.00
WAR002

HOLLOW METAL DOOR JAMB (5/8" OFFSET)
LINER TRIM

FOR CONSTRUCTION

THE BUTLER MFG. ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF BUTLER MFG. AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER. THE BUTLER MFG. ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY BUTLER EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY BUTLER.	THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF BUTLER MFG. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BUTLER MFG.	THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING, DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE BUTLER MFG. ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.	D BUTLER MANUFACTURING 1540 GENESSEE ST. KANSAS CITY, MO 64102	COVERING & TRIM SED'S	
REV:	DATE:	BY:	DESCRIPTION:	BUILDER:	Avis Construction Co., Inc.
				CUSTOMER:	Humm Kombucha, LLC
				LOCATION:	Roanoke, Virginia
				PROJECT:	Humm Kombucha
				BUILDER'S POW:	18-020
DRAWING SCALE:		NTS		JOB #: 18-026503-01	
				DATE: 10/16/18	
				DRAWN/CHECK: JRB / DMD	
				PAGE: 56	

VPC FILENAME: 18-026503-04

9/20/2018 SEDSheet 10:56:42

a division of BlueScope Buildings North America, Inc. 108 of 140

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 5C
Meeting Date:	02/10/2020
Subject:	Resolution 2020-02-10-5C
From:	Richard Hicks, Deputy County Administrator, Pittsylvania County, and Corrie Teague Bobe, Interim Director of Economic Development, City of Danville

SUMMARY

The RIFA Board will be asked to approve Resolution 2020-02-10-5C, ratifying one time demolition services at 2471 Tom Fork Road, Ringgold, VA.

ATTACHMENTS

Resolution 2020-02-10-5C

A RESOLUTION RATIFYING ONE-TIME DEMOLITION SERVICES FOR THE BUILDING FOUNDATION LOCATED AT 2471 TOM FORK ROAD, RINGGOLD, VIRGINIA 24586, ON LOT 7B (GPIN 2347-04-1865) OF THE AUTHORITY'S CANE CREEK CENTRE INDUSTRIAL PARK PROJECT, FOR A FEE OF \$5,500

WHEREAS, the Danville-Pittsylvania Regional Industrial Facility Authority (the “**Authority**”) is a political subdivision of the Commonwealth of Virginia duly created pursuant to the Virginia Regional Industrial Facilities Act, as amended; and

WHEREAS, as part of the Authority’s Cane Creek Centre Industrial Park project (“**Cane Creek**”) located in Pittsylvania County and the City of Danville, Virginia, the Authority requires demolition services (the “**Demolition Services**”) for the building foundation located at 2471 Tom Fork Road, Ringgold, VA 24586, more commonly known as **Lot 7** (“**Lot 7**”) of Cane Creek; and

WHEREAS, the Authority’s Bylaws Article IV, Section 2, provides

Without limiting the provisions of the [Agreement For Cost Sharing and Revenue Sharing between the City of Danville, Virginia, and Pittsylvania County, Virginia, dated October 2, 2001], each Member Locality, through its city manager, county administrator or respective designee, is authorized to incur, on behalf of the Authority, up to an aggregate amount of Ten Thousand Dollars (\$10,000.00) in reasonable expenses, related to, or arising out of, (i) developing or testing the Authority’s projects for a particular business prospect or (ii) marketing to a particular business prospect. Prior to incurring any such expense under this paragraph, the Member Locality shall consult with the other Member Locality on such business prospect. Such expenses shall be reported to the Board at its next regular meeting for consideration and ratification;

and

WHEREAS, Kenneth F. Larking, the City of Danville, Virginia City Manager, and David M. Smitherman, the Pittsylvania County, Virginia County Administrator, have consulted with each other and engaged a contractor to provide the Demolition Services on Lot 7 in order for the continued development and marketing of Cane Creek for particular business prospects; and

WHEREAS, the fiscal agent of the Authority has determined that funding up to \$10,000.00 for the Mowing Services is within “General Contingency Fund”, a funding sheet under the budget previously approved by the Authority for these projects for this purpose; and

WHEREAS, the Board of Directors of the Authority has determined that a \$5,500 fee for the Demolition Services is reasonable.

Resolution No. 2020-02-10-5C

NOW, THEREFORE, BE IT RESOLVED, that

1. The Authority hereby finds that the \$5,500 fee for the Demolition Services on Lot 7 is reasonable.
2. The Authority hereby approves, ratifies and confirms any and all actions previously taken by the Authority, its agents and representatives, in respect to the purchase of the Demolition Services and the matters contemplated in this Resolution.
3. This Resolution shall take effect immediately upon its adoption.

- # -

CERTIFICATE

I, the undersigned Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority, hereby certify that the foregoing is a true, correct and complete copy of a Resolution duly adopted by a majority of the directors of the Danville-Pittsylvania Regional Industrial Facility Authority at a meeting duly called and held on February 10, 2020, and that such Resolution has not been repealed, revoked, rescinded or amended, but is in full force and effect on the date hereof.

WITNESS my hand as Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority as of the 10th day of February 2020.

SUSAN M. DeMASI, Secretary
Danville-Pittsylvania Regional Industrial Facility
Authority

(SEAL)

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 5D
Meeting Date:	02/10/2020
Subject:	Resolution 2020-02-10-5D
From:	Michael L. Adkins, CPA Treasurer of the Authority

SUMMARY

The RIFA Board will be asked to approve Resolution 2020-02-10-5D, authorizing the issuance of an RFP for legal services to the Authority.

ATTACHMENTS

Resolution 2020-02-10-5D

Exhibit A

A RESOLUTION AUTHORIZING THE ISSUANCE OF A REQUEST FOR PROPOSAL (RFP) FOR LEGAL SERVICES TO THE AUTHORITY

WHEREAS, the Danville-Pittsylvania Regional Industrial Facility Authority (the “**Authority**”) is a political subdivision of the Commonwealth of Virginia duly created pursuant to the Virginia Regional Industrial Facilities Act, as amended; and

WHEREAS, the Authority desires to issue a request for proposals for legal services (the “**RFP**”), substantially in the form on **Exhibit A**, attached hereto and incorporated herein by this reference, and the acceptance of any proposal or the award of any contract pursuant to the RFP shall be subject to and dependent on further action of the Board of Directors of the Authority; and

WHEREAS, the Authority has determined that it is in the best interests of the Authority and of the citizens of Pittsylvania County and the City of Danville, Virginia, for the Authority to authorize the Authority’s staff to issue the RFP for legal services.

NOW, THEREFORE, BE IT RESOLVED, that

1. The Authority hereby authorizes and directs staff to issue the RFP for legal services as set forth in **Exhibit A**, upon such terms and together with such amendments, deletions or additions thereto as may be approved by the Chairman, the Vice Chairman or the Treasurer of the Authority, and hereby authorizes the Chairman, the Vice Chairman or Treasurer, any of whom may act independently of the others, to execute and deliver the RFP on behalf of the Authority, such execution of the RFP by the Chairman (or Vice Chairman or Treasurer as the case may be) to conclusively establish his approval of any amendments, deletions or additions thereto.

2. The Authority hereby authorizes and directs staff and other agents and representatives working on behalf of the Authority to take such actions and to do all such things as are contemplated by the RFP, or as they in their discretion deem necessary or appropriate in order to carry out the intent and purposes of these resolutions; provided, however, that the acceptance of any proposal or the award of any contract pursuant to the RFP shall be subject to further action of the Board of Directors of the Authority.

3. The Authority hereby approves, ratifies and confirms any and all actions previously taken by the Authority, its agents and representatives, in respect to the RFP and the matters contemplated therein.

4. This Resolution shall take effect immediately upon its adoption.

- # -

CERTIFICATE

I, the undersigned Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority, hereby certify that the foregoing is a true, correct and complete copy of a Resolution duly adopted by a majority of the directors of the Danville-Pittsylvania Regional Industrial Facility Authority at a meeting duly called and held on February 10, 2020, and that such Resolution has not been repealed, revoked, rescinded or amended, but is in full force and effect on the date hereof.

WITNESS my hand as Secretary of the Danville-Pittsylvania Regional Industrial Facility Authority this 10th day of February 2020.

SUSAN M. DeMASI, Secretary
Danville-Pittsylvania Regional Industrial Facility
Authority

(SEAL)

Exhibit A

(RFP for Legal Services)



City of Danville, Virginia

PO Box 3300
Danville, VA 24543

427 Patton Street, Rm 304
Danville, VA 24541

J. Gary Via, CPPPO
Director of Purchasing
e-mail: viajg@danvilleva.gov

Phone: (434) 799-6528
Fax: (434) 799-5102
e-mail: purchasing@danvilleva.gov

REQUEST FOR PROPOSAL RFP 19-20-085 "Attorney Services"

1.0 GENERAL CONDITIONS

1.1 Intent

The Danville-Pittsylvania Regional Industrial Facility Authority (DPRIFA) requests a statement of qualifications and related proposals for contracted attorney services.

1.2 Deadline

Sealed proposals shall be submitted no later than _____
at 5:00 PM to:

City of Danville
Purchasing Department
Attn.: J. Gary Via
427 Patton Street, Room 304
Danville, VA 24541

1.3 Questions

Any questions concerning this Request for Proposal should be directed to J. Gary Via (434) 799-6528 option 4.

1.4 Equal Opportunity

During the performance of this contract, the Firm agrees as follows:

1.4.1 The Firm will not discriminate against any employee or applicant for employment because of race, religion, color, sex, or national origin, except where religion, sex, or national origin is a bona fide occupational qualification reasonably necessary to the normal operation of the Firm. The Firm agrees to post in conspicuous places, available to employees or applicants for employment, notices setting forth the provisions of this nondiscrimination clause.

1.4.2 The Firm also shall not discriminate against any handicapped person in violation of any state or federal law or regulation and shall also post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this additional nondiscrimination clause.

1.4.3 The Firm, in all solicitations or advertisements for employees placed by or on behalf of the Firm, will state that such Firm is an equal opportunity employer.

1.4.4 Notices, advertisements and solicitations placed in accordance with federal law, rules or regulations shall be deemed sufficient for the purpose of meeting the requirements of this article.

1.4.5 The Firm will otherwise comply with all other applicable provisions of local, State, and Federal law.

1.5 Drug Free Work Place

During the performance of this contract, the Firm agrees to

- a. Provide a drug-free workplace for the Firm's employees
- b. Post in conspicuous places, available to employees and applicants for employment, a statement notifying employees that the unlawful manufacture, sale, distribution, dispensation, possession, or use of a controlled substance or marijuana is prohibited in the Firm's workplace and specifying the actions that will be taken against employees for violations of such prohibition.
- c. State in all solicitations or advertisements for employees placed by or on behalf of the Firm that the Firm maintains a drug-free workplace
- d. Include the provisions of the foregoing clauses in every subcontract or purchase order of or over \$10,000, so that the provisions will be binding upon each subcontractor or Firm.

"Drug-free workplace" means a site for the performance of work done in connection with a specific contract awarded to a Firm in accordance with this chapter, the employees of whom are prohibited from engaging in the unlawful manufacture, sale, distribution, dispensation, possession or use of any controlled substance or marijuana during the performance of the contract.

1.6 Proposals Binding Ninety (90) Days

Unless otherwise specified all formal proposals submitted shall be binding for ninety (90) calendar days following closing date unless extended by mutual consent of both parties.

1.7 Permits

The Firm shall, at his own expense, secure any business or professional licenses, permits, or fees required by DPRIFA of Danville or Commonwealth of Virginia.

2.0 CODES & STANDARDS

2.1 The Firm, its officers, agents, employees, and any subcontractors, in the performance of this Agreement shall comply with all applicable statutes and laws of the United States and the Commonwealth of Virginia, the Charter and ordinances of the City of Danville, and the applicable rules and regulations of the agencies of each. The Firm does not, and shall not during the performance of the contract for goods and services in the Commonwealth, knowingly employ an unauthorized alien as defined in the federal Immigration Reform and Control Act of 1986.

3.0 SCOPE OF SERVICES

Purpose:

The DPRIFA seeks services encompassing the traditional legal counsel scope of work including the rendering of opinions to the DPRIFA Board and staff, consultation and coordination with the Danville City Attorney, Pittsylvania County Attorney, and any assigned special counsel. Attendance at a variety of meetings will be required, including staff meetings and DPRIFA meetings as specified. A more detailed statement of services is provided in the scope of work as described below.

Background Information:

The purpose of the Danville-Pittsylvania Regional Industrial Facility Authority is to improve regional economy through the attraction of global industry to the subject property. DPRIFA was created by ordinance of the Board of Supervisors of Pittsylvania County, Virginia, and the City Council of the City of Danville, Virginia to promote and further the purposes of the *Virginia Regional Industrial Facilities Act*, Chapter 64, Title 15.2 of the *Code of Virginia*, (1950) as amended (the Act). DPRIFA is an entity jointly owned by the City of Danville and Pittsylvania County and is a political subdivision of the Commonwealth of Virginia. The Authority is empowered, among other things, to borrow money to purchase real estate and finance all improvements in industrial parks intended to be occupied by manufacturing, warehousing, distribution offices, or other commercial enterprises. In addition, the Authority is authorized under the Act to issue

revenue bonds to finance facilities for such enterprises. The Authority has no taxing power. The City of Danville acts as the fiscal agent of the Authority.

The selected firm shall provide services to assist in the periodic review and updates to the by-laws and ordinances.

The firm selected shall be awarded a 3 year contract, which may be renewed by the DPRIFA Board for additional 1 year increments.

Firms shall submit both annual fees and hourly fees, with the expectation that the firm will be present at 2 meetings in Danville, Virginia per month. The average time devoted by the firm to the DPRIFA is approximately 125 hours per month.

Involved parties:

Pittsylvania County, Virginia, and the City of Danville, Virginia

Scope of Work

1. Provide legal advice, counsel, training, consultation, and opinions and all levels of city/county government, on a variety of civil assignments including, but not limited to promotion of economic development, creation/retention of primary jobs for projects, community development initiatives, general contracts, development agreements, grants, loans, authorized use/ oversight on use of 4B tax, public disclosure issues/notices and related legal issues associated with representation of Section 4B economic development corporation. The DPRIFA Attorney's advice includes methods of effectively avoiding civil litigation.
2. Furnish legal representation at all DPRIFA board meetings, and at other meetings as requested.
3. Appear before courts and administrative agencies to represent the interest of the DPRIFA as determined necessary.
4. Prepare and review meeting agendas, memorandums, orders, resolutions, contracts, and other documents for legal correctness when requested by DPRIFA Board or staff.
5. Work cooperatively with City/County attorney and any special legal counsel retained by the County or the DPRIFA for special projects.
6. Coordinate with special counsel as needed to ensure proper management of legal issues and proper coordination and transition of legal issues among legal counsel.
7. Assist DPRIFA board and staff to maintain an awareness of ethical standards and appearance of fairness standards, and to avoid potential conflicts of interest, prohibited transactions, and appearance of prohibited transactions.
8. Performs other legal services and tasks as assigned by the DPRIFA board.
9. Avoidance of Conflict of Interest.

Specifications:

The awarded firm shall:

- Attend all DPRIFA Board meetings.
- May be asked to attend work sessions or retreats.

- May be called upon to attend occasional community meetings, and may be called upon to attend meetings related to specific projects in which the DPRIFA is involved.
- Must be available by phone, cell phone, fax and email.
- Timeliness of response and accessibility to the DPRIFA Attorney to the directors, officers, and staff is an important aspect of the service.
- Accessibility and responsiveness for the proposed designated Attorney is of greatest importance. Accessibility includes the ability to be generally available to attend meetings in person on short notice and the ability to be reached promptly by telephone.

Please provide one (1) copy of a written response per sealed proposal submitted, responding to each inquiry in the order presented below.

1. Scope of Work: Attachment A
 - Identify any, or all of, the outlined 'Scope of Work' that will be provided.
2. Professional Business History: Include as Attachment B
 - Provide a narrative description of the firm's history.
3. Firm Experience: Include as Attachment C
 - Provide a narrative description of the firm.
 - Identify other economic development corporations or agencies the firm may have represented.
 - Identify experience with municipal law issues, including land use, zoning, growth management, contract law, personnel municipalities, municipal utility districts, water districts, and other related specialties.
 - Please explain any grievances or disciplinary actions that may have been taken against the lawyer/firm.
4. Proposed Attorney/Team: Include as Attachment D
 - Name and describe the attorney(s) and/or team proposed, including the designated Attorney.
 - For each attorney on the team proposed, please identify the law school attended, year of graduation, and year in which each passed the bar examination in Virginia.
 - Provide a resume for each team member, with considerable detail in the experience and qualifications for Attorney, and any significant assisting attorneys.
 - If specialty attorneys or additional resources are available through your firm (in addition to the team) to meet special needs, please identify them and their specialties.
5. Accessibility and Responsiveness: Include as Attachment E
 - Identify the accessibility of the proposed designated Attorney, and the response time that the individual offers to DPRIFA. Specifically

identify the lead time required for attending scheduled or ad-hoc meetings.

- Identify the physical location of the Attorney's primary offices.

6. Proposed Fee Structure: Include as Attachment F

- Propose a comprehensive package, inclusive of all service costs. The DPRIFA is open to a variety of approaches, including hourly rates or a flat monthly rate with add-ons. The DPRIFA will select the finalist by considering the proposed compensation as a "best and final offer," although the DPRIFA reserves the right to negotiate terms as needed to improve elements of the proposal to best meet the needs of the DPRIFA, including cost.

7. Avoidance of Conflict of Interest: Include as Attachment G

- Answer the following question: How would your firm handle representation of any other client engaged in development activity within DPRIFA?
 - ✓ In answering this question, please identify how the firm would handle a situation where one attorney in the firm represents the DPRIFA as the contract Attorney, and another attorney in the same firm represents a developer seeking approval of a project within the DPRIFA boundaries.
 - ✓ In answering this question, please identify those steps, if any, the firm would be willing to undertake to eliminate or reduce the potential for conflict of interest.

8. References: Include as Attachment H

- Provide three references for the designated Attorney and any team alternates.
- Please note that the Authority prefers references relating to municipal experience.

Naming of a reference is considered permission to contact the reference. The DPRIFA may contact outside individuals, whether offered as references or not. The DPRIFA retains the right to use such information in its decision. Submittal of a proposal is agreement that the DPRIFA may contact and use such information.

Evaluation and Selection

Evaluation and Selection process – The DPRIFA Board of Directors reserves the right to award the contract to the proposal that best meets the needs and interests of DPRIFA. The following steps are anticipated:

Step 1. Receive and review of qualifications and written proposals.

Step 2. Initial reference and information check.

Step 3. Interview of finalists.

Step 4. Accessibility and responsiveness of both the proposed designated DPRIFA Attorney and any assisting attorneys.

Evaluation of the written proposal – Written statements of qualifications and proposals will be evaluated by DPRIFA as set forth below.

1. Applicable experience of proposed designated Attorney.
2. Depth and stability of firm or practice
3. Interpersonal match and philosophical concurrence with DPRIFA core beliefs, practices and personnel.
4. Accessibility and responsiveness of both the proposed designated DPRIFA Attorney and any assisting attorneys.
5. Cost.

Interviews – Interviews will be held at the sole option of the Authority. If interviews are conducted, firms should plan to have key personnel on their interview teams who will be assigned to work specified in the proposal. Short listed firms may be asked to provide supplemental or additional information for review by the Authority prior to the interviews

Contract Negotiations – The DPRIFA reserves the right to negotiate all elements which comprise the apparent successful proposal. DPRIFA representatives and the selected finalist will review in detail all aspects of the requirements and the proposal. During the review of the apparent successful proposal, the respondent may offer, and DPRIFA may accept revisions to the proposal, although such suggestions are not favored.

Rejection of Proposals - DPRIFA reserves the right to reject any or all proposals, portions or parts thereof. Without limiting the generality of the foregoing, the DPRIFA may reject any proposal which is incomplete or not responsive.

4.0 VENDOR'S RELATIONSHIP TO DPRIFA

4.1 Subcontracting

Firm may subcontract services to be performed hereunder with the prior approval of DPRIFA, which approval shall not be unreasonably withheld. No such approval will be construed as making DPRIFA a part of, or to, such subcontract, or subjecting DPRIFA to liability of any kind to any subcontractor. No subcontract shall, under any circumstances, relieve the Firm of its liability and obligation under this Contract; and despite any such subcontracting DPRIFA shall deal through the Firm, and subcontractors will be dealt with as representatives of the Firm.

4.2 Novation

The Firm shall not assign or transfer, whether by as Assignment or Novation, any of its rights, duties, benefits, obligations, liabilities, or responsibilities under this Contract without the written consent of DPRIFA; provided, however, that assignments to banks, trust companies or other financial institutions for the purpose of securing bond may be made without the consent of DPRIFA. Assignment or Novation of this Contract shall not be valid unless the Assignment or Novation expressly provides that the assignment of any of the Firm's rights or benefits under the Contract is subject to a prior lien for labor performed, services rendered and materials, tools and equipment supplied for the performance of the work under this Contract in favor of all persons, firms, or corporations rendering such labor or services or supplying such materials, tools and equipment.

5.0 RESPONSIBILITIES OF DPRIFA

5.1 DPRIFA designates _____, _____, to act as its representative with respect to the services to be rendered under any subsequent Agreements. Such person shall have complete authority to transmit instructions, receive information, interpret and define City's policies and decisions with respect to the Firm's services for the Project.

5.2 Shall assist the Firm by placing at his disposal all available information pertinent to the Project.

5.3 Guarantee access to and make all provisions for the Firm to enter upon public and private property as required for the Firm to perform his services under this Agreement.

5.4 Furnish all required approvals and permits from all governmental authorities having jurisdiction over the Project and such approvals and consents from others as may be necessary for completion of the Project.

5.5 Give prompt written notice to the Firm whenever DPRIFA observes or otherwise becomes aware of any development that affects the scope or timing of Firm's services.

6.0 INSURANCE/INDEMNIFICATION

6.1 The Firm, prior to commencing work, shall provide at his own expense, the following insurance to DPRIFA of Danville evidenced by certificates of insurance. Each certificate shall require that notice be given, thirty (30) days prior to cancellation of material change in the policies, to the Director of Purchasing.

- A. Worker's Compensation including Occupational Disease and Employer's Liability Insurance: The Contractor shall take out and maintain during the life of this Contract Workers' Compensation and Employer's Liability Insurance for all of his employees to be engaged in work on the project under this contract in an amount no less than the minimum allowed by the State Corporation Commission, and in case of such work is sublet, the Contractor shall require the Subcontractor similarly to provide Workers' Compensation and Employer's Liability Insurance for all of the latter's employees to be engaged in such work.
- B. Comprehensive General Liability Insurance: The Contractor shall maintain during the life of this Contract comprehensive general liability insurance as shall protect him, DPRIFA of Danville and its offices, agents and employees, and any Subcontractors performing work covered by this Contract from claims for damage for personal injury, including death, as well as from claims for property damage, which may arise from operations under this Contract, whether such operations by himself or by any Subcontractor, or by anyone directly or indirectly employed by either of them. The amount of such insurance shall not be less than a combination single limit of \$1,000,000 per occurrence on bodily injury and property damage and \$1,000,000 aggregate on completed operations. The comprehensive general liability insurance shall provide the following coverage:
 - Professional Liability
 - Comprehensive
 - Premises – Operation
 - Contractual Insurance
 - Independent Contractor and Subcontractor
 - Personal Injury
- C. Automobile liability insurance minimum combined single limits of \$1,000,000 for any one person, and subject to the same limit for each person, \$1,000,000 on account of any one accident. This insurance shall include bodily injury and property damage for the following vehicles:

- Owned Vehicles
- Non-owned Vehicles
- Hired Vehicles

- D. Umbrella Policy. At the option of the Contractor, primary limits may be less than required, with an umbrella policy providing the additional limits needed. This form of insurance will be acceptable provided that the primary and umbrella policies both provide the insurance coverage's herein required. However, any such umbrella policy must have minimum coverage limits of \$3,000,000.00.
- E. All policies shall name DPRIFA of Danville, its officers, agents, and employees, as additional insured. This coverage shall be reflected on the Certificates of Insurance (including any endorsements or riders thereto), which will be provided to DPRIFA. Each Certificate of Insurance shall require that notice be given thirty (30) days prior to cancellation or material change in the policies to the Director of Purchasing.
- F. Written evidence of the insurance required herein shall be filed with DPRIFA not later than thirty (30) days following the date of the award of the Contract. A copy of the evidence of insurance shall be filed with the Director of Purchasing.

6.2 The Firm shall be solely responsible and liable for the accuracy and completeness of all work performed hereunder and hereby agrees to indemnify, defend and hold harmless DPRIFA, its officers, agents and employees, from and against any and all claims, demands, actions, suits and proceedings arising out of, based upon or caused by the negligent acts, omissions or errors of, or the infringement of any copyright or patent, by the Firm, its officers, agents, employees or subcontractors, in the performance of this Agreement. The approval or acceptance by DPRIFA of any work performed by the Firm, its officers, agents, employees or subcontractors, under this Agreement, or any part of such work, shall neither constitute nor be deemed a release from the responsibility or liability of the Firm, its officers, agents, employees or subcontractors, for the accuracy, completeness, timeliness, and competency thereof, or negligence with respect thereto, nor shall such approval or acceptance constitute or be deemed an assumption by DPRIFA of the responsibility and liability for the accuracy, completeness or competency of such work, or any negligence in the performance thereof.

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 5E
Meeting Date:	February 10, 2020
Subject:	Financial Status Reports – January 31, 2020
From:	Michael L. Adkins, Authority Treasurer

SUMMARY

A review of the financial status reports through January 31, 2020 will be provided at the meeting. The financial status reports as of January 31, 2020 are attached for the DPRIFA Board's review.

RECOMMENDATION

Staff recommends approving the financial status reports as of January 31, 2020 as presented.

ATTACHMENTS

Financial Status Reports

**Danville - Pittsylvania Regional Industrial Facility
Authority**

Financial Status

Table of Contents

- A. \$7.3 Million Bonds - Cane Creek Centre
- B. General Expenditures for FY2020
- C. SVMS at Berry Hill – Funding Other than Bond Funds
- D. SVMS at Berry Hill – Lot 4 Site Development
- E. SVMS at Berry Hill – Lot 8 Site Development
- F. SVMS at Berry Hill – Water & Sewer
- G. Rent, Interest, and Other Income Realized
- H. Monthly Checks
- I. Unaudited Financial Statements

Danville-Pittsylvania Regional Industrial Facility Authority

\$7,300,000 Bonds for Cane Creek Centre - Issued in August 2005 ⁷

As of January 31, 2020

	<u>Funding</u>	<u>Budget / Contract Amount</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
Funding					
Funds from bond issuance	\$7,300,000.00				
Issuance cost	(155,401.33)				
Refunding cost ⁷	(52,500.00)				
Bank fees	(98.25)				
Interest earned to date	486,581.70				
 Cane Creek Parkway ³		\$3,804,576.00	\$3,724,241.16	\$ -	
Swedwood Drive ²		69,414.00	69,414.00	-	
Cane Creek Centre entrance ³		72,335.00	53,878.70	-	
Financial Advisory Services		9,900.00	9,900.00	-	
Dewberry contracts ¹		69,582.50	69,582.50	-	
Dewberry contracts not paid by 1.7 grant ^{4, 5}		79,381.00	48,126.62	31,254.38	
Land		-	2,792,945.57	-	
Demolition services		71,261.62	71,261.62	-	
Legal fees		-	232,410.83	-	
CCC - Lots 3 & 9 project - RIFA Local Share ⁶		142,190.00	112,464.98	-	
Other expenditures		-	345,194.30	-	
 Total	\$ 7,578,582.12	\$ 4,318,640.12	\$ 7,529,420.28	\$ 31,254.38	\$ 17,907.46

Notes:

¹ Dewberry Contracts consist of wetland, engineering, surveying and site preparation

² Funds being used to cover City and County matching contributions for a VDOT grant for Swedwood Drive

³ Project completed under budget

⁴ In September 2008 the outstanding principal balance of \$6,965,000 on the Series 2005 Cane Creek Project Revenue Bonds was tendered and not remarketed. These bonds were converted to bank bonds and are now subject to the Credit and Reimbursement agreement the Authority has with Wachovia Bank. The remarketing agent will continue its attempt to remarket these bonds in order to convert them back to Variable Rate Revenue Bonds. As a result, it is likely that the City and County will have to contribute additional funds in order to make future interest payments on the letter of credit attached to these bonds.

⁴ These contracts were originally to be paid by the \$1.7M Special Projects Grant, this grant has expired and the TIC did not issue an extension. The remaining amounts of the contract will be paid using bond funds.

⁵ The budget amount decreased \$71,279.61 from the 9/30/2010 reports. This amount represented the remaining budget amount carried from the \$1.7 SP grant upon its expiration for the following contracts: Wetland Delineation, Wetland Bank Plan Rev., Stream Concept Plan, & Stream Attribute Plan. Per Shawn Harden of Dewberry, these contracts are complete and finished under budget. The only contract that remains open is for Wetland Monitoring and the budget, expended, and encumbered amounts included here are only for this contract.

⁶ This line item represents the amount of expenditures on the "CCC - Lots 3 & 9" budget sheet that is covered by bond funds. RIFA's local share of 5% of these project costs is being covered by these bond funds. Project finished under original budget.

⁷ The \$7.3 million bonds were refunded on 8/1/2013 with the issuance of refunding bonds in the amount of \$5,595,000.

Road Summary-Cane Creek Parkway:

English Contract-Construction	\$ 5,363,927.00
Change Orders	165,484.50
Expenditures over contract amount	3,579.50
(Less) County's Portion of Contract	(935,207.00)
(Less) Mobilization Allocated to County	(9,718.00)
Portion of English Contract Allocated to RIFA	4,588,066.00
Dewberry Contract-Engineering	683,850.00
Total Road Contract Allocated to RIFA	\$ 5,271,916.00

Funding Summary - Cane Creek Parkway

VDOT	\$ 1,467,340.00
Bonds	3,804,576.00
	\$ 5,271,916.00

Danville-Pittsylvania Regional Industrial Facility Authority

General Expenditures for Fiscal Year 2020

As of January 31, 2020

	<u>Funding</u>	<u>Budget</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
Funding					
City Contribution	\$ 25,000.00				
County Contribution	25,000.00				
Carryforward from FY2019	4,434.23				
Transfer from Unrestricted Fund Balance	200,000.00				
Contingency					
Miscellaneous contingency items		\$ 24,154.23	\$ 11,240.01	\$ -	\$ 12,914.22
Total Contingency Budget		24,154.23	11,240.01	-	12,914.22
Legal		200,000.00	101,322.34	-	98,677.66
Accounting		22,175.00	21,750.00	-	425.00
Annual Bank Fees		605.00		-	605.00
Postage & Shipping		100.00		-	100.00
Meals		4,000.00	2,260.19	-	1,739.81
Utilities		400.00	153.50	-	246.50
Insurance		3,000.00	2,337.00	-	663.00
Total	\$ 254,434.23	\$ 254,434.23	\$ 139,063.04	\$ -	\$ 115,371.19

Danville-Pittsylvania Regional Industrial Facility Authority
Southern Virginia Megasite at Berry Hill - Funding Other than Bond Funds
As of January 31, 2020

	<u>Funding</u>	<u>Budget / Contract Amount</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
Funding					
City contribution	\$ 134,482.50				
County contribution	134,482.50				
City advance for Klutz, Canter, & Shoffner property ^{1,4}	10,340,983.83				
Tobacco Commission FY09 SSED Allocation	3,370,726.00				
Tobacco Commission FY10 SSED Allocation - Engineering Portion	407,725.00				
Tobacco Comm. FY10 SSED Allocation - Eng. Portion Deobligated	(244,797.00)				
Local Match for TIC FY10 SSED Allocation - Engineering Portion ⁵	76,067.61				
Additional funds allocated by RIFA Board on 1/14/2013 ⁶	11,854.39				
TIC #2264 - Phase II Land and Engineering	3,700,000.00				
Land					
Klutz property		\$ 8,394,553.50	\$ 8,394,553.50	\$ -	
Canter property ²		1,200,000.00	1,200,000.00	-	
Adams property		37,308.00	37,308.00	-	
Carter property		5,843.00	5,843.00	-	
Jane Hairston property		1,384,961.08	1,384,961.08	-	
Bill Hairston property		201,148.00	201,148.00	-	
Shoffner Property		1,872,896.25	1,872,896.25	-	
401 Buford Road		246,082.96	246,082.96	-	
Off State Road 1055		181,890.19	181,890.19	-	
Other					
Dewberry & Davis		28,965.00	28,965.00	-	
Dewberry & Davis ³		990,850.00	987,879.29	2,970.71	
Consulting Services - McCallum Sweeney ⁷		115,000.00	103,796.85	-	
Dewberry Engineers (related to #2264)		784,500.00	160,500.00	624,000.00	
Dewberry Engineers		78,950.00	66,525.00	12,425.00	
Appalachian Power Company		1,655,000.00	380,000.00	1,275,000.00	
Banister Bend Farm, LLC		-	199,064.00	-	
Transfer available funds to "Berry Hill Mega Park - Lot 4 Site Development" Project ⁸		-	11,203.15	-	
Total	\$ 17,931,524.83	\$ 17,177,947.98	\$ 15,462,616.27	\$ 1,914,395.71	\$ 554,512.85

¹ This figure does not include the interest the City lost from the uninvested funds, which was paid to the City 1/3/2012 and totaled \$144,150.41.

² Settlement fees were drawn from bonds issued for the Berry Hill project 12/1/2011.

³ This contract was originally for \$814,500, but has been amended to include a traffic impact analysis, and a cemetery survey. \$740,000 was covered by the FY09 Tobacco Allocation. \$162,928 was covered by the FY10 Tobacco Allocation. \$87,922 will be covered with RIFA Funds.

⁴ RIFA paid the City back for all advances on 1/3/2012.

⁵ The RIFA Board approved to utilize the remaining funds from the Mega Park bond funds and approximately \$65,000 of the 'Funds Available for Appropriation' towards the local match for the engineering portion of Tobacco Commission grant #1916 for the Berry Hill Mega Park.

⁶ Due to the expiration of the Tobacco Commission FY10 SSED Allocation, the RIFA Board approved on 1/14/2013 to utilize \$11,854.39 of the 'Funds Available for Appropriation' to cover the funding shortfall for the budgeted Dewberry & Davis contract.

⁷ Unencumbered the remaining \$11,203.15 due to termination of contract.

⁸ As approved by RIFA Board on 10/16/2014

Danville-Pittsylvania Regional Industrial Facility Authority
Southern Virginia Megasite at Berry Hill - Lot 4 Site Development
As of January 31, 2020

	<u>Funding</u>	<u>Budget / Contract Amount</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
Funding					
Tobacco Commission FY12 Megasite Allocation	\$ 6,208,153.00				
Local Match for TIC FY12 Megasite Allocation - County Portion ¹	750,000.00				
Local Match for TIC FY12 Megasite Allocation - City Portion ¹	750,000.00				
Local Match for TIC FY12 Megasite Allocation - RIFA Portion ²	181,000.00				
Transfer in from "Mega Park - Funding Other than Bond Funds" Budget ³	11,203.15				
Expenditures					
Dewberry Engineers Inc.		1,707,562.81	1,623,062.81	84,500.00	
Jones Lang LaSalle		95,000.00	95,000.00	-	
Jones Lang LaSalle - Economic Analysis		12,000.00	12,000.00	-	
VA Water Protection Permit Fee		57,840.00	57,840.00	-	
Wetlands Studies and Solutions, Inc.		77,027.64	77,027.64	-	
Banister Bend Farm, LLC - Wetland and Stream Credits		122,968.00	122,968.00	-	
DEQ - Construction Activity General Permit		11,860.00	11,860.00	-	
Haymes Brothers, Inc. - Construction on Phase 1 Graded Pad		4,250,475.11	4,243,151.21	7,323.90	
Haymes Brothers, Inc. - Phase 1 Pad A Extension/Expansion		1,578,000.00	-	1,578,000.00	
Transfers to "General Expenditures Fiscal Year 2015" Contingency ³					
Dewberry Engineers Inc.		(108,603.35)	(108,603.35)	-	
Jones Lang LaSalle - Market Analysis Study		(95,000.00)	(95,000.00)	-	
Jones Lang LaSalle - Economic Analysis		(12,000.00)	(12,000.00)	-	
Total	\$ 7,900,356.15	\$ 7,697,130.21	\$ 6,027,306.31	\$ 1,669,823.90	\$ <u>203,225.94</u>

¹ \$300,000 of this was received from each locality 6-2014. \$450,000 received 8-2014. \$450,000 received 9-2014.

² The RIFA Board approved on 2/11/2013 to transfer the remaining funds of \$175,316.17 from the "Funds Available for Appropriation" budget sheet and funds of \$5,683.83 from the "Rent, Interest, and Other Income Realized" budget sheet to use for the RIFA local match to Tobacco Commission grant #2491 for Berry Hill Mega Park Lot 4 Site Development.

³ As approved by RIFA Board on 10/16/2014

Danville-Pittsylvania Regional Industrial Facility Authority

Southern Virginia Megasite at Berry Hill - Lot 8 Site Development

As of January 31, 2020

	<u>Funding</u>	<u>Budget / Contract Amount</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
<i>Funding</i>					
<i>TIC #3358 Site Improvements for Project Lignum</i>					
Tobacco Commission Grant	\$ 2,624,800.00				
<i>Expenditures</i>					
Dewberry Engineers Inc.		89,300.00	82,800.00	6,500.00	
<i>Total</i>	\$ 2,624,800.00	\$ 89,300.00	\$ 82,800.00	\$ 6,500.00	\$ 2,535,500.00

Danville-Pittsylvania Regional Industrial Facility Authority

Southern Virginia Megasite at Berry Hill - Water & Sewer

As of January 31, 2020

	<u>Funding</u>	<u>Budget / Contract Amount</u>	<u>Expenditures</u>	<u>Encumbered</u>	<u>Unexpended / Unencumbered</u>
Funding					
TIC #2641 Phase I Sanitary Sewer					
Tobacco Commission Grant 2641	\$ 4,908,240.00				
Local Match for Contractual Services	282,400.00				
Local Match for Property & Imp.	262,960.00				
TIC #3011 Water System Improvements Phase II					
Tobacco Commission Grant 3011	2,241,567.00				
Local Match for Property & Imp.	224,160.00				
Expenditures					
Dewberry Engineers Inc.		371,015.31	324,730.31	46,285.00	
Haymes Brothers, Inc. - Phase I Sanitary Sewer		5,092,668.30	5,092,668.30	-	
C.W. Cauley & Son - Phase 1 Water		1,843,540.00	950,565.25	892,974.75	
Norfolk Southern Railway Company		22,300.00	22,300.00	-	
Pittsylvania County Service Authority		1,475.00	1,475.00	-	
Treasurer of Virginia		7,900.00	7,900.00	-	
AECOM		5,000.00	5,000.00	-	
BH Media Group, Inc.		296.00	296.00	-	
Danville Register & Bee		600.00	600.00	-	
Total	\$ 7,919,327.00	\$ 7,344,794.61	\$ 6,405,534.86	\$ 939,259.75	\$ 574,532.39

Danville-Pittsylvania Regional Industrial Facility Authority

Rent, Interest, and Other Income Realized for Fiscal Year 2020

As of January 31, 2020

Source of Funds	Funding		Receipts FY2020	Expenditures FY2020	Unexpended / Unencumbered
	<u>Carryforward from FY2019</u>	<u>Receipts Current Month</u>			
<u>Carryforward</u>	\$ 726,050.44				
<u>Current Lessees</u>					
Institute for Advanced Learning and Research (IALR) ¹		\$ 25,412.50	\$ 177,887.50		
Mountain View Farms of Virginia, L.C.		1,200.00	1,200.00		
Capital Outdoor, Inc.			2,000.00		
<u>Total Rent</u>		\$ 26,612.50	\$ 181,087.50		
<u>Interest Received</u> ²		\$ 784.12	\$ 3,110.43		
<u>Miscellaneous Income</u>		\$ -	\$ 871,056.66		
Expenditures					
Hawkins Research Bldg. Property Mgmt. Fee				\$ 152,475.00	
Transfer to General Expenditures budget				\$ 200,000.00	
Disbursements for Gerfertec incentives				\$ 25,376.00	
Disbursements for Harlow Fastech incentives				\$ 289,235.62	
Refunded fees				\$ 10,000.00	
Totals	\$ 726,050.44	\$ 27,396.62	\$ 1,055,254.59	\$ 677,086.62	\$ 1,104,218.41
				Restricted ¹	\$ 339,107.56
				Unrestricted	\$ 242,346.47
				Committed	\$ 522,764.38

¹ Please note that rent proceeds must be used in accordance with the U.S. Economic Development Administration's (EDA) Standard Terms and Conditions

² Please note that this is only interest received on RIFA's general money market account.

Danville-Pittsylvania Regional Ind. Facility Authority
Check Detail
January 2020

Check Number	Date	Vendor Name	Paid Amount
WIRE	01/27/2020	Enviva Development Holdings LLC	\$ 10,000.00
2306	01/13/2020	Banister Bend Farm, LLC	\$ 199,064.00
2307	01/13/2020	Dewberry Engineers Inc.	\$ 41,020.00
2308	01/13/2020	C.W. Cauley & Son, Inc.	\$ 199,343.25
2309	01/13/2020	IALR	\$ 579.14
2310	01/13/2020	IALR	\$ 25,412.50
2311	01/13/2020	Susan DeMasi	\$ 40.00
			<u>\$ 475,458.89</u>

Danville-Pittsylvania Regional Industrial Facility Authority

Statement of Net Position^{1, 2}

January 31, 2020*

	Unaudited FY 2020
Assets	
<u><i>Current assets</i></u>	
Cash - checking	\$ 1,103,395
Cash - money market	803,602
<i>Total current assets</i>	<u>1,906,997</u>
<u><i>Noncurrent assets</i></u>	
Restricted cash - project fund CCC bonds	55,662
Restricted cash - debt service fund CCC bonds	505,094
Capital assets not being depreciated	23,832,535
Capital assets being depreciated, net	22,505,505
Construction in progress	14,628,421
<i>Total noncurrent assets</i>	<u>61,527,217</u>
Total assets	<u>63,434,214</u>
Liabilities	
<u><i>Current liabilities</i></u>	
Unearned income	600
Bonds payable - current portion	869,740
<i>Total current liabilities</i>	<u>870,340</u>
<u><i>Noncurrent liabilities</i></u>	
Bonds payable - less current portion	1,675,000
<i>Total noncurrent liabilities</i>	<u>1,675,000</u>
Total liabilities	<u>2,545,340</u>
Net Position	
Net investment in capital assets	58,477,383
Restricted - debt reserves	505,094
Unrestricted	1,906,397
Total net position	<u>\$ 60,888,874</u>

¹ Please note this balance sheet does not include the Due to/Due from between the County and the City since it nets out and only changes at fiscal year-end.

² Please note this balance sheet does not include all general accounts receivable or accounts payable at the month-end date. This is because information regarding accrued receivables/payables is not available at the time of statement preparation.

Danville-Pittsylvania Regional Industrial Facility Authority
Statement of Revenues and Expenses and Changes in Fund Net Position
January 31, 2020*

	Unaudited FY 2020
Operating revenues	
Virginia Tobacco Commission Grants	951,222
Rental income	181,963
Other Income	777,799
Total operating revenues	<u>1,910,984</u>
Operating expenses⁴	
Mega Park expenses ³	2,084,643
Cane Creek Centre expenses ³	53,797
Cyber Park expenses ³	467,082
Professional fees	74,397
Other operating expenses	29,275
Total operating expenses	<u>2,709,194</u>
Operating income (loss)	<u>(798,210)</u>
Non-operating revenues (expenses)	
Interest income	8,796
Interest expense	(7,323)
Total non-operating expenses, net	<u>1,473</u>
Net income (loss) before capital contributions	<u>(796,737)</u>
Capital contributions	
Contribution - City of Danville	894,760
Contribution - Pittsylvania County	394,760
Total capital contributions	<u>1,289,520</u>
Change in net position	<u>492,783</u>
Net position at July 1, 2019	<u>60,396,091</u>
Net position at January 31, 2020	<u><u>\$ 60,888,874</u></u>

³ A portion or all of these expenses may be capitalized at fiscal year-end.

⁴ Please note that most non-cash items, such as depreciation and amortization, are not included here until year-end entries are made.

Danville-Pittsylvania Regional Industrial Facility Authority
Statement of Cash Flows
January 31, 2020*

	Unaudited FY 2020
Operating activities	
Receipts from grant reimbursement requests	\$ 951,222
Receipts from leases	179,085
Other receipts	777,382
Payments to suppliers for goods and services	(2,901,678)
Net cash used by operating activities	<u>(993,989)</u>
Capital and related financing activities	
Capital contributions	1,289,520
Interest paid on bonds	(26,302)
Principal repayments on bonds	(925,000)
Net cash provided by capital and related financing activities	<u>338,218</u>
Investing activities	
Interest received	8,796
Net cash provided by investing activities	<u>8,796</u>
Net increase (decrease) in cash and cash equivalents	(646,975)
Cash and cash equivalents - beginning of year (including restricted cash)	<u>3,114,728</u>
Cash and cash equivalents - through January 31, 2020 (including restricted cash)	<u><u>\$ 2,467,753</u></u>
Reconciliation of operating loss before capital contributions to net cash used by operating activities:	
Operating income (loss)	\$ (798,210)
Changes in assets and liabilities:	
Change in prepaids	254
Change in accounts payable	(192,741)
Change in unearned income	(3,292)
Net cash used by operating activities	<u><u>\$ (993,989)</u></u>

Components of cash and cash equivalents at January 31, 2020:

American National - Checking	\$ 1,103,395
American National - General money market	803,602
Wells Fargo - \$7.3M Bonds CCC Debt service fund	505,094
Wells Fargo - \$7.3M Bonds CCC Project fund	55,662
	<u><u>\$ 2,467,753</u></u>

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 6ABC
Meeting Date:	02/10/2020
Subject:	Closed Session
From:	Chairman

- A. As permitted by Section 2.2-3711(A)(5) of the Code of Virginia, 1950, as amended (“Virginia Code”), for discussion concerning one or more prospective businesses where no previous announcement has been made of that business’s interest in locating its facilities in one or more of the Authority’s projects located in Pittsylvania County, Virginia, and/or Danville, Virginia;
 - B. As permitted by Virginia Code § 2.2-3711(A)(39) for discussion or consideration of records excluded under Virginia Code § 2.2-3705.6(3) (including without limitation (i) those certain confidential proprietary records voluntarily provided by private business pursuant to a promise of confidentiality from the Authority, and used by the Authority for business and trade development and (ii) those certain memoranda, working papers, or other information related to businesses that are considering locating or expanding in Virginia, prepared by the Authority, where competition or bargaining is involved and where disclosure of such information would adversely affect the financial interest of the Authority); such information being excluded from mandatory disclosure under Virginia Code § 2.2-3705.1(12) (information relating to the negotiation and award of a specific contract pertaining to the Authority’s Southern Virginia Megasite at Berry Hill project, Cyber Park project and/or Cane Creek Centre project, where competition or bargaining is involved and where the release of such information would adversely affect the bargaining power or negotiating strategy of the Authority) and Virginia Code § 2.2-3705.1(8) (appraisals and cost estimates of real property in one or more of the Authority’s projects subject to a proposed purchase, sale, or lease, prior to the completion of such purchase, sale, or lease); and
 - C. As permitted by Virginia Code §§ 2.2-3711(A)(3) for discussion or consideration of the acquisition and/or the disposition of publicly held real property, where discussion in an open meeting would adversely affect the bargaining position or negotiating strategy of the Authority.
- 6D. Confirmation of Motion and Vote to Reconvene in Open Meeting.
- 6E. Motion to Certify Closed Meeting.

Danville-Pittsylvania Regional Industrial Facility Authority

Executive Summary

Agenda Item No.:	Item 7
Meeting Date:	02/10/2020
Subject:	Communications
From:	Staff

A. Authority Board Members

B. Staff

- i. Update re Dewberry/Haymes Brothers Change Order
 - Shawn R. Harden, Dewberry
- ii. Confidentiality Agreements
 - Michael Guanzon