



DANVILLE CITY COUNCIL REGULAR MEETING AGENDA

MUNICIPAL BUILDING

November 9, 2023

7:00 PM

PRESIDING: Alonzo L. Jones, Mayor

**CITY COUNCIL
MEMBERS:**

James B. Buckner
L.G. "Larry" Campbell, Jr.
Bryant Hood
Barry P. Mayo

Dr. Gary P. Miller, Vice Mayor
Sherman M. Saunders
J. Lee Vogler, Jr.,
Madison J. Whittle

STAFF:

Ken F. Larking, City Manager
Earl B. Reynolds, Jr., Deputy City Manager

W. Clarke Whitfield, Jr., City Attorney
Susan M. DeMasi, City Clerk

The City Council is the City of Danville's legislative body and is composed of nine Council members. Council members are elected to serve a four year term of office and elects one of its own to serve as Mayor and presiding officer for a two year term.

Time and Place of Meeting

The public is invited and encouraged to attend and participate in the City Council meetings. The City Council meets in the City Hall, Fourth Floor, Council Chambers at 7:00 p.m. on the first and third Tuesday of each month. All meetings of the Council are open to the public.

Communications from Visitors

Communication from Visitors is an opportunity for citizens, who have signed up to speak, to address Council on matters not on the agenda. Citizens who desire to speak on agenda items will be heard when the agenda item is considered. Each speaker shall clearly state his or her name and address, and shall have three uninterrupted minutes. A representative of a group may have up to five uninterrupted minutes to make a presentation. The representative shall identify the group and a group may have no more than one spokesperson. Time will be kept using the electronic timer on the podium.

Guidelines for Public Hearings

For Public Hearings the applicant or his or her representative shall be the first speaker(s). There shall be a time limit of ten (10) minutes for the applicant's or his or her representative's presentation. The presiding officer shall then solicit comments from the public, asking those in favor of the proposal to speak first, and then those opposed to the proposal. Each speaker must clearly state his or her name and address. There shall be a time limit of three (3) minutes for each individual speaker. If the speaker represents a group, there shall be a time limit of five (5) minutes. A speaker representing a group shall identify the group at the beginning of his or her remarks. A group may have no more than one spokesperson. The presiding officer may limit or preclude comment which is repetitive, redundant, cumulative, or irrelevant to the subject of the public hearing. After public comments have been received, in a land use case, the applicant or the representative of the applicant, at his or her discretion, may respond with a rebuttal. There shall be a five (5) minute time limit for rebuttal.

MEETING CALLED TO ORDER

ROLL CALL

INVOCATION - JAMES B. BUCKNER

PLEDGE OF ALLEGIANCE TO THE FLAG

MEETING MINUTES

- A. Consideration of Approval of Minutes from Regular Council Meeting held on October 5, 2023.
Council Letter Number CL - 960.

NEW BUSINESS

- A. Consideration of a Special Use Permit Application filed by Late Bloomers LLC requesting a Special Use Permit at 115 Howeland Circle to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 921.
1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23- 00210, filed by Late Bloomers LLC, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 21172 (115 Howeland Circle) in Accordance with Article 3.E., Section C., Item 29.
- B. Consideration of Denying a Special Use Permit Application filed by Preferred Management Group on behalf of 2 JD LLC Requesting a Special Use Permit at 151 Virginia Avenue to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 922.
1. Public Hearing
 2. A Resolution Denying Special Use Permit Application PZ23- 00271, filed by Preferred Management Group on Behalf of 2 JD LLC, Requesting a Special Use Permit to Operate a Short-Term Rental in Accordance with Article 3.E., Section C., Item 29 at Parcel ID 20470 (151 Virginia Avenue).
- C. Consideration of a Special Use Permit Application filed by Misty and Derek Adams on behalf of DM Woodstock Enterprise, LLC Requesting a Special Use Permit at 1244 Westover Drive to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 923.
1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23- 00312, filed by Misty and Derek Adams on Behalf of DM Woodstock Enterprise, LLC, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 50398 (1244 Westover Drive) in Accordance with Article 3.E., Section C., Item 29.
- D. Consideration of a Special Use Permit Application filed by Anthony C. Martin Requesting a Special Use Permit at 85 Ashlawn Drive to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 924.

1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23- 00327, filed by Anthony C. Martin, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 53437 (85 Ashlawn Drive) in Accordance with Article 3.E., Section C., Item 29.
- E. Consideration of a Special Use Permit Application filed by David Gold and Juli Reeves Requesting a Special Use Permit at 118 Mt Vernon Avenue to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 925.
1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23- 00314, filed by David Gold and Juli Reeves, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 23302 (118 Mt Vernon Avenue) in Accordance with Article 3.E., Section C., Item 29.
- F. Consideration of a Special Use Permit Application filed by Tamara Belotti Requesting a Special Use Permit at 440 Mimosa Street to Allow Short-Term Rental as Principal Use.
Council Letter Number CL - 926.
1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23- 00316, filed by Tamara Belotti, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 56067 (440 Mimosa Street) in Accordance with Article 3.C., Section C., Item 29.
- G. Consideration of a Code Amendment Request filed by James Osborne on behalf of Extreme Recovery of Danville to Amend Chapter 41 entitled "Zoning Ordinance" of the City of Danville, Specifically, to Amend Article 3. M. C. to Create Item 30. Automobile Salvage or other Salvage Yards.
Council Letter Number CL - 927.
1. Public Hearing
 2. An Ordinance Amending Chapter 41 Entitled, "Zoning Ordinance" of the Code of the City of Danville, Virginia, 1986, As Amended, More Specifically, to Amend Article 3.M. Entitled "HR-C, Retail Commercial", Section C., Entitled "Uses Permitted by Special Use Permit".
- H. Consideration of a Special Use Permit Application filed by James Osborne on behalf of Extreme Recovery of Danville Requesting a Special Use Permit at 4711 Riverside Drive to Allow Automobile Salvage.
Council Letter Number CL - 928.
1. Public Hearing
 2. An Ordinance Granting Special Use Permit Application PZ23-00340, filed by James Osborne on Behalf of Extreme Recovery of Danville, Requesting a Special Use Permit to Allow an Automobile Salvage Operation at Parcel ID 51529 (4711 Riverside Drive) in Accordance with Article 3.M., Section C., Item 31.
- I. Consideration of an Appeal of the Commission of Architectural Review's Decision to Deny a

Certificate of Appropriateness to Install a Roof Mounted Solar Energy System at 830 Green Street.

Council Letter Number CL - 929.

1. Public Hearing
2. An Ordinance Reversing the Commission of Architectural Review Decision to Deny a Certificate of Appropriateness to Install a Solar Energy System at 830 Green Street; or
3. A Resolution Affirming the Commission of Architectural Review Decision to Deny a Certificate of Appropriateness to Install a Solar Energy System at 830 Green Street.

- J. Consideration of Rejecting Two New Public Utility Regulatory Policies Act (PURPA) Standards.
Council Letter Number CL - 916.

A Resolution to Reject the Two New PURPA Standards in Accordance with the Infrastructure Investment and Jobs Act Of 2021.

- K. Consideration of Authorizing and Approving the Execution of a Support Agreement By and Between the City of Danville, Virginia and the Virginia Small Business Financing Authority.
Council Letter Number CL - 965.

Resolution of the City Council of the City of Danville, Virginia Approving Support Agreement.

- L. Consideration of Amending the Fiscal Year 2024 Budget Appropriation for a Grant from the Edward Byrne Memorial JAG Program in the Amount of \$17,799.
Council Letter Number CL - 904.

An Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance by Increasing Revenue from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program in the Amount of \$17,799.

FIRST READING

COMMUNICATIONS FROM VISITORS

Communication from Visitors is an opportunity for citizens, who have signed up to speak, to address Council on matters not on the agenda. Citizens who desire to speak on agenda items will be heard when the agenda item is considered. Each speaker shall clearly state his or her name and address. Each individual speaker shall have three uninterrupted minutes. A representative of a group may have up to five uninterrupted minutes to make a presentation. The representative shall identify the group and a group may have no more than one spokesperson. Time will be kept using the electronic timer on the podium.

COMMUNICATIONS

A. City Manager

B. Deputy City Manager

C. City Attorney

D. City Clerk

E. Roll Call

ADJOURNMENT

Council Letter City of Danville, Virginia



CL - 960

MEETING MINUTES A.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of Approval of Minutes from Regular Council Meeting held on October 5, 2023.

From: Susan DeMasi, City Clerk

COUNCIL ACTION

Attachments

1. Meeting Minutes
-

October 5, 2023

The Regular October meeting of the Danville City Council was held on October 5, 2023, at 7:00 p.m. in the Council Chambers located on the Fourth Floor of the Municipal Building. The following Council Members were present: James B. Buckner, L.G. "Larry" Campbell Jr., Bryant Hood, Mayor Alonzo L. Jones, Barry Mayo, Vice Mayor Gary P. Miller, Sherman M. Saunders, J. Lee Vogler, Jr., and Madison J.R. Whittle (9). *Mr. Vogler entered the meeting at 7:11 pm.*

Staff Members present were: City Manager Ken F. Larking, Deputy City Manager Earl B. Reynolds, Jr., City Attorney W. Clarke Whitfield, Jr., and City Clerk Susan M. DeMasi.

Mayor Jones presided.

INVOCATION AND PLEDGE OF ALLEGIANCE

Vice Mayor Miller gave the Invocation followed by the Pledge of Allegiance.

CONSENT AGENDA

Mayor Jones opened the floor for a Public Hearing regarding Budget Appropriations on the Consent Agenda. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 28, 2023. No one present desired to be heard and the Public Hearing was closed.

Council Member Buckner **moved** for adoption of the following Consent Agenda items:

Consideration of Approval of Minutes from Regular Council Meeting held on September 5, 2023.
Draft copies of the Minutes had been distributed prior to the meeting.

Amending the Fiscal Year 2024 Budget Appropriation Ordinance for Federal and State Aviation Capital Funding

An Ordinance Entitled, Ordinance No. 2023-09.08, an Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance to Provide for Federal and State Aviation Capital Grant Funding to Complete the Rehabilitation of the South Ramp at the Danville Regional Airport plus Additional State Aviation Funding Related to the Replacement of the Terminal Building Roof in the Amount of \$3,753,439 and for the Local Share in the Amount of \$116,939 to be Provided by a Transfer from the General Fund Support of Special Grants Fund and Appropriating the Same.

Amending the Fiscal Year 2024 Budget Appropriation Ordinance for Older Americans Act Grant Funding in the Amount of \$476,635

An Ordinance Entitled, Ordinance No. 2023-09.09, an Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance by Increasing Certain Revenues to Provide for Title III-B Grant Funds and Local Share for Senior Citizen Transportation Services and Appropriating the Same.

Amending the Fiscal Year 2024 Budget Appropriation Ordinance for Older Airport Maintenance Program in the Amount of \$50,000

An Ordinance entitled Ordinance No. 2023-09.10, an Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance to Provide for State Department of Aviation Maintenance Grant Funds Related to the Maintenance of Certain Airport Properties in the Amount of \$40,000 and for the Local Share in the Amount of \$10,000 for a Total Appropriation of \$50,000 and Appropriating the Same.

October 5, 2023

The Motion was **seconded** by Council Member Whittle and carried the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

APPOINTMENTS

Vice Mayor Miller **moved** for adoption of the following Appointment resolution:

RESOLUTION NO. 2023-10.01

A RESOLUTION APPOINTING DAWN LOVING TO THE DANVILLE COMMUNITY POLICY AND MANAGEMENT TEAM AS THE 22ND DISTRICT COURT UNIT REPRESENTATIVE.

The Motion was **seconded** by Council Member Campbell and carried the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

Vice Mayor Miller **moved** for adoption of a Resolution entitled:

RESOLUTION NO. 2023-10.02

A RESOLUTION CONFIRMING APPOINTMENTS TO THE COMMUNITY CRIMINAL JUSTICE BOARD.

The Motion was **seconded** by Council Member Saunders and carried the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

NEW BUSINESS

CONSIDERATION OF APPROVAL TO RELEASE TWO BLANKET ELECTRIC EASEMENTS ON PARCEL NO. 1336-00-7267 ON COBBS KNOBB ROAD IN PITTSYLVANIA COUNTY

Council Member Buckner **moved** for adoption of a Resolution entitled:

RESOLUTION NO. 2023-10.03

A RESOLUTION AUTHORIZING THE ABANDONMENT OF TWO UNUSED AND UNNEEDED CITY BLANKET EASEMENTS ACROSS PROPERTY IN PITTSYLVANIA COUNTY.

October 5, 2023

The Motion was **seconded** by Council Member Mayo.

Council Member Whittle questioned the blanket easement, and Director of Utilities Jason Grey explained this was for Dominion Energy Solar Farms, and the blanket easement, when they were done years ago, were for the entire property. The developer asked the City to define the exact width of the easement for the right of way for the City's utility lines; it would be a 30 foot right of way for the City's distribution line.

The **Motion** was carried by the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

CONSIDERATION OF APPROVAL TO RELEASE THREE BLANKET EASEMENTS IN PITTSYLVANIA COUNTY

Council Member Buckner **moved** for adoption of a Resolution entitled:

RESOLUTION NO. 2023-10.04

A RESOLUTION AUTHORIZING THE ABANDONMENT OF THREE CITY BLANKET EASEMENTS ACROSS PROPERTY IN PITTSYLVANIA COUNTY.

The Motion was **seconded** by Council Member Whittle and carried by the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

PUBLIC HEARING - CONSIDERATION OF A SPECIAL USE PERMIT APPLICATION FILED BY MADS HOLBROOK LLC AT 503 HOLBROOK AVENUE (PARCEL 21964) TO ALLOW SHORT-TERM RENTAL AS PRINCIPAL USE

Mayor Jones opened the floor for a Public Hearing regarding a Special Use Permit at 503 Holbrook Avenue. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized Steve Rider representing MADS Holbrook, LLC who noted he was available to Council for any questions. No one further desired to be heard and the Public Hearing was closed.

Vice Mayor Miller **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.01

October 5, 2023

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00254, FILED BY MADS HOLBROOK LLC, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 21964 (503 HOLBROOK AVENUE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C, ITEM 29.

The Motion was **seconded** by Council Member Whittle and carried by the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

PUBLIC HEARING - CONSIDERATION OF A SPECIAL USE PERMIT APPLICATION AT 121 HOWELAND CIRCLE (PARCEL 23422) TO ALLOW SHORT-TERM RENTAL AS PRINCIPAL USE

Mayor Jones opened the floor for a Public Hearing regarding a Special Use Permit for 121 Howeland Circle. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023. No one present desired to be heard and the public hearing was closed.

Council Member Buckner **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.02

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23- 00270, FILED BY PREFERRED MANAGEMENT GROUP ON BEHALF OF REBEKAH AND JONATHAN ROGERSON, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 23422 (121 HOWELAND CIRCLE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

The Motion was **seconded** by Council Member Mayo and carried by the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders and Whittle (8)
NAY: None (0)
ABSENT: Vogler (1)

PUBLIC HEARING - CONSIDERATION OF A SPECIAL USE PERMIT APPLICATION AT 113 CLARENDON CIRCLE (PARCEL 25586) TO ALLOW SHORT-TERM RENTAL AS PRINCIPAL USE

Mayor Jones opened the floor for a Public Hearing regarding a Special Use Permit at 113 Clarendon Circle. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized Martha Ray, 131 Canterbury Road, who noted she was the owner of 113 Clarendon Circle, and she had been renting the house as an Airbnb for over a year, and was before Council to seek a special use permit for this property. Mrs. Ray discussed her care of the

property and her rating on Airbnb. Vice Mayor Miller asked about parking on the property, and Mrs. Ray stated there was one driveway that can hold two cars and there was off street parking. Council Member Vogler thanked Mrs. Ray for the packet of information and the presentation, referencing letters that were sent in response to the property being used as a short-term rental; they have all been positive.

Mayor Jones recognized Leonard Lackey, 128 Wilton Avenue who stated he and his wife have lived there for 36 years and would like it to continue to be a residential neighborhood. He spoke in opposition stating the owner does not live there and it creates a business, like a mini motel in the neighborhood. A business should be in a business district not in a residential district.

In response to Mayor Jones, Ms. Burton explained a special use permit remains with the land itself in perpetuity unless it was vacated for more than two years, then it loses its vested right. Otherwise, a special use permit does remain active. Council Member Buckner asked how many Airbnb's were in the area, and Ms. Burton noted she does not think she had any licenses in that area. Mr. Buckner noted he lives near this property and knows of two short-term rentals that were closer to him than 113 Clarendon; he can see all three from his front porch. It was not something new and were the best neighbors he has had in those properties.

Mayor Jones recognized Anna Gerkin from Martinsville, VA who spoke representing her son who was a resident on-call at the hospital. She purchased a home on Wilton Avenue for her son to stay at during his residency, and stated she owned four Airbnbs. She discussed the different rental platforms and spoke in support of Air BnB's.

Vice Mayor Miller stated the City needed to find short term rentals that have not acquired a special use permit; regulations need to be put in place so that they pay the appropriate taxes to the City, but not discourage them. The City has a housing shortage and needs places for people to live.

City Manager Ken Larking noted this was a new subject for communities that were dealing with it as it happens. He attended a conference session that was led by Airbnb, and the subject was short term rentals. It was a complicated subject with a lot of issues that needed to be addressed by local governments, Airbnbs and the users. It became challenging to know when a house was being rented as an Airbnb; some platforms were better than others in letting local governments know. In most cases, staff had to find them, and the best way to find them was to search for them, then try to reach out to the owners and let them know they need a special use permit; that was how the City captured them. To be able to say does the City know how many short-term rentals were in any one given area was almost impossible; there was more than one platform they can be rented on. Staff was working on it the best they can.

Council Member Vogler noted he was currently serving as the Chairman for the Short-Term Rental Committee for the Virginia Housing Commission. He met with localities from all over Virginia who were dealing with this; he was familiar with great examples and bad ones. People can find both in any place.

Council Member Hood questioned if there was a term for the special use permits and Mr. Larking noted for any that were under consideration tonight, it would be in perpetuity with the land; the regulations they were proposing would require a renewal. Mr. Hood questioned if it could be revoked and Mr. Larking explained every time it was up for renewal, it was an opportunity to look at the permit.

October 5, 2023

Mayor Jones recognized Kristen Wiles of 144 Clarendon Circle, who spoke in opposition of the proposed special use permit.

Mayor Jones recognized Martha Ray who spoke again and stated that the long-term rentals in that area do not have any regulations to go by like short-term rentals. She was not sure why people who lived outside the 300 feet impact zone were even there to participate in this discussion.

No one further desired to be heard and the Public Hearing was closed.

Council Member Vogler **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.03

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23- 00269, FILED BY MARTHA EVANS RAY, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 25586 (113 CLARENDON CIRCLE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

The Motion was **seconded** by Council Member Whittle and carried by the following vote:

VOTE: 8-0-1
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Vogler and Whittle (8)
NAY: Saunders (1)

PUBLIC HEARING - CONSIDERATION OF A REZONING APPLICATION TO REZONE TWO WINSTEAD DRIVE (PARCEL 51165) FROM HR-C HIGHWAY RETAIL COMMERCIAL TO OT-R OLD TOWN RESIDENTIAL

Mayor Jones opened the floor for a Public Hearing regarding a Rezoning Application for Two Winstead Drive. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized the applicant, Jeremiah Clark, 218 Hayes Avenue, Danville, Virginia, who noted he wanted to convert the property into an Airbnb. No one further desired to be heard and the Public Hearing was closed.

Council Member Mayo **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.04

AN ORDINANCE REZONING FROM HR-C, HIGHWAY RETAIL COMMERCIAL TO OT-R, OLD TOWN RESIDENTIAL PARCEL ID #51165 (2 WINSTEAD DRIVE).

The Motion was **seconded** by Council Member Campbell and carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders, Vogler, and Whittle, (9)
NAY: None (0)

October 5, 2023

PUBLIC HEARING - CONSIDERATION OF A SPECIAL USE PERMIT APPLICATION FILED BY JEREMIAH CLARK, REQUESTING A SPECIAL USE PERMIT AT TWO WINSTEAD DRIVE (PARCEL 51165) TO ALLOW SHORT-TERM RENTAL AS PRINCIPAL USE

Mayor Jones opened the floor for a Public Hearing regarding a Special Use Permit at Two Winstead Drive. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023. No one present desired to be heard and the Public Hearing was closed.

Vice Mayor Miller **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.05

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23- 00273, FILED BY JEREMIAH CLARK, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 51165 (2 WINSTEAD DRIVE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

The Motion was **seconded** by Council Member Mayo and carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders, Vogler, and Whittle, (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF A REZONING APPLICATION FILED BY JEREMIAH CLARK TO REZONE 2520 WEST MAIN STREET (PARCEL 54430) FROM HR-C HIGHWAY RETAIL COMMERCIAL TO OT-R OLD TOWN RESIDENTIAL

Mayor Jones opened the floor for a Public Hearing regarding Maintaining Zoning at 2520 West Main Street. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized the applicant, Mr. Clark, who noted to Council that this was located on the same piece of property as the other one. It had plenty of parking, neighbors would not be disturbed, it was convenient and in a good neighborhood.

Vice Mayor Miller questioned the parking and the applicant stated there was a parking lot and Mr. Buckner noted it was a commercial property with parking. Council Member Buckner questioned if this item fell in the West Main Corridor, was this allowed and Ms. Burton stated it was allowed to rezone from HR-C to OT-R. Ms. Burton noted staff has recommended denial because it was not in compliance with the City's Comprehensive Plan nor was it compatible with the corridor overlay in the Schoolfield Master Plan.

No one further desired to be heard and the Public Hearing was closed.

Mr. Vogler questioned if the motion was to uphold denial, and Mr. Whitfield explained it was to uphold the current zoning. Mr. Larking noted this was adjacent to a property that was residential, that Council did approve for a special use permit; the commercial property faces West Main Street. The West Main area from Route 29 to Schoolfield was mostly commercial; that was why staff was

October 5, 2023

recommending denial, because to turn it into residential was not compatible with the Comprehensive Plan.

Mr. Vogler asked about the long-term plan for this area; some of these buildings, including this one, look like for years that a bomb had dropped on it. He understands what they said about this not being necessarily the best use for that site, but he did not want to keep seeing it rot away for another ten years. If Council does not pass this, he hopes the City has something else in mind; that entire stretch needed a lot of work. Mr. Larking explained the Schoolfield Master Plan, which was recently reviewed with City Council, took a look at not only where the casino was located but the corridor from 29 down West Main to the Casino, and from the Casino to the River District. This area will be highly traveled, it has a lot of commercial property that was in poor condition, but the Schoolfield Master Plan has identified this whole corridor as something to invest in and try to improve as the gateway to the community. It should be commercial on that four-lane road according to the Comprehensive Plan, the Schoolfield Plan and the Overlay that was adopted.

Council Member Buckner **moved** for adoption of a Resolution entitled:

RESOLUTION NO. 2023-10.05

A RESOLUTION MAINTAINING PARCEL ID 54430 (2520 WEST MAIN STREET) IN THE HR-C HIGHWAY RETAIL COMMERCIAL ZONING DISTRICT.

The Motion was **seconded** by Vice Mayor Miller and carried by the following vote:

VOTE: 7-2
AYE: Buckner, Campbell, Hood, Miller,
Saunders, Vogler and Whittle (7)
NAY: Jones, Mayo, (2)

A RESOLUTION DENYING A SPECIAL USE PERMIT APPLICATION FILED BY JEREMIAH CLARK, REQUESTING A SPECIAL USE PERMIT AT 2520 WEST MAIN STREET (PARCEL 54430) TO ALLOW SHORT TERM RENTAL AS PRINCIPAL USE

RESOLUTION NO. 2023-10.06

A RESOLUTION DENYING SPECIAL USE PERMIT APPLICATION PZ23- 00275, FILED BY JEREMIAH CLARK, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AS PRINCIPAL USE IN ACCORDANCE WITH ARTICLE 3.E, SECTION C., ITEM 29. OF THE DANVILLE ZONING ORDINANCE AT 2520 WEST MAIN STREET (PARCEL ID #54430).

THIS MOTION WAS NOT HEARD BECAUSE PREVIOUS THE MOTION WAS APPROVED

PUBLIC HEARING - CONSIDERATION OF A SPECIAL USE PERMIT APPLICATION FILED BY SETH FRANCIS ON BEHALF OF SOVAH HEALTH, REQUESTING A SPECIAL USE PERMIT AT 142 SOUTH MAIN STREET (PARCEL 26338)

Mayor Jones opened the floor for a Public Hearing regarding a Special Use Permit for 142 South Main Street. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

October 5, 2023

Mayor Jones recognized Mr. Brian Lipsey from Clark Engineering appearing on behalf of SOVAH Health to request a special use permit for the setback encroachment to allow for the expansion of the hospital. No one further desired to be heard and the Public Hearing was closed.

Council Member Buckner **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.06

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23- 00291, FILED BY SETH FRANCIS ON BEHALF OF SOVAH HEALTH, REQUESTING A SPECIAL USE PERMIT TO ALLOW A WAIVER OF MINIMUM YARD SETBACKS AT PARCEL ID 25586 (142 SOUTH MAIN STREET) IN ACCORDANCE WITH ARTICLE 3.I. SECTION C ITEM 19.

The Motion was **seconded** by Council Member Mayo and carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders, Vogler, and Whittle, (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF REZONING APPLICATION FILED BY PDJ DEVELOPMENT, LLC TO REZONE PARCEL 75912 FROM LED-I INDUSTRIAL DISTRICT TO M-R MULTIFAMILY RESIDENTIAL DISTRICT

Mayor Jones opened the floor for a Public Hearing regarding Rezoning Parcel 75912. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized Ben Crew, with Balzer & Associates, Architects and Engineers, Roanoke, Virginia, who noted they were here for Item K and Item L. They were excited about the new investment in the City of Danville and the new community they have proposed. He was there with Patrick Daly, the developer of the project, to answer any questions they might have. No one further desired to be heard and the Public Hearing was closed.

Council Member Buckner **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.07

AN ORDINANCE REZONING FROM LED-I, LIGHT ECONOMIC DEVELOPMENT INDUSTRIAL TO M-R MULTI FAMILY RESIDENTIAL APPROXIMATELY EIGHTY ACRES OF PARCEL ID # 75912.

The Motion was **seconded** by Council Member Vogler and carried by the following vote:

VOTE: 9-0
AYE: Mayo, Miller, Saunders, Vogler, Whittle,
Buckner, Campbell, Hood, and Jones (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF REZONING APPLICATION FILED BY PDJ DEVELOPMENT, LLC TO REZONE PARCEL 78257 FROM LED-I INDUSTRIAL DISTRICT TO M-R MULTIFAMILY RESIDENTIAL DISTRICT

Mayor Jones opened the floor for a Public Hearing regarding Rezoning Parcel 78257. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023. No one presented desired to be heard and the Public Hearing was closed.

Council Member Vogler **moved** for adoption of an Ordinance entitled:

ORDINANCE NO. 2023-10.08

AN ORDINANCE REZONING FROM LED-I, LIGHT ECONOMIC DEVELOPMENT INDUSTRIAL TO M-R MULTI FAMILY RESIDENTIAL PARCEL ID 78257.

The Motion was **seconded** by Council Member Campbell and carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders, Vogler and Whittle (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF A CODE AMENDMENT REQUEST TO AMEND CHAPTER 41 ENTITLED "ZONING ORDINANCE" OF THE CITY OF DANVILLE, VIRGINIA

Mayor Jones opened the floor for a Public Hearing regarding an Amendment to the Zoning Ordinance. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023.

Mayor Jones recognized Charles Hanesworth III, 548 West Main Street, who spoke in opposition to some of the changes in the zoning ordinance regarding short term rentals. No one further desired to be heard and the Public Hearing was closed.

Council Member Buckner **moved** to **POSTPONE INDEFINITELY** an Ordinance entitled:

ORDINANCE NO. 2023-10.09

AN ORDINANCE AMENDING CHAPTER 41 ENTITLED, "ZONING ORDINANCE" OF THE CODE OF THE CITY OF DANVILLE, VIRGINIA, 1986, AS AMENDED, MORE SPECIFICALLY, TO AMEND ARTICLE 2, SECTION Y., ENTITLED "SHORT TERM RENTALS".

The Motion was **seconded** by Council Member Vogler.

Council Member Vogler stated that he agreed with Council Member Buckner after coming in and looking at this tonight. There are some things that make some sense but there are a lot of things that while presented with good intentions, were counterproductive.

The **Motion** to **POSTPONE INDEFINITELY** was carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,

October 5, 2023

Saunders, Vogler, and Whittle (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF AUTHORIZING AND APPROVING AN AMENDED AND RESTATED AGREEMENT OF LEASE FOR THE DAN RIVER BUSINESS DEVELOPMENT CENTER

Mayor Jones opened the floor for a Public Hearing regarding a Lease Agreement. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 21, 2023 and September 28, 2023. No one present desired to be heard and the Public Hearing was closed.

Council Member Buckner **moved** for adoption of a Resolution entitled:

RESOLUTION NO. 2023-10.09

A RESOLUTION APPROVING AND AUTHORIZING AN AMENDED AND RESTATED AGREEMENT OF LEASE BY AND AMONG THE CITY OF DANVILLE, VIRGINIA, THE COUNTY OF PITTSYLVANIA, VIRGINIA AND DAN RIVER BUSINESS DEVELOPMENT BOARD RELATING TO THE DAN RIVER BUSINESS DEVELOPMENT CENTER.

The Motion was **seconded** by Council Member Mayo.

Mr. Larking stated the Dan River Business Development Center was a jointly owned building between the City and the County; it was leased to that group for the purpose of helping small businesses get on the ground and hopefully graduate to become local industries. They have a variety of industrial space, and they also do some co-working rental spaces. This was a good service to the community, both Danville and Pittsylvania County, helping businesses to be successful. The purpose of this was to continue that operation and adjust a few things in the lease. Mr. Whitfield explained this was a policy decision rather than a legal decision on the lease so that everyone renting space could be assured that the lease will not end while they were trying to get their business off the ground.

The **Motion** was carried by the following vote:

VOTE: 9-0
AYE: Buckner, Campbell, Hood, Jones, Mayo, Miller,
Saunders, Vogler, and Whittle, (9)
NAY: None (0)

PUBLIC HEARING - CONSIDERATION OF AMENDING OR ESTABLISHING RENTAL FEES FOR A NEW CORPORATE HANGER

Mayor Jones opened the floor for a Public Hearing regarding Rental Fees on a Corporate Hangar. Notice of the Public Hearing was published in the *Danville Register & Bee* on September 26, 2023 and October 3, 2023. No one present desired to be heard and the Public Hearing was closed.

Upon **Motion** by Council Member Buckner and **second** by Council Member Whittle, an Ordinance entitled:

ORDINANCE NO. 2023-10.10

October 5, 2023

AN ORDINANCE AMENDING AND ESTABLISHING MONTHLY RENTAL FEES FOR A NEW HANGAR LOCATED AT THE DANVILLE REGIONAL AIRPORT EFFECTIVE NOVEMBER 1, 2023.

was presented by its **First Reading**, as required by City Charter, to lie over before final adoption.

COMMUNICATIONS FROM VISITORS

Mayor Jones acknowledged Mr. Jesse Barksdale, thanked him for being here tonight and asked that everyone give him a round of applause.

COMMUNICATIONS

City Manager Ken Larking apologized for missing National Night Out and stated he did receive good reports from the events taking place throughout the City. He was grateful to the staff that helped support that and hoped everyone on Council had a good time.

There were no communications from Deputy City Manager, City Attorney, or City Clerk.

Council Member Buckner reminded everyone of PLAN Danville's corner party at Culture Restaurant on October 10 from 5:30 pm to 7:30 pm and encouraged citizens to attend. It was always a great thing when the citizens can offer input to what goes on in the City. The decisions made will continue for generations to come. Mr. Buckner gave a shout out to Coach Marcus Luck at Luck's Boxing and their friend Ms. Britian Beltran who defended her title for the third time. The Robert Marsh art expo opening reception was October 8 from 3 pm to 5 p.m. and will remain open from October 8 to December 23. These were works completed by his students.

Council Member Campbell stated he was looking forward to attending VML this weekend to learn what can be brought back to Danville, and also noted the importance of climate change.

Council Member Hood noted the importance of partnerships; this was something that they have been really strong about. Looking at the organizations and the work that they were doing in the community was spilling over. National Night Out was awesome as always, and Mr. Hood encouraged citizens to come out to Culture's event on October 10, the event at S&D Family Barber Shop, and Dougie Fresh will be coming back to Danville on October 21 at 4 pm at the Carrington Pavilion.

Council Member Mayo announced that Brightview awarded Danville City Council the Brightview Champions award for outstanding service to the recovery community. National Night Out was a great event and kudos to Council and the school board for working together and representing the City well. Mr. Mayo noted DCC will be hosting their second annual job and resource fair on November 1 from 9 am to 3 pm at the Community Market. Over 60 agencies and employers have signed up already and employers will be hiring on the spot.

Vice Mayor Miller stated the Bealle's grand opening was wonderful, and stated if citizens haven't been to a PLAN Danville party they need to come to one. National Night Out was a wonderful night for the 50th year in a row.

Council Member Saunders asked Mr. Barksdale to come forward and thanked him on behalf of City Council for representing the region well and for everything he has done throughout his life. Mr. Saunders encouraged staff to look for a win-win when looking at Air BnB's.

October 5, 2023

Council Member Vogler noted there was a housing summit coming up that touches on it, but the housing needs in Danville were huge thanks to the great work that has been happening in the community over the past few years. The vote taken earlier tonight on the PDJ development, that was huge and a game changer; that was over 300 units being built on a beautiful concept as soon as people come into the City. If there were developers watching who want to become involved in an amazing City, Danville was it.

Mayor Jones thanked everyone for coming out tonight, for watching at home, and discussed National Night Out, noting there were a lot of good things happening in Danville. Mayor Jones stated Bishop Hairston passed today and their thoughts and prayers were with his family.

Meeting was adjourned at 8:43 pm.

APPROVED:

MAYOR

ATTEST:

CITY CLERK

Council Letter

City of Danville, Virginia



CL - 921

NEW BUSINESS A.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by Late Bloomers LLC requesting a Special Use Permit at 115 Howeland Circle to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23- 00210, filed by Late Bloomers LLC, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 21172 (115 Howeland Circle) in Accordance with Article 3.E., Section C., Item 29.

SUMMARY

115 Howeland Circle is zoned OT-R, Old Town Residential. The applicant, Late Bloomers, LLC, has requested a Special Use Permit to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

The subject property was built in 1925 and is a single family dwelling. There is on-street parking but no private driveway. There has not been a Certificate of Occupancy inspection. The applicant has identified a property manager located in Providence, NC, roughly six miles from the property.

On October 5, 2023, City Council granted a Special Use Permit for a short-term rental at 121 Howeland Circle, the adjacent property.

Forty-four (44) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Seven (7) responses were received, Five (5) were unopposed and two (2) were opposed.

On October 10, 2023, the City Planning Commission voted 3-2 to recommend approval of Special Use Permit request PZ23-00210 to operate a short-term rental as a principal use in accordance with Article 3.E. Section C Item 29 with the following conditions:

1. No more than 2 cars allowed by renter(s);
2. Off-street parking must be provided; and
3. Maximum rental of three (3) bedrooms and 6 persons.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate a Short-Term Rental as a principal use at 115 Howeland Circle (Parcel 21172) in accordance with Article 3.E. Section C Item 29 with the following conditions:

1. No more than 2 cars allowed by renter(s);
2. Off-street parking must be provided; and
3. Maximum rental of three (3) bedrooms and 6 persons.

Attachments

1. Ordinance
 2. Application
 3. 115 Howeland Circle - Aerials
 4. 115 Howeland Circle - Landuse
 5. 115 Howeland Circle - Owners
 6. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00210, FILED BY LATE BLOOMERS LLC, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 21172 (115 HOWELAND CIRCLE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00210, filed by Late Bloomers LLC, requesting a Special Use Permit to operate a Short-Term Rental, as a principal use, at Parcel ID 21172 (115 Howeland Circle) in accordance with Article 3.E., Section C., Item 29, be and the same is hereby received; subject to the following conditions:

1. No more than two (2) cars allowed by renter(s).
2. Off-street parking must be provided.
3. Maximum rental of three (3) bedrooms and six (6) persons.

AND BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00210, filed by Late Bloomers LLC, requesting a Special Use Permit to operate a Short-Term Rental at Parcel ID 21172 (115 Howeland Circle) in accordance with Article 3.E., Section C., Item 29, is hereby granted and approved, subject to the following conditions:

1. No more than two (2) cars allowed by renter(s).
2. Off-street parking must be provided.
3. Maximum rental of three (3) bedrooms and six (6) persons.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney



CITY PLANNING COMMISSION

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator, and shall be accompanied by the filing fee of \$360.
2. If the request for a special use permit has been denied by City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.
3. The application shall include the following information:
 - a. A preliminary site plan in accordance with the Site Plan Regulations.
 - b. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - c. A written statement of proposed project compatibility with the following:
 - (1.) The Comprehensive Plan.
 - (2.) The applicable zoning district.
 - (3.) The surrounding properties.
 - (4.) Current and future neighborhood conditions.
 - (5.) Pedestrian and vehicular traffic patterns, on-site and off-site.
 - (6.) Adequate public facilities.
 - d. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - (1.) The architectural elevations and floor plans of proposed building(s).
 - (2.) Traffic impact analysis.
 - (3.) Fiscal impact analysis.
 - (4.) Parking and site circulation analysis.
 - (5.) Photographs of property and surrounding area.
 - (6.) Environmental impact statement.

PLANNING DIVISION PROVIDED INFORMATION

Application #: P223-00210 PC Meeting Date: Aug 7, 2023
Date Received: 6-22-23 Received By: Charles Fulcher
Parcel ID: _____ Address: 115 Howland Circle
Existing Zoning _____ Future Land Use: Air BNB

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 115 Howland Cir. Danville, Va.

Applicant: Diane Nevells 24541

Applicant's Address: 749 Piney Forest Rd #136, Dan. VA 24540

Applicant's Phone Number: (434) 250-9936

Applicant's E-mail: dnevells60@gmail.com

Describe Proposed Request: I want to use this

property for short-term rental and
AirBnb

[Signature]
Applicant Signature

6/21/23
date

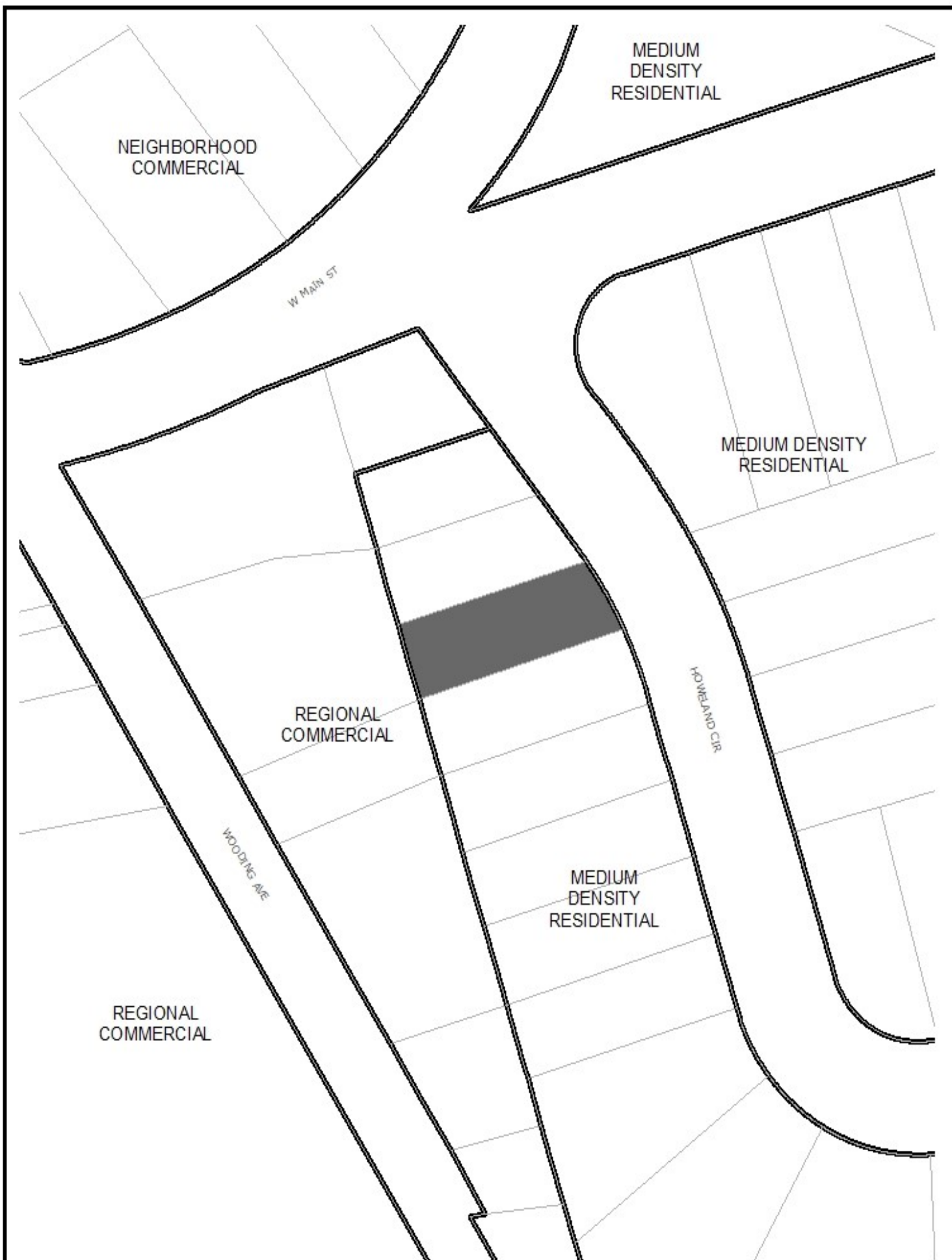
Diane Nevells 6/21/23
Property Owner Signature date
(if not applicant)



2019 AERIAL VIEW OF AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
7/14/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
7/14/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY



Prepared by:
Planning Division
7/14/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00210

REQUEST

Special Use Permit application PZ23-00210 filed by Late Bloomers LLC requesting a Special Use Permit at 115 Howland Circle (Parcel 21172) to allow short-term rental as principal use in accordance with Article 3.E Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 3 – 2 to recommend approval of Special Use Permit Request PZ23-00210 with the following conditions:

1. No more than 2 cars allowed by renter(s)
2. Off-street parking must be provided
3. Maximum rental of three (3) bedrooms and 6 persons

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 922

NEW BUSINESS B.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of Denying a Special Use Permit Application filed by Preferred Management Group on behalf of 2 JD LLC Requesting a Special Use Permit at 151 Virginia Avenue to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. A Resolution Denying Special Use Permit Application PZ23- 00271, filed by Preferred Management Group on Behalf of 2 JD LLC, Requesting a Special Use Permit to Operate a Short-Term Rental in Accordance with Article 3.E., Section C., Item 29 at Parcel ID 20470 (151 Virginia Avenue).

SUMMARY

151 Virginia Avenue is zoned OT-R, Old Town Residential. The applicant, Preferred Management Group, has requested a Special Use Permit to operate a Short-Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

The subject property was built in 1922 and is a duplex dwelling. The applicant is requesting the special use permit for the 151 Virginia Avenue unit only. There is on-street parking and there is a two-car driveway dedicated to this unit. There has been a Certificate of Occupancy inspection, but additional work must be completed before the certificate can be issued. The applicant is a property management company local to Danville and will be acting as the manager of this location.

Fifty-six (56) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Forty-four (44) responses were received, fifteen (15) were unopposed and twenty-nine (29) were opposed.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend denial of Special Use Permit request PZ23-00271 to operate a short-term rental as a principal use at 151 Virginia Avenue (Parcel ID 20470).

RECOMMENDATION

It is recommended that City Council adopt a Resolution to deny the request for a Special Use Permit to operate a short-term rental as a principal use in accordance with Article 3.E Section C Item 29 at 151 Virginia Avenue (Parcel ID 20470).

Attachments

1. Resolution
 2. 151 Virginia Avenue - Aerials
 3. 151 Virginia Avenue - Landuse
 4. 151 Virginia Avenue - Owners
 5. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

RESOLUTION NO. 2023____.____

A RESOLUTION DENYING SPECIAL USE PERMIT APPLICATION PZ23-00271, FILED BY PREFERRED MANAGEMENT GROUP ON BEHALF OF 2 JD LLC, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29 AT PARCEL ID 20470 (151 VIRGINIA AVENUE).

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending denial of Special Use Permit Application PZ23-00271, filed by Preferred Management Group on behalf of 2 JD LLC, requesting a Special Use Permit to operate a short-term rental as a principal use, in accordance with Article 3.E., Section C., Item 29 at 151 Virginia Avenue (Parcel ID 21172), is hereby received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00271, filed by Preferred Management Group on behalf of 2 JD LLC, requesting a Special Use Permit to operate a short-term rental as a principal use in accordance with Article 3.E., Section C., Item 29 at 151 Virginia Avenue (Parcel ID 21172), is hereby denied.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

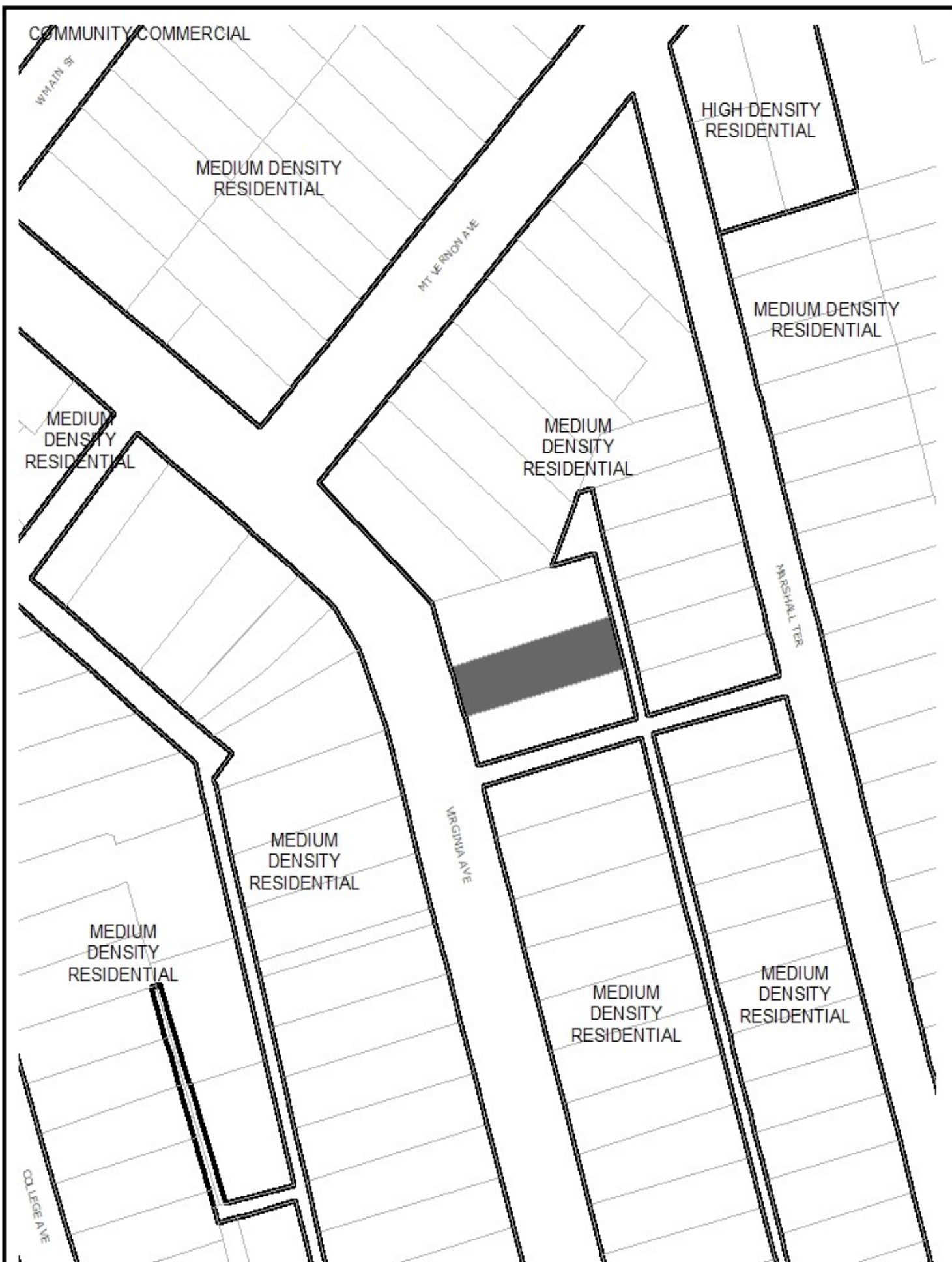
City Attorney



2019 AERIAL VIEW OF AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
8/10/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
8/10/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY



Prepared by:
Planning Division
8/10/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00271

REQUEST

Special Use Permit application PZ23-00271 filed by Preferred Management Group on behalf of 2 JD LLC requesting a Special Use Permit at 151 Virginia Avenue (Parcel 20470) to allow short-term rental as principal use in accordance with Article 3.E Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend denial of Special Use Permit Request PZ23-00271 as submitted.

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 923

NEW BUSINESS C.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by Misty and Derek Adams on behalf of DM Woodstock Enterprise, LLC Requesting a Special Use Permit at 1244 Westover Drive to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23- 00312, filed by Misty and Derek Adams on Behalf of DM Woodstock Enterprise, LLC, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 50398 (1244 Westover Drive) in Accordance with Article 3.E., Section C., Item 29.

SUMMARY

1244 Westover Drive is zoned OT-R, Old Town Residential. The applicant, DM Woodstock Enterprise, LLC, has requested a Special Use Permit to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

The subject property was built in 1930 and is a single family dwelling. There is a private driveway. A Certificate of Occupancy for 4 persons was approved on October 10, 2023. The applicant will act as property manager and lives nearby in Danville.

Thirty-nine (39) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Nine (9) responses were received, eight (8) were unopposed and one (1) was opposed.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend approval of Special Use Permit request PZ23-00312 to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate a Short Term Rental as a principal use at 1244 Westover Drive (Parcel 50398) in accordance with Article 3.E. Section C Item 29.

Attachments

1. Ordinance
 2. Applicant Information
-

3. Special Use Permit Application
 4. 1244 Westover Drive - Aerials
 5. 1244 Westover Drive - Landuse
 6. 1244 Westover Drive - Owners
 7. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00312, FILED BY MISTY AND DEREK ADAMS ON BEHALF OF DM WOODSTOCK ENTERPRISE, LLC, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 50398 (1244 WESTOVER DRIVE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00312, filed by Misty and Derek Adams on behalf of DM Woodstock Enterprise, LLC, requesting a Special Use Permit to operate a Short-Term Rental, as a principal use, at Parcel ID 50398 (1244 Westover Drive) in accordance with Article 3.E., Section C., Item 29, be and the same is hereby received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00312, filed by Misty and Derek Adams on behalf of DM Woodstock Enterprise, LLC, requesting a Special Use Permit to operate a Short-Term Rental at Parcel ID 50398 (1224 Westover Drive) in accordance with Article 3.E., Section C., Item 29, is hereby granted and approved.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 1224 Westover Drive

Applicant: David Lindley Riley, Jr. Kristen Thompson-Riley

Applicant's Address: 139 Stoneham Rd. Mebane, NC 27302

Applicant's Phone Number: 919-428-0766

Applicant's E-mail: kristen.thompson-riley@autodesk.com

Describe Proposed Request: operate a short term rental

David Lindley Riley, Jr. 10/02/23
Applicant Signature date

Kristen Thompson-Riley 10/02/23
Applicant Signature date

Misty Adams 10/02/23
Property Owner Signature date
(if not applicant)

DM Woodstock Enterprise, LLC / Owner



CITY PLANNING COMMISSION

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator, and shall be accompanied by the filing fee of \$360.
2. If the request for a special use permit has been denied by City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.
3. The application shall include the following information:
 - a. A preliminary site plan in accordance with the Site Plan Regulations.
 - b. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - c. A written statement of proposed project compatibility with the following:
 - (1.) The Comprehensive Plan.
 - (2.) The applicable zoning district.
 - (3.) The surrounding properties.
 - (4.) Current and future neighborhood conditions.
 - (5.) Pedestrian and vehicular traffic patterns, on-site and off-site.
 - (6.) Adequate public facilities.
 - d. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - (1.) The architectural elevations and floor plans of proposed building(s).
 - (2.) Traffic impact analysis.
 - (3.) Fiscal impact analysis.
 - (4.) Parking and site circulation analysis.
 - (5.) Photographs of property and surrounding area.
 - (6.) Environmental impact statement.

PLANNING DIVISION PROVIDED INFORMATION

Application #: P223-00312 PC Meeting Date: October 10, 2023
Date Received: 8-28-2023 Received By: Lisa Jones
Parcel ID: 50398 Address: 1244 Westover Drive
Existing Zoning: OTR Future Land Use: Short term Rental

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 1244 Westover Dr Danville, VA 24541

Applicant: DM Woodstock Enterprise, LLC / Misty & Derek Adams

Applicant's Address: 117 Woodstock Way Danville, VA 24541

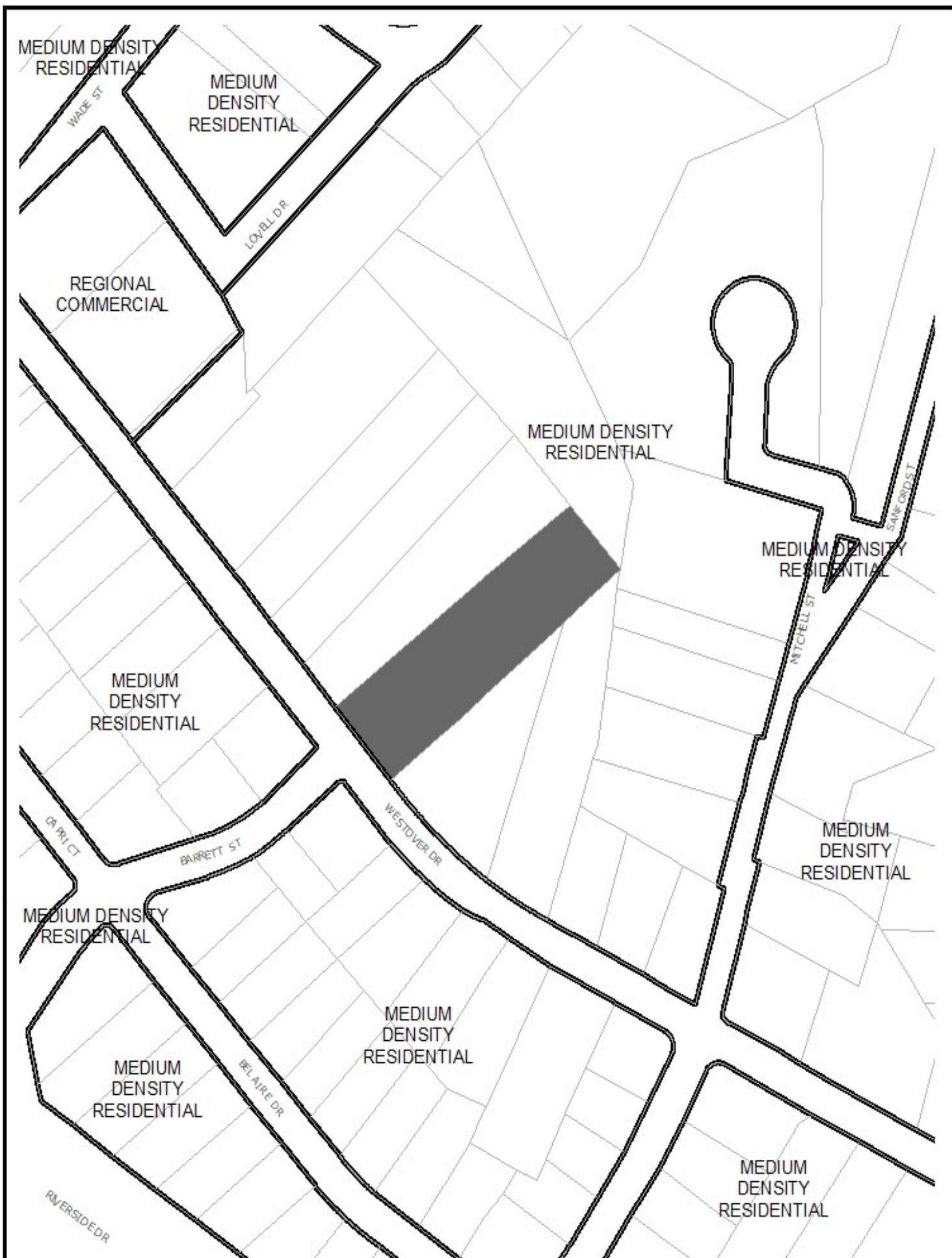
Applicant's Phone Number: 434-251-8291

Applicant's E-mail: Dmwoodstockenterprisellc@gmail.com

Describe Proposed Request: Special Use Permit for STR at 1244 Westover Dr

Misty Adams 8-28-23 Misty Adams 8-28-23
Applicant Signature date Property Owner Signature date
(if not applicant)

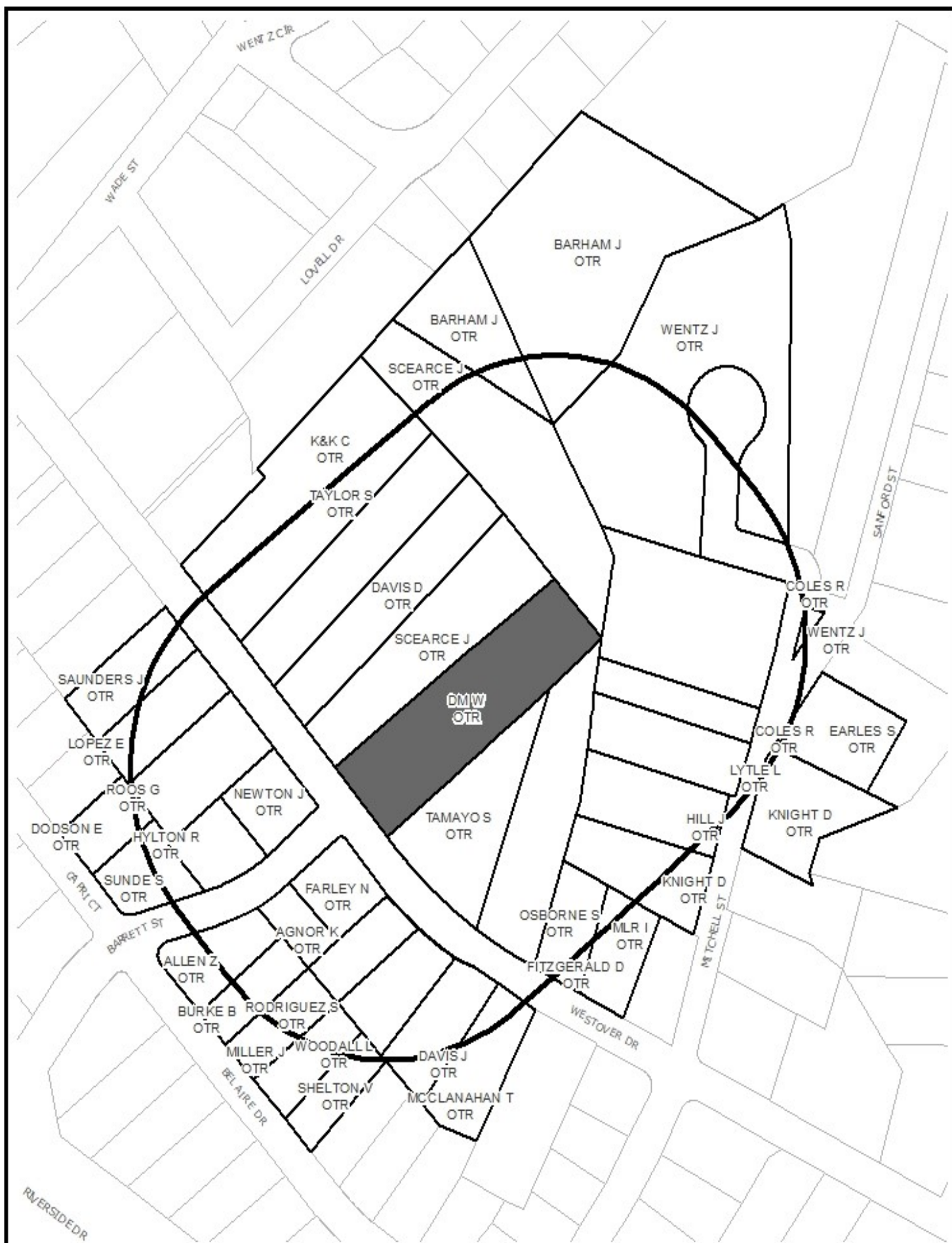




YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY

Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00312

REQUEST

Special Use Permit application PZ23-00312 filed by Misty and Derek Adams on behalf of DM Woodstock Enterprise, LLC requesting a Special Use Permit at 1244 Westover Drive (Parcel 50398) to allow short-term rental as principal use in accordance with Article 3.E Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend approval of Special Use Permit Request PZ23-00312 as submitted.

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 924

NEW BUSINESS D.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by Anthony C. Martin Requesting a Special Use Permit at 85 Ashlawn Drive to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23- 00327, filed by Anthony C. Martin, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 53437 (85 Ashlawn Drive) in Accordance with Article 3.E., Section C., Item 29.

SUMMARY

85 Ashlawn Drive is zoned OT-R, Old Town Residential. The applicant, Anthony Martin, has requested a Special Use Permit to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

The subject property was built in 1940 and is a single family residential dwelling. There is on-street parking and no private driveway on the property. A Certificate of Occupancy for 5 persons was approved on October 10, 2023. The applicant will serve as the property manager and lives approximately six (6) minutes away.

Fifty-one (51) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Five (5) responses were received; all five (5) were unopposed.

On October 10, 2023, the City Planning Commission voted 5 - 1 to recommend approval of Special Use Permit request PZ23-00327 to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate a Short Term Rental as a principal use at 85 Ashlawn Drive (Parcel ID 53437) in accordance with Article 3.E. Section C Item 29.

Attachments

1. Ordinance
 2. Special Use Permit Application
 3. 85 Ashlawn Drive - Aerials
-

4. 85 Ashlawn Drive - Landuse
 5. 85 Ashlawn Drive - Owners
 6. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00327, FILED BY ANTHONY C MARTIN, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 53437 (85 ASHLAWN DRIVE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00327, filed by Anthony C. Martin, requesting a Special Use Permit to operate a Short-Term Rental, as a principal use, at Parcel ID 53437 (85 Ashlawn Drive) in accordance with Article 3.E., Section C., Item 29, be and the same is hereby received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00327, filed by Anthony C. Martin, requesting a Special Use Permit to operate a Short-Term Rental at Parcel ID 53437 (85 Ashlawn Drive) in accordance with Article 3.E., Section C., Item 29, is hereby granted and approved.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney



CITY PLANNING COMMISSION

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator, and shall be accompanied by the filing fee of \$360.
2. If the request for a special use permit has been denied by City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.
3. The application shall include the following information:
 - a. A preliminary site plan in accordance with the Site Plan Regulations.
 - b. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - c. A written statement of proposed project compatibility with the following:
 - (1.) The Comprehensive Plan.
 - (2.) The applicable zoning district.
 - (3.) The surrounding properties.
 - (4.) Current and future neighborhood conditions.
 - (5.) Pedestrian and vehicular traffic patterns, on-site and off-site.
 - (6.) Adequate public facilities.
 - d. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - (1.) The architectural elevations and floor plans of proposed building(s).
 - (2.) Traffic impact analysis.
 - (3.) Fiscal impact analysis.
 - (4.) Parking and site circulation analysis.
 - (5.) Photographs of property and surrounding area.
 - (6.) Environmental impact statement.

PLANNING DIVISION PROVIDED INFORMATION

Application #: 1223-00327 PC Meeting Date: October 10, 2023
Date Received: 8-31-23 Received By: Lisa Jones
Parcel ID: 53437 Address: 85 Ashlawn Drive
Existing Zoning OTR Future Land Use: _____

Parcel ID: 53437

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 85 Ashlawn Drive Danville VA 24541

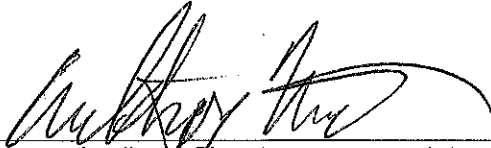
Applicant: Anthony C. Martin

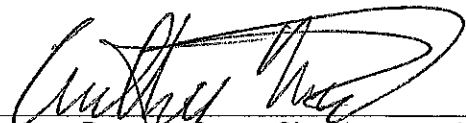
Applicant's Address: 344 Ross Street Danville, VA 24541

Applicant's Phone Number: 434) 710-9574

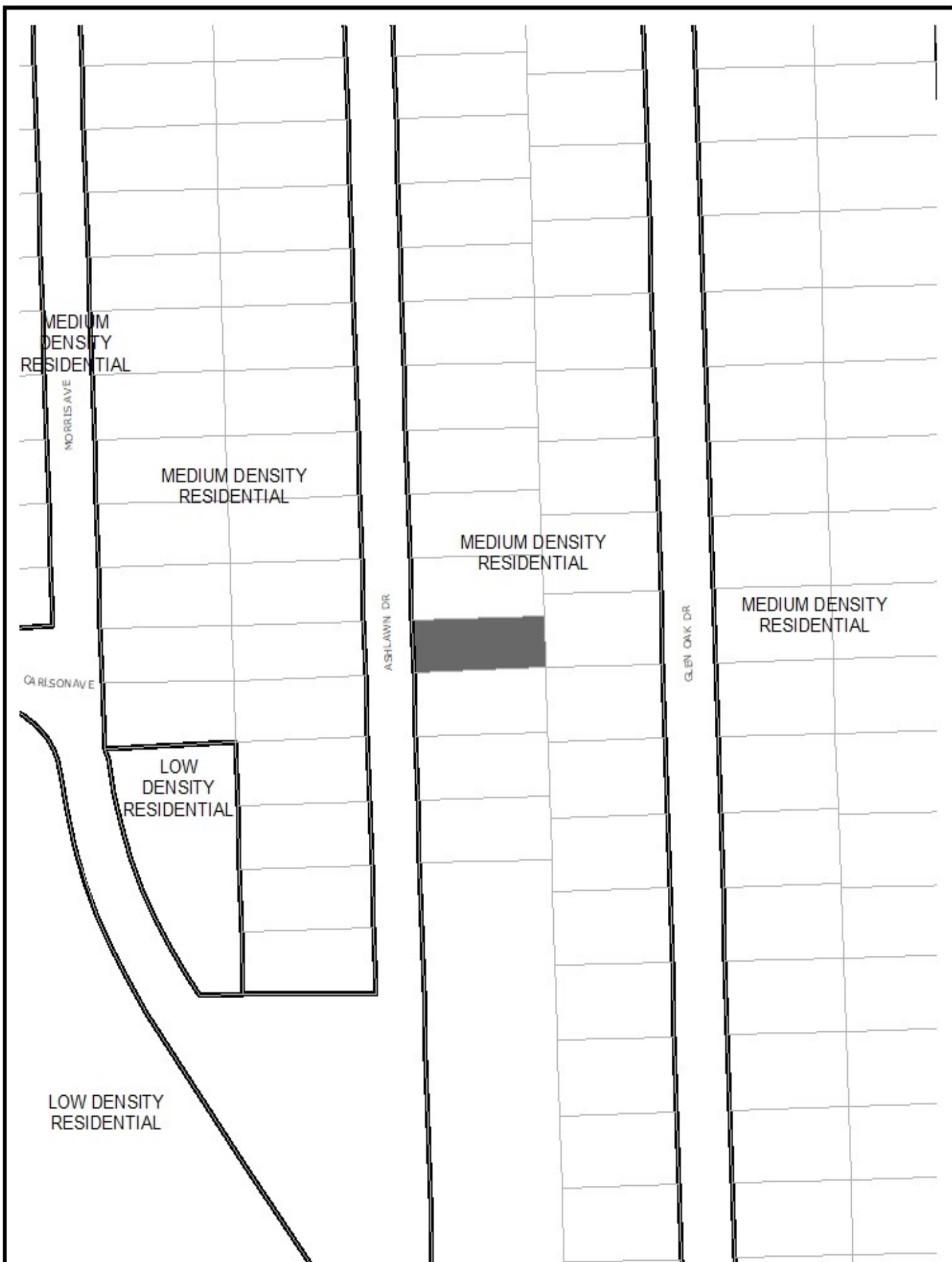
Applicant's E-mail: Kimberlyhughes2@yahoo.com

Describe Proposed Request: Air B+B and Traveling Nurses


Applicant Signature date


Property Owner Signature date
(if not applicant)

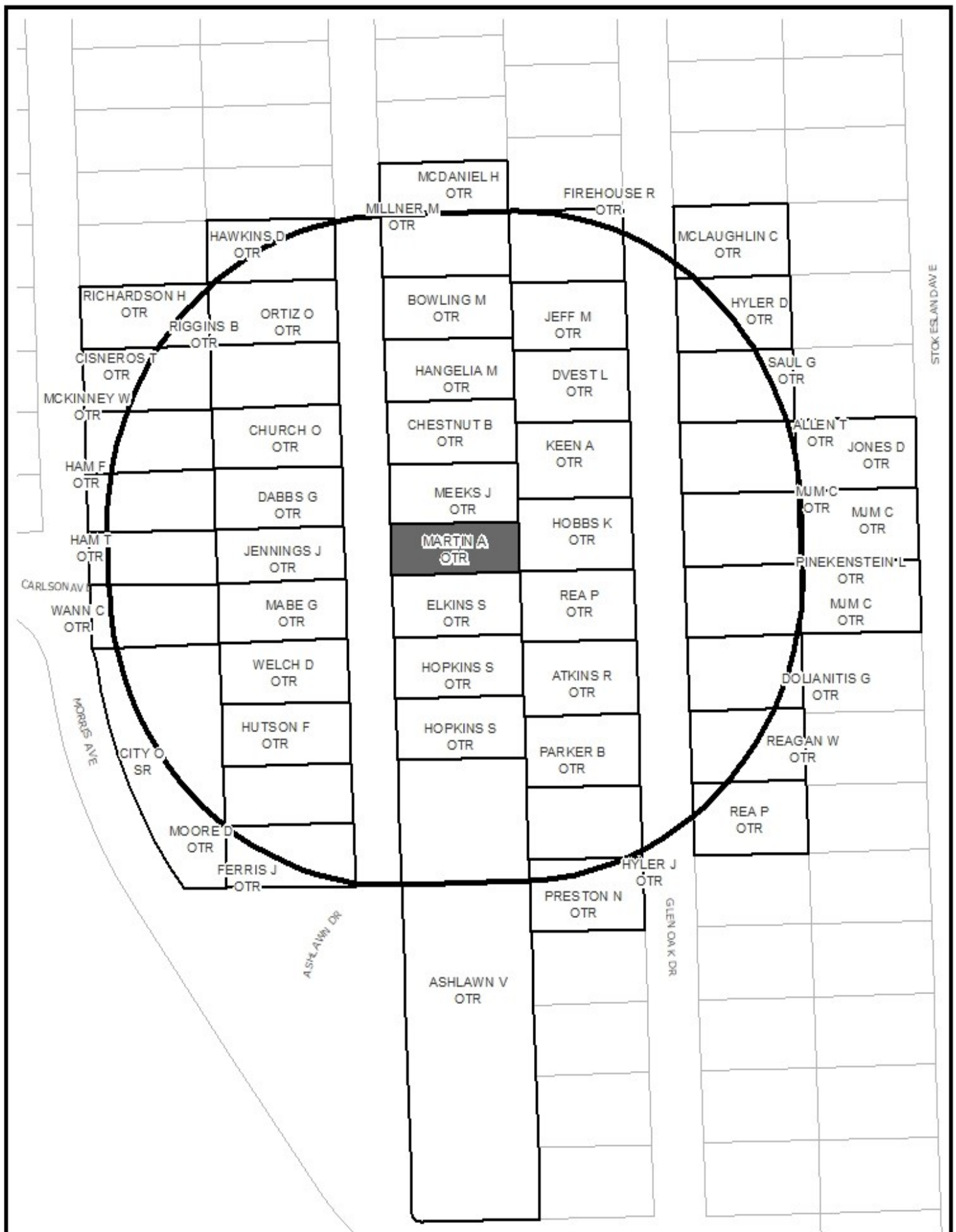




YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
9/19/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY



Prepared by:
Planning Division
9/19/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00327

REQUEST

Special Use Permit application PZ23-00327 filed by Anthony C. Martin requesting a Special Use Permit at 85 Ashlawn Drive (Parcel 53437) to allow short-term rental as principal use in accordance with Article 3.E Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 5 – 1 to recommend approval of Special Use Permit Request PZ23-00327 as submitted.

 RB

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 925

NEW BUSINESS E.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by David Gold and Juli Reeves Requesting a Special Use Permit at 118 Mt Vernon Avenue to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23- 00314, filed by David Gold and Juli Reeves, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 23302 (118 Mt Vernon Avenue) in Accordance with Article 3.E., Section C., Item 29.

SUMMARY

118 Mt Vernon Avenue is zoned OT-R, Old Town Residential. The applicants, David Gold and Juli Reeves, have requested a Special Use Permit to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

The subject property was built in 1915 and is a single family residential dwelling. There is on-street parking and a private driveway. A Certificate of Occupancy for 6 persons was approved on October 11, 2023. The applicant has identified a property manager who lives in Chapel Hill, NC, which is fifty miles from Danville.

Forty (40) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Seven (7) responses were received, five (5) were unopposed and two (2) were opposed.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend approval of Special Use Permit request PZ23-00314 to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate a Short Term Rental as a principal use at 118 Mt. Vernon Avenue (Parcel 23302) in accordance with Article 3.E. Section C Item 29.

Attachments

1. Ordinance
 2. Application
 3. Applicant Information
 4. 118 Mt Vernon Avenue - Aerials
 5. 118 Mt Vernon Avenue - Landuse
 6. 118 Mt Vernon Avenue - Owners
 7. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00314, FILED BY DAVID GOLD AND JULI REEVES, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 23302 (118 MT VERNON AVENUE) IN ACCORDANCE WITH ARTICLE 3.E., SECTION C., ITEM 29.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00314, filed by David Gold and Juli Reeves, requesting a Special Use Permit to operate a Short-Term Rental, as a principal use, at Parcel ID 23302 (118 Mt Vernon Avenue) in accordance with Article 3.E., Section C., Item 29, be and the same is hereby received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00314, filed by David Gold and Juli Reeves, requesting a Special Use Permit to operate a Short-Term Rental at Parcel ID 23302 (118 Mt Vernon Avenue) in accordance with Article 3.E., Section C., Item 29, is hereby granted and approved.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney



CITY PLANNING COMMISSION

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator, and shall be accompanied by the filing fee of \$360.
2. If the request for a special use permit has been denied by City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.
3. The application shall include the following information:
 - a. A preliminary site plan in accordance with the Site Plan Regulations.
 - b. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - c. A written statement of proposed project compatibility with the following:
 - (1.) The Comprehensive Plan.
 - (2.) The applicable zoning district.
 - (3.) The surrounding properties.
 - (4.) Current and future neighborhood conditions.
 - (5.) Pedestrian and vehicular traffic patterns, on-site and off-site.
 - (6.) Adequate public facilities.
 - d. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - (1.) The architectural elevations and floor plans of proposed building(s).
 - (2.) Traffic impact analysis.
 - (3.) Fiscal impact analysis.
 - (4.) Parking and site circulation analysis.
 - (5.) Photographs of property and surrounding area.
 - (6.) Environmental impact statement.

PLANNING DIVISION PROVIDED INFORMATION

Application #: PZ-23-00314 PC Meeting Date: Oct. 10
Date Received: 8-28-23 Received By: Williss
Parcel ID: 23302 Address: 118 Mt. Vernon Ave
Existing Zoning OT-R Future Land Use: _____

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 118 MT VERNON AVE DANVILLE VA 24541

Applicant: DAVID GOLD + JULI REEVES

Applicant's Address: 5807 BRISBANE DR CHAPEL HILL NC
27514

Applicant's Phone Number: 919-815-7658

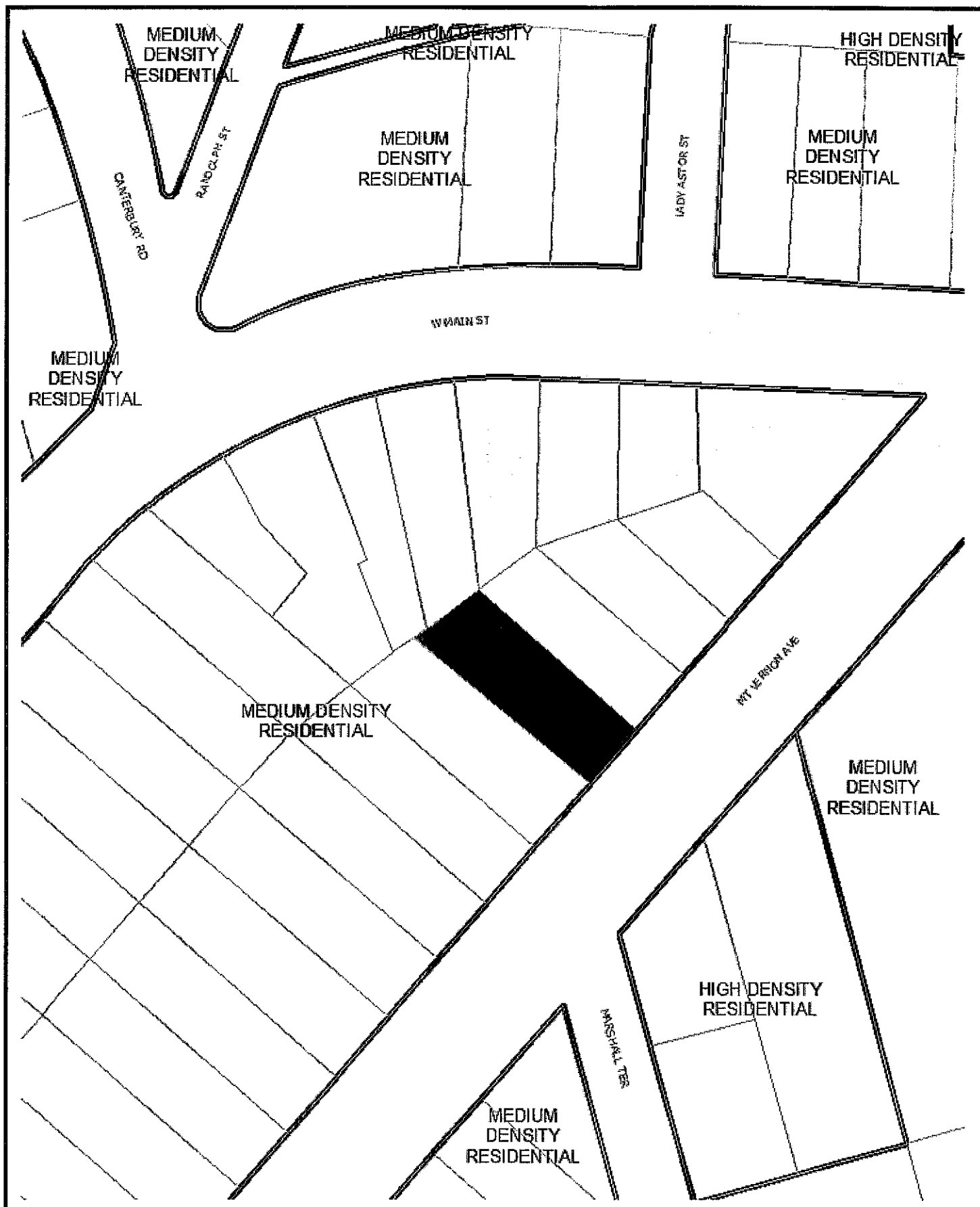
Applicant's E-mail: dave@davegold.com

Describe Proposed Request: seeking approval to use
property for short term rentals

David Gold Juli Reeves 8/24/22
Applicant Signature date

Property Owner Signature (if not applicant) date

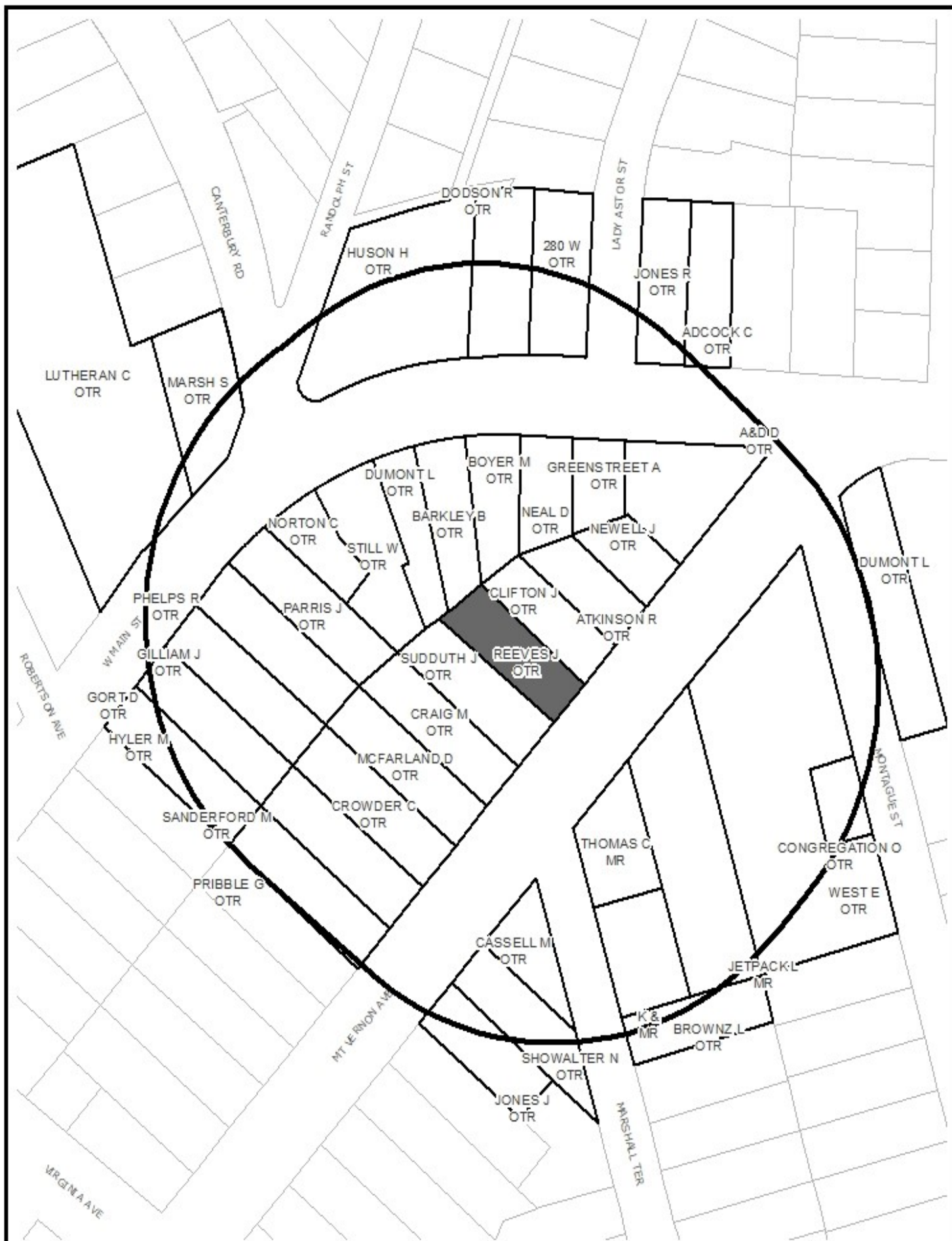




YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation or warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY

Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00314

REQUEST

Special Use Permit application PZ23-00314 filed by David Gold and Juli Reeves requesting a Special Use Permit at 118 Mt Vernon Avenue (Parcel 23302) to allow short-term rental as principal use in accordance with Article 3.E Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend approval of Special Use Permit Request PZ23-00314 as submitted.

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 926

NEW BUSINESS F.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by Tamara Belotti Requesting a Special Use Permit at 440 Mimosa Street to Allow Short-Term Rental as Principal Use.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23- 00316, filed by Tamara Belotti, Requesting a Special Use Permit to Operate a Short-Term Rental at Parcel ID 56067 (440 Mimosa Street) in Accordance with Article 3.C., Section C., Item 29.

SUMMARY

440 Mimosa Street is zoned S-R Suburban Residential. The applicant, Tamara Belotti, has requested a Special Use Permit to operate a Short Term Rental as a principal use in accordance with Article 3.C. Section C Item 29.

The subject property was built in 1943 and is a single family residential dwelling. There is no on-street parking, but there is a private driveway. A Certificate of Occupancy for 5 persons was approved on October 11, 2023. The applicant will act as property manager and lives nearby in Cascade, VA.

Twenty-six (26) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Nine (9) responses were received; all nine (9) were unopposed.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend approval of Special Use Permit request PZ23-00316 to operate a Short Term Rental as a principal use in accordance with Article 3.E. Section C Item 29.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate a Short Term Rental as a principal use at 440 Mimosa Street (Parcel 56067) in accordance with Article 3.C. Section C Item 29.

Attachments

1. Ordinance
 2. Special Use Permit Application
 3. Applicant Information
 4. 440 Mimosa Street - Aerials
 5. 440 Mimosa Street - Landuse
-

6. 440 Mimosa Street - Owners
 7. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00316, FILED BY TAMARA BELOTTI, REQUESTING A SPECIAL USE PERMIT TO OPERATE A SHORT-TERM RENTAL AT PARCEL ID 56067 (440 MIMOSA STREET) IN ACCORDANCE WITH ARTICLE 3.C., SECTION C., ITEM 29.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00316, filed by Tamara Belotti, requesting a Special Use Permit to operate a Short-Term Rental, as a principal use, at Parcel ID 56067 (440 Mimosa Street) in accordance with Article 3.C., Section C., Item 29, be and the same is hereby received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00316, filed by Tamara Belotti, requesting a Special Use Permit to operate a Short Term Rental at Parcel ID 56067 (440 Mimosa Street) in accordance with Article 3.C., Section C., Item 29, is hereby granted and approved.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney



CITY PLANNING COMMISSION

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator, and shall be accompanied by the filing fee of \$360.
2. If the request for a special use permit has been denied by City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.
3. The application shall include the following information:
 - a. A preliminary site plan in accordance with the Site Plan Regulations.
 - b. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - c. A written statement of proposed project compatibility with the following:
 - (1.) The Comprehensive Plan.
 - (2.) The applicable zoning district.
 - (3.) The surrounding properties.
 - (4.) Current and future neighborhood conditions.
 - (5.) Pedestrian and vehicular traffic patterns, on-site and off-site.
 - (6.) Adequate public facilities.
 - d. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - (1.) The architectural elevations and floor plans of proposed building(s).
 - (2.) Traffic impact analysis.
 - (3.) Fiscal impact analysis.
 - (4.) Parking and site circulation analysis.
 - (5.) Photographs of property and surrounding area.
 - (6.) Environmental impact statement.

PLANNING DIVISION PROVIDED INFORMATION

Application #: P2-23-00314 PC Meeting Date: Oct. 10
Date Received: 8-28-23 Received By: Williss
Parcel ID: 23300 Address: 118 Mt. Vernon Ave
Existing Zoning OT-R Future Land Use: _____

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 118 MT VERNON AVE DANVILLE VA 24541

Applicant: DAVID GOLD + JULI REEVES

Applicant's Address: 5807 BRISBANE DR CHAPEL HILL NC 27514

Applicant's Phone Number: 919-815-7658

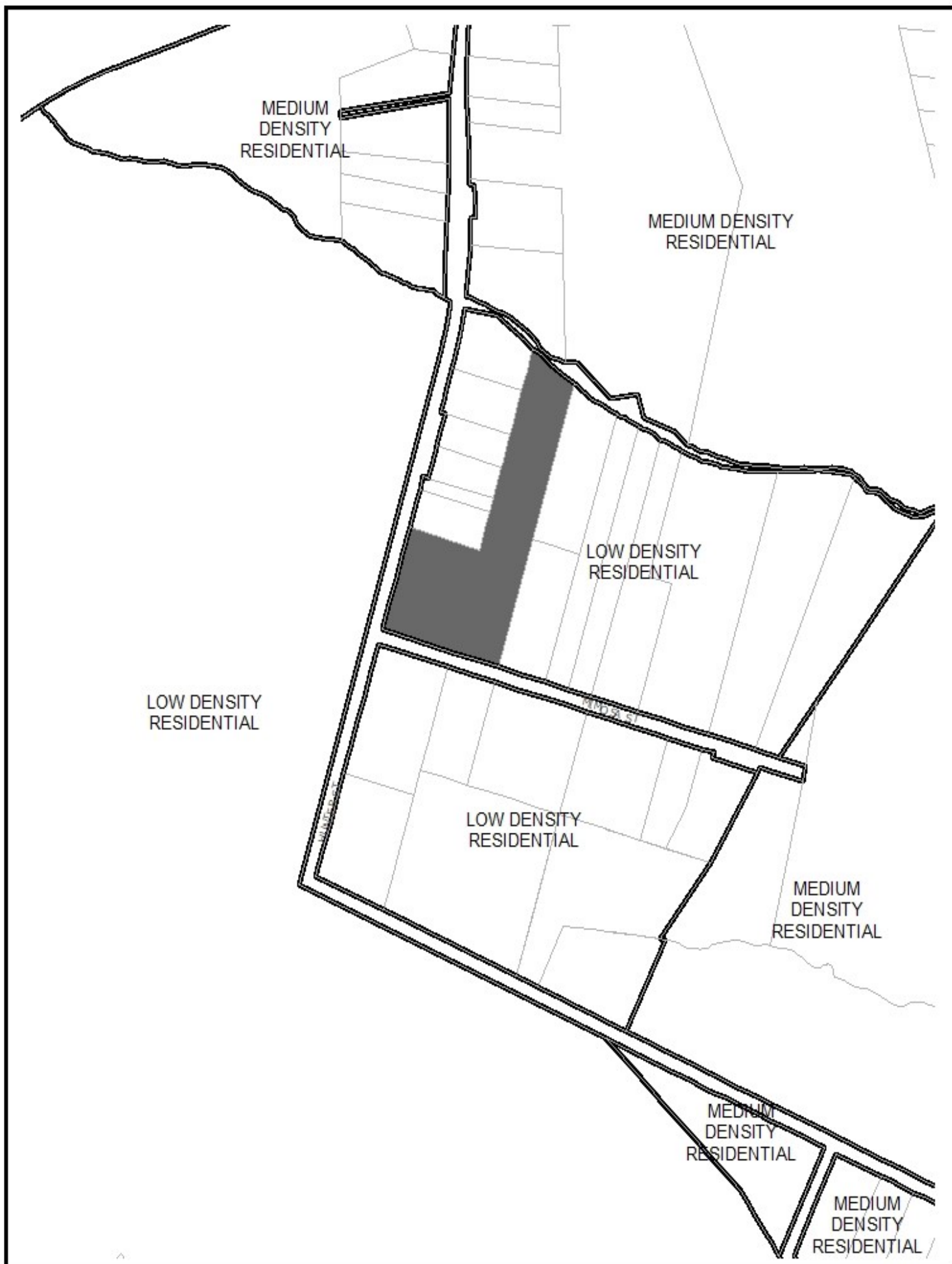
Applicant's E-mail: dave@davegold.com

Describe Proposed Request: seeking approval to use
property for short term rental

David Gold Juli Reeves 8/24/22
Applicant Signature date

Property Owner Signature date
(if not applicant)

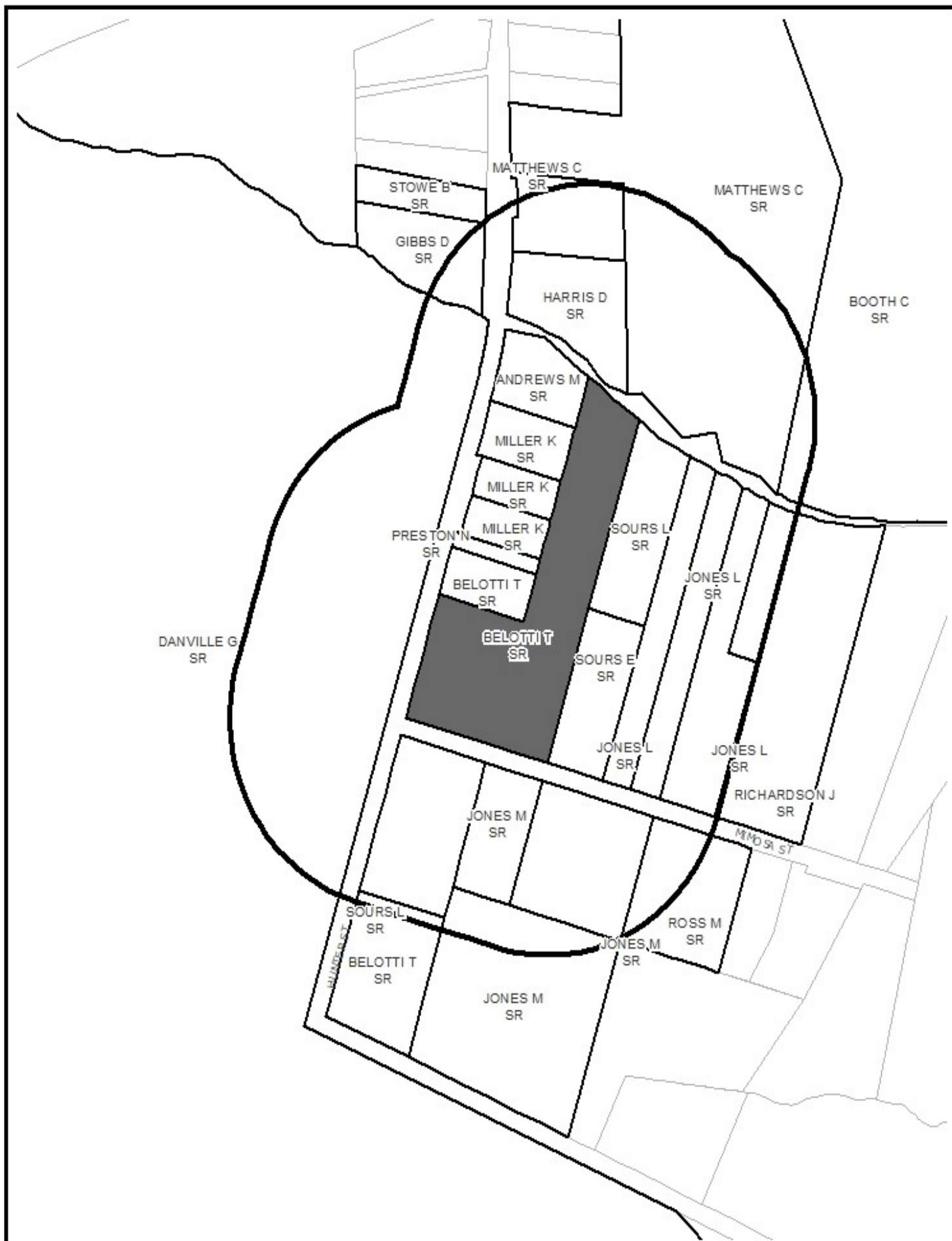




YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY



Prepared by:
Planning Division
9/18/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00316

REQUEST

Special Use Permit application PZ23-00316 filed by Tamara Belotti requesting a Special Use Permit at 440 Mimosa Street (Parcel 56067) to allow short-term rental as principal use in accordance with Article 3.C Section C Item 29.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend approval of Special Use Permit Request PZ23-00316 as submitted.

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 927

NEW BUSINESS G.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Code Amendment Request filed by James Osborne on behalf of Extreme Recovery of Danville to Amend Chapter 41 entitled "Zoning Ordinance" of the City of Danville, Specifically, to Amend Article 3. M. C. to Create Item 30. Automobile Salvage or other Salvage Yards.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Amending Chapter 41 Entitled, "Zoning Ordinance" of the Code of the City of Danville, Virginia, 1986, As Amended, More Specifically, to Amend Article 3.M. Entitled "HR-C, Retail Commercial", Section C., Entitled "Uses Permitted by Special Use Permit".

SUMMARY

The applicant, James Osborne, has requested a Code Amendment to create Article 3.M Section C Item 30 Automobile salvage or other salvage yards. Automobile salvage or other salvage yards is currently a use permitted by Special Use Permit within Article 3.0, LED-I, Light Economic Development, but not within Article 3.M, HR-C, Highway Retail Commercial. Creating Article 3.M Section C. Item 30 would create a new use classification, with a Special Use Permit, for the HR-C zoning district. This would allow a request for the operation of an automobile or other salvage yard to be approved on a case by case basis, considering the circumstances of each parcel and neighborhood independently.

Salvage yards are not known for their attractive appearance or quiet operations. However, staff understands that there are areas of the city where an automobile or other salvage yard may be operated in a HR-C zoning district and be compatible with the surrounding neighborhood. A Code Amendment allowing an automobile or other salvage yard by Special Use Permit will allow discretion to be used by City Council about the location of each proposed operation.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend approval of Code Amendment request PZ23-00339 to amend Chapter 41 entitled "Zoning Ordinance" of the City of Danville, Virginia, 1986 as amended. Specifically, amend Article 3.M. Section C to include Item 31 "Automobile salvage or other salvage yards".

RECOMMENDATION

It is recommended that City Council adopt an Ordinance amending Chapter 41 entitled "Zoning Ordinance" of the City of Danville, Virginia, 1986 as amended. Specifically, amend Article 3.M. Section C to include Item 31 "Automobile salvage or other salvage yards".

Attachments

1. Ordinance
 2. Application
 3. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE AMENDING CHAPTER 41 ENTITLED, "ZONING ORDINANCE" OF THE CODE OF THE CITY OF DANVILLE, VIRGINIA, 1986, AS AMENDED, MORE SPECIFICALLY, TO AMEND ARTICLE 3.M. ENTITLED "HR-C, RETAIL COMMERCIAL", SECTION C., ENTITLED "" "USES PERMITTED BY SPECIAL USE PERMIT".

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of an amendment to Chapter 41 entitled, "Zoning Ordinance" of the Code of the City of Danville, Virginia, 1986, as amended, specifically, to amend Article 3.M, Section C, be and the same is hereby, received; and

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, specifically, to approve an amendment to Chapter 41, entitled "Zoning Ordinance" of the Code of the City of Danville, Virginia, 1986, as amended, specifically to amend Article 3.M entitled "HR-C, Highway Retail Commercial", , Section C entitled " "Uses Permitted by Special Use Permit."to create Item 31 "Automobile salvage and other salvage yards", be, and the same is hereby amended and preordained to read as follows:

ARTICLE 3.M. HR-C, HIGHWAY RETAIL COMMERCIAL

C. Uses Permitted by Special Use Permit

31. Automobile salvage and other salvage yards.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

CODE CHANGE AMENDMENT

TO THE CITY PLANNING COMMISSION AND THE HONORABLE CITY COUNCIL

Application is hereby made for the Code Change Amendment as described below:

INFORMATION TO BE PROVIDED BY THE PLANNING DIVISION

CASE NUMBER:

DATE FILED:

RECEIVED FROM:

SECTION AFFECTED:

PLANNING COMMISSION DATE/ACTION:

CITY COUNCIL DATE/ACTION: _____

INFORMATION TO BE PROVIDED BY THE APPLICANT

Zoning Code Section:

Article 3.M.C

Purpose for proposed amendment:

Add Automobile Salvage yard

PRESENT OWNER(S) OF ALL PROPERTIES INCLUDED IN APPLICATION:

1. NAME (PLEASE PRINT OR TYPE):

ADDRESS:

EMAIL:

TELEPHONE:

SIGNATURE:

2. NAME (PLEASE PRINT OR TYPE): _____

ADDRESS:

TELEPHONE:

SIGNATURE:

APPLICANT (If the applicant is not the property owner, written authorization from the property owner must accompany this application).

NAME (PLEASE PRINT OR TYPE): James Conway Osborne

ADDRESS:

EMAIL:

TELEPHONE:

SIGNATURE:



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: CODE AMENDMENT APPLICATION PZ23-00339

REQUEST

Code Amendment Request PZ23-00339 filed by James Osborne on behalf of Extreme Recovery of Danville amend Chapter 41 entitled "Zoning Ordinance" of the City of Danville, 1986 as amended. Specifically, amend Article 3. M. C. to create Item 31. Automobile salvage or other salvage yards

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend approval of Code Amendment Request PZ23-00339 as submitted.

Mr. Steve Petrick, Chair

Council Letter

City of Danville, Virginia



CL - 928

NEW BUSINESS H.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of a Special Use Permit Application filed by James Osborne on behalf of Extreme Recovery of Danville Requesting a Special Use Permit at 4711 Riverside Drive to Allow Automobile Salvage.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Granting Special Use Permit Application PZ23-00340, filed by James Osborne on Behalf of Extreme Recovery of Danville, Requesting a Special Use Permit to Allow an Automobile Salvage Operation at Parcel ID 51529 (4711 Riverside Drive) in Accordance with Article 3.M., Section C., Item 31.

SUMMARY

The applicant, James Osborne, has requested a Special Use Permit in accordance with Article 3.M. Section C Item 30 "Automobile salvage and other salvage yards" at 4711 Riverside Drive (Parcel ID #51529). 4711 Riverside Drive was once a used car dealership and repair shop. The facility was not used for salvage vehicles during its operation.

An automobile salvage yard is defined as *any lot or place which is exposed to the weather and upon which more than five (5) motor vehicles of any kind incapable of being licensed or operated on the highways are placed, located or found.*

The request is to allow Extreme Recovery of Danville to use the facility as an automobile salvage yard. Extreme Recovery of Danville is a towing operation for damaged and repossessed vehicles. The property was purchased in August 2023 for this intended use. The applicant intends to fence and screen an area for security and aesthetic purposes.

The subject property is currently improved with a two-story metal building and fenced-in yard. The structure has an office and three (3) garage bays. Immediately to the east is a fenced storage yard operated by another entity. Vacant land surrounds the property to the north, south and west.

Thirteen (13) notices were sent to surrounding property owners within three hundred (300) feet of the subject property. Five (5) responses were received, two (2) were unopposed and three (3) were opposed.

On October 10, 2023, the City Planning Commission voted 6 - 0 to recommend approval of Special

Use Permit request PZ23-00340 to operate an automobile salvage yard in accordance with Article 3.M Section C Item 31 with the following conditions:

1. A screening fence is to be placed along VFW Drive,
2. No salvage parts may be sold, and
3. No salvage vehicles may be stored.

RECOMMENDATION

It is recommended that City Council adopt an Ordinance granting a Special Use Permit to operate an automobile salvage yard at 4711 Riverside Drive (Parcel ID 51529) in accordance with Article 3.M Section C Item 31 with the following conditions:

1. A screening fence is to be placed along VFW Drive,
2. No salvage parts may be sold, and
3. No salvage vehicles may be stored.

Attachments

1. Ordinance
 2. Application
 3. 4711 Riverside Drive - Aerials
 4. 4711 Riverside Drive - Landuse
 5. 4711 Riverside Drive - Owners
 6. Planning Commission Recommendation
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE GRANTING SPECIAL USE PERMIT APPLICATION PZ23-00340, FILED BY JAMES OSBORNE ON BEHALF OF EXTREME RECOVERY OF DANVILLE, REQUESTING A SPECIAL USE PERMIT TO ALLOW AN AUTOMOBILE SALVAGE OPERATION AT PARCEL ID 51529 (4711 RIVERSIDE DRIVE) IN ACCORDANCE WITH ARTICLE 3.M., SECTION C., ITEM 31.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia, that the report of the Planning Commission recommending approval of Special Use Permit Application PZ23-00340, filed by James Osborne on behalf of Extreme Recovery of Danville, requesting a Special Use Permit to allow an automobile salvage operation at Parcel ID 51529 (4711 Riverside Drive) in accordance with Article 3.M., Section C., Item 31, be and the same is hereby received; subject to the following conditions:

1. A screening fence is to be placed along VFW Drive.
2. No salvage parts may be sold.
3. No salvage vehicles may be stored.

BE IT FURTHER ORDAINED that in consideration of said report and the public hearing this day held by Council, Special Use Permit Application PZ23-00340, filed by James Osborne on behalf of Extreme Recovery of Danville, requesting a Special Use Permit to allow an automobile salvage operation at Parcel ID 51529 (4711 Riverside Drive) in accordance with Article 3.M., Section C., Item 31, is hereby granted and approved; subject to the following conditions:

1. A screening fence is to be placed along VFW Drive.
2. No salvage parts may be sold.
3. No salvage vehicles may be stored.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 4711 Riverside Dr. Danville, VA #51529

Applicant: James Osborne / Extreme Recovery of Danville

Applicant's Address: 4075 Shurben Drive Danville, VA

Applicant's Phone Number: 434-441-2944 or 434-835-2589

Applicant's E-mail: extremerecovery24540@gmail.com

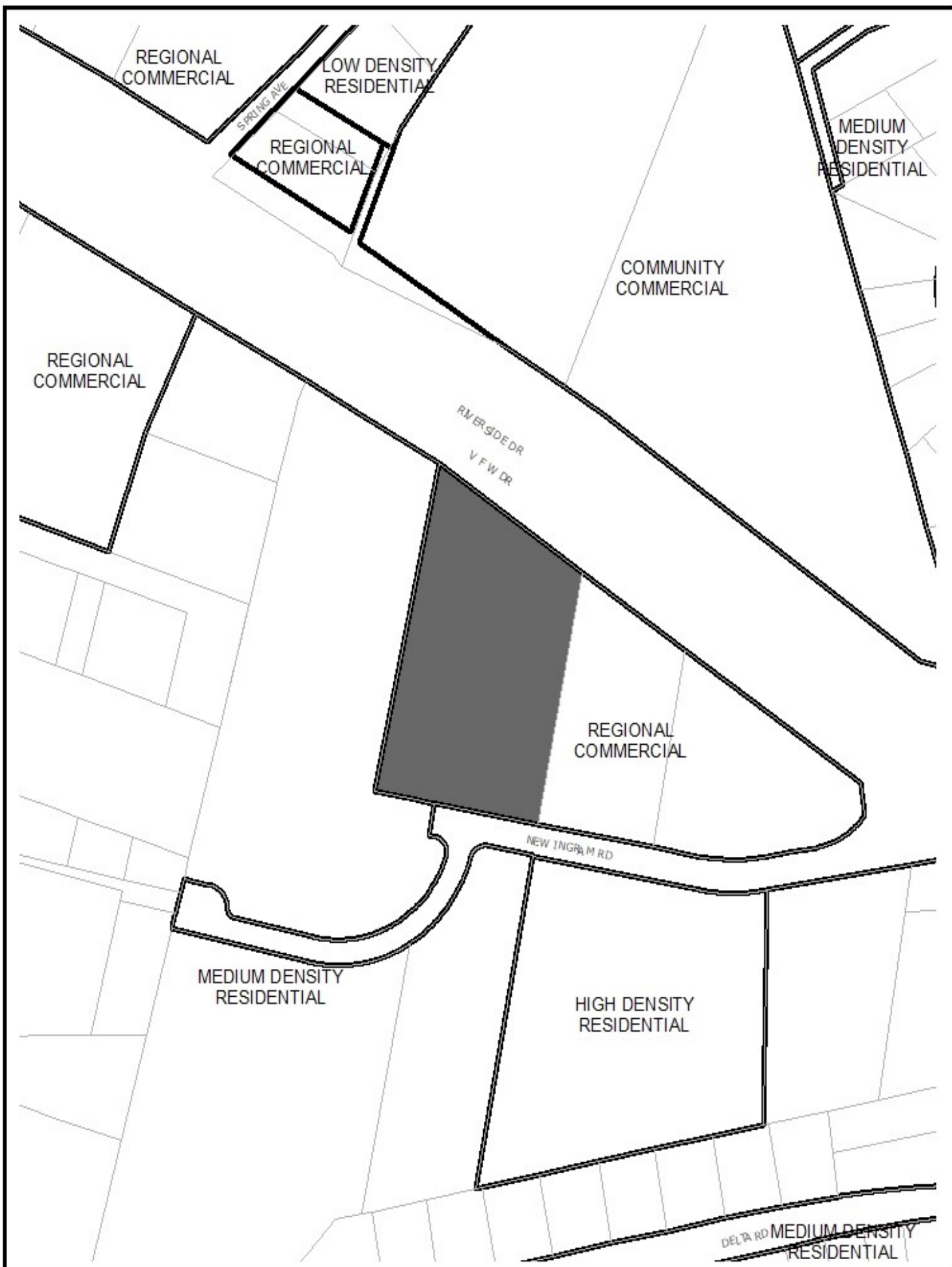
Describe Proposed Request: To zone property as a towing/ recovery location due to outgrowing the current location; because of the growth of the City of Danville within the last year. The location will also be used as a independent car dealer; as well as a garage to repair vehicles.

James C. Osborne
Applicant Signature

9/7/23
date

Property Owner Signature
(if not applicant) date

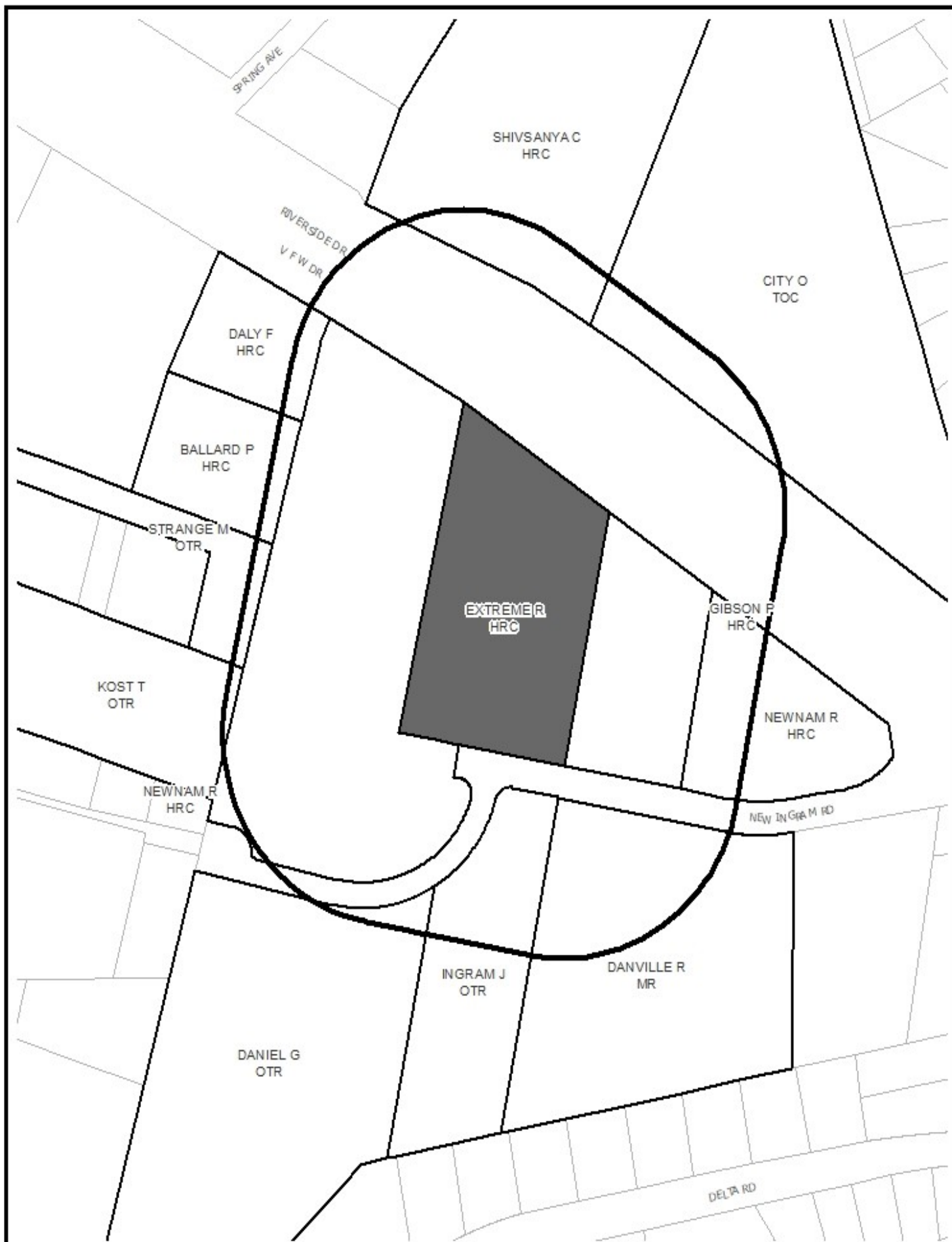




YEAR 2030 LAND USE PLAN FOR AREA SURROUNDING SUBJECT PROPERTY

Prepared by:
Planning Division
9/19/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN

FEET OF SUBJECT PROPERTY



Prepared by:
Planning Division
9/19/2023

Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



City of Danville
427 Patton Street, Suite 208
Danville VA, 24541
Phone: (434) 799-5260

City Planning Commission

MEMORANDUM

DATE: OCTOBER 10, 2023
TO: CITY COUNCIL
FROM: CITY PLANNING COMMISSION
RE: SPECIAL USE PERMIT APPLICATION PZ23-00340

REQUEST

Special Use Permit application PZ23-00340 filed by James Osborne on behalf of Extreme Recovery of Danville requesting a Special Use Permit at 4711 Riverside Drive (Parcel 51529) to allow automobile salvage in accordance with Article 3.M Section C Item 31.

RECOMMENDATION

The Planning Commission, at their October 10, 2023, meeting voted 6 – 0 to recommend approval of Special Use Permit Request PZ23-00340 with the following conditions:

1. A screening fence is to be placed along VFW Drive
2. No salvage parts may be sold
3. No salvage vehicles may be stored

Mr. Steve Petrick, Chair

Council Letter City of Danville, Virginia



CL - 929

NEW BUSINESS I.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of an Appeal of the Commission of Architectural Review's Decision to Deny a Certificate of Appropriateness to Install a Roof Mounted Solar Energy System at 830 Green Street.

From: Renee Burton, Division Director of Planning

COUNCIL ACTION

1. Public Hearing
2. An Ordinance Reversing the Commission of Architectural Review Decision to Deny a Certificate of Appropriateness to Install a Solar Energy System at 830 Green Street; or
3. A Resolution Affirming the Commission of Architectural Review Decision to Deny a Certificate of Appropriateness to Install a Solar Energy System at 830 Green Street.

SUMMARY

On August 24, 2023, The Commission of Architectural Review denied a Certificate of Appropriateness to install a roof mounted solar energy system at 830 Green Street. Ryan Healy on behalf of Convert Solar has appealed this action to City Council, in accordance with Article 3.R Section C Item 11 of the City of Danville Zoning Code, 1986, as amended.

BACKGROUND

The Commission of Architectural Review met on August 24, 2023 to review PZ23-00244 and others. PZ23-00244 was a request to install a 9.2W solar energy system on the roof of 830 Green Street. Neither the applicant nor the property owner was present for the meeting.

1. Mr. Stowe made a motion to deny Certificate of Appropriateness request PZ23-00244 to install a solar energy system at 830 Green Street (Parcel 24236)
2. Mr. Weller seconded the motion.
3. Motion passed. Vote 5-0.

RECOMMENDATION

Article 3.R. Item 11.D. of the City of Danville Zoning Code states that *The City Council may affirm, reverse or modify the Review Commission decision and shall notify the Director of Planning/Zoning Administrator of its action.* Staff recommends that City Council review the attached background information and adopt a resolution upholding the Commission of Architectural Review's denial of a Certificate of Appropriateness. The Commission of Architectural Review followed the review criteria as

required and stated in article 3.R.2 of Chapter 41 of the Zoning Code of the City of Danville, 1986, as amended.

Attachments

1. Ordinance - Reversing Denial
 2. Resolution - Upholding Denial
 3. Appeal Request
 4. 830 Green Street Pictures
 5. 830 Green Street - CAR Application
 6. Contractor notifications
 7. August 24, 2023 CAR Minutes
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023____.____

AN ORDINANCE REVERSING THE COMMISSION OF ARCHITECTURAL REVIEW DECISION TO DENY A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SOLAR ENERGY SYSTEM AT 830 GREEN STREET.

WHEREAS, a Certificate of Appropriateness was requested to allow the installation of a solar energy system on the rooftop of 830 Green Street, located within the HP-O, Historic Preservation Overlay District; and

WHEREAS, the Commission of Architectural Review considered, on August 24, 2023 the request of the owner of 830 Green Street to install a solar energy system on the rooftop within the HP-O, Historic Preservation Overlay District; and

WHEREAS, The Commission of Architectural Review denied a request for a Certificate of Appropriateness to install a solar energy system on the rooftop of 830 Green Street, located within the HP-O, Historic Preservation Overlay District, is hereby received; and

WHEREAS, Ryan Healy on behalf of Convert Solar appealed the decision of the Commission of Architectural Review denying a Certificate of Appropriateness to install a solar energy system on the rooftop of 830 Green Street located within the HP-O, Historic Preservation Overlay District; and

WHEREAS, after hearing facts presented by the applicant and the position of the Commission of Architectural Review.

NOW THEREFORE, BE IT ORDAINED, by the Council of the City of Danville, Virginia, that the decision of the Commission of Architectural Review rendered on August 24, 2023, be reversed and that the Certificate of Appropriateness be granted to install solar energy system on the rooftop of 830 Green Street located within the HP-O, Historic Preservation Overlay District.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

PRESENTED: _____

ADOPTED: _____

RESOLUTION NO. 2023____.____

A RESOLUTION AFFIRMING THE COMMISSION OF ARCHITECTURAL REVIEW DECISION TO DENY A CERTIFICATE OF APPROPRIATENESS TO INSTALL A SOLAR ENERGY SYSTEM AT 830 GREEN STREET.

WHEREAS, a Certificate of Appropriateness was requested to allow the installation of a solar energy system on the rooftop of 830 Green Street, located within the HP-O, Historic Preservation Overlay District; and

WHEREAS, the Commission of Architectural Review considered, on August 24, 2023, the request of the owner of 830 Green Street to install a solar energy system on the rooftop within the HP-O, Historic Preservation Overlay District; and

WHEREAS, the Commission of Architectural Review denied a request for a Certificate of Appropriateness to install a solar energy system on the rooftop of 830 Green Street, located within the HP-O, Historic Preservation Overlay District, is hereby received.

NOW THEREFORE, BE IT RESOLVED, by the Council of the City of Danville, Virginia, that the decision of the Commission of Architectural Review rendered on August 24, 2023, be and is hereby, affirmed.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

Burton, Renee

From: Ryan Healy <ryan@convert-solar.com>
Sent: Friday, September 15, 2023 7:18 AM
To: DeMasi, Susan M; Burton, Renee
Cc: Tasha Aman; Julie Wallace; scrubtut@yahoo.com
Subject: Certificate of Appropriateness decision appeal (application PZ23-00244)

CAUTION: This email originated outside the City of Danville's email system.

Do not click links or open attachments unless you recognize the sender and know the content is safe.

This email is to appeal the denial decision of Certificate of Appropriateness application PZ23-00244 filed by Robert Tuthill to install a solar energy system at 830 Green St. (Parcel 24236). While Convert Solar respects the decision to deny the request we ask the council to reconsider the decision based on unique circumstances described below. Convert Solar was issued a permit by the City of Danville to perform the work on 8.3.23. The Certificate of Appropriateness states that a permit shall not be issued until the application is approved. By issuance of a permit, Convert Solar proceeded to perform the work. We did not become aware of this issue until after the work was completed. Convert Solar has incurred the substantial costs to install the system and if the decision were to be upheld, would incur substantial costs to remove the system and restore the property to original condition after installing a permanent modification. The resident/owner Mr. Robert Tuthill is also in a unique position where has now paid for the solar panels but cannot use them without this approval and a city inspection. In light of these events, we request the council to approve the Certificate of Appropriateness application PZ23-00244 and allow the solar panels to remain installed on the property.

Thank you for your consideration

Convert Solar, Ryan Healy (operations manager)

--

Convert Solar
5770 Thurston Ave
Suite #106
Virginia Beach, 23455
757 447 6527



830 Green Street



COMMISSION OF ARCHITECTURAL REVIEW REGULAR MEETING AGENDA

4TH FLOOR CONFERENCE ROOM

August 24, 2023

3:30 PM

A. CALL TO ORDER

B. ROLL CALL

C. NEW BUSINESS

1. Certificate of Appropriateness Application PZ23-00240 filed by John and Mary Kent to install three (3) mini-split HVAC units at 903 Main Street (Parcel 21847).
2. Certificate of Appropriateness application PZ23-00244 filed by Robert Tuthill to install a solar energy system at 830 Green Street (Parcel 24236).
3. Review Special Use Permit request filed by MADS Holbrook LLC for a Short Term Rental at 503 Holbrook Street.

D. MINUTES

1. July 27, 2023 minutes

E. ADJOURN



Commission of Architectural Review

STAFF REPORT

DATE: August 24, 2023
TO: Commission of Architectural Review
FROM: Renee Burton, Division Director of Planning
RE: Certificate of Appropriateness application PZ23-00244 filed by Robert Tuthill to install a solar energy system at 830 Green Street (Parcel 24236).

SUMMARY

The applicant, Robert Tuthill, has requested a Certificate of Appropriateness to install a 9.2 kW solar energy system. The system will be tied to the electrical grid and all panels will be installed on the roof of 830 Green Street. Unfortunately, there was a miscommunication and the installation has begun. Immediately after being notified that work could not begin until a Certificate of Appropriateness had been received, the contractors stopped work, cleaned up the job site and left. The contractors also called the Community Development office to apologize for the mix-up.

Section 3.0 Historic Building Restoration/Renovation Guidelines

B. Technology is an important part of modern life, but it should be shielded from view. All antennas, satellite dishes, solar panels and other such items attached to buildings should be screened from view as much as possible (typically by placing these items where they are not visible from the street).

As the submitted graphic shows, the majority of the panels will be visible from the street. The panels are also particularly conspicuous due to the color of the roof. The Commission can choose to approve as submitted, require new location of the panels, or deny the request.

RECOMMENDATION

The Planning staff recommends denial of this application. The proposal does not meet the Guidelines presented in Section 3. B. and the panel installation would have an adverse effect on the structure itself and the District. The color contrast of the panels against the red metal roof is distracting from the architectural details of a contributing structure built ca 1890. The forward facing roof panels will also negatively alter the streetscape of Green Street.

ATTACHMENTS

1. Signed CAR Fillable Application - Tuthill (1)
2. Robert Tuthill Engineer Letter Plans 6.5.23 - FULL SET - FULL SET (REL23-0781)



City of Danville
Community Development
Planning Division

COMMISSION OF ARCHITECTURAL REVIEW

CERTIFICATE OF APPROPRIATENESS APPLICATION

Zoning Ordinance Article 3.R.C.1. No zoning, site plan, subdivision plat, or building permit shall be issued for the erection, reconstruction, exterior alteration, restoration, rehabilitation, razing, relocation or demolition of any building, structure, signs, fences, walls, light fixtures, accessory buildings, pavements, grading, site improvements, significant landscaping features or other appurtenant element in an HP-O District unless and until such building or site element has been approved by the issuance of a Certificate of Appropriateness by the Commission of Architectural Review for the City.

ZONING ORDINANCE CAR APPLICATION STANDARDS

Article 3.R Section C.6: In consideration of a complete application, the Planning Director and the Review Commission may require any or all of the following information and any other materials as may be deemed necessary for its review:

- A. Statement of proposed use and user.
- B. Statement of estimated construction time.
- C. Photographs and maps relating proposed use to the surrounding property and/or the corridor on which it is located. Site plan drawings, prepared to meet the City site development plan submission requirements for a Preliminary Site Plan or
- D. Preliminary Subdivision Plat, and other exhibits showing the location of the existing and proposed building and site improvements, including:
 - (1.) Existing property boundaries, building placement and site configuration;
 - (2.) Existing topography and proposed grading;
 - (3.) Location of parking, pedestrian access, signage, exterior lighting, fencing and other site improvements; (4) Relationship to adjacent land uses;
 - (4.) Proposed site improvements, including location of parking, access, signage, exterior lighting, fencing, buildings and structures and other appurtenant elements;
 - (5.) Proposed building color and materials;
 - (6.) Relationship of building and site elements to existing and planned corridor development;
 - (7.) Relationship of parking, pedestrian facilities, and vehicular access ways to existing and planned corridor development; and
 - (8.) Other site plans and subdivision plats as may be required by Danville for development approval.
- E. Architectural drawings showing plan view and elevations of new planned construction or renovations, including drawings of original building.
- F. A landscaping and buffer plan.
- G. Designs for exterior signing, lighting and graphics, to include description of materials, colors, placement and means of physical support, lettering style and message to be placed on signs.
- H. Graphic exhibits depicting compliance with other design elements.

PLANNING DIVISION PROVIDED INFORMATION

Application #: _____ CAR Meeting Date: _____

Date Received: _____ Received By: _____

Parcel ID: _____ Zoning District: _____

Additional Information: _____

APPLICANT PROVIDED INFORMATION

Property Location (address/ID#): 830 Green Street, Danville, VA 24541

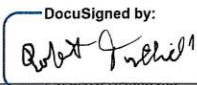
Applicant: Robert Tuthill

Applicant's Address: 830 Green Street, Danville, VA 24541

Applicant's Phone Number: (434) 425-9790

Applicant's E-mail: scrubtut@yahoo.com

Describe Proposed Improvements: Installing a 9.2 kW solar energy system. The system will be tied to the electrical grid and all panels will be installed on the roof of the home.

DocuSigned by:

F7501C9CD032463
Applicant Signature 7/24/2023 date

Property Owner Signature date
(if not applicant)

6/5/2023

RE: Structural Certification for Installation of Residential Solar
ROBERT TUTHILL: 830 GREEN STREET, DANVILLE, VA 24541

Attn: To Whom It May Concern

This Letter is for the existing roof framing which supports the new PV modules as well as the attachment of the PV system to existing roof framing. From the field observation report, the roof is made of Metal roofing over roof plywood supported by 2X4 Rafters at 16 inches. The slope of the roof was approximated to be 31 degrees.

After review of the field observation data and based on our structural capacity calculation, **the existing roof framing has been determined to be adequate to support the imposed loads without structural upgrades.** Contractor shall verify that existing framing is consistent with the described above before install. Should they find any discrepancies, a written approval from SEOR is mandatory before proceeding with install. Capacity calculations were done in accordance with applicable building codes.

Design Criteria

<u>Code</u>	2018 Virginia Residential Code		<u>Wind Load</u>	(component and Cladding)	
<u>Risk category</u>		II			
<u>Roof Dead Load</u>	Dr	10 psf		V	130 mph
<u>PV Dead Load</u>	DPV	3 psf		Exposure	C
<u>Roof Live Load</u>	Lr	20 psf			
<u>Ground Snow</u>	S	35 psf			

If you have any questions on the above, please do not hesitate to call.

Sincerely,

Vincent Mwumvaneza, P.E.
EV Engineering, LLC
projects@evengineersnet.com
<http://www.evengineersnet.com>



Digitally signed by
Vincent Mwumvaneza
Date: 2023.06.05
09:35:55 -04'00'

Structural Letter for PV Installation

Date: 6/5/2023
Job Address: 830 GREEN STREET
DANVILLE, VA 24541
Job Name: ROBERT TUTHILL
Job Number: 230605RT

Scope of Work

This Letter is for the existing roof framing which supports the new PV modules as well as the attachment of the PV system to existing roof framing. All PV mounting equipment shall be designed and installed per manufacturer's approved installation specifications.

Table of Content

Sheet	
1	Cover
2	Attachment Uplift checks
3	Roof Framing Check
4	Seismic Check and Scope of work

Engineering Calculations Summary

<u>Code</u>	2018 Virginia Residential Code	
<u>Risk category</u>		II
<u>Roof Dead Load</u>	Dr	10 psf
<u>PV Dead Load</u>	DPV	3 psf
<u>Roof Live Load</u>	Lr	20 psf
<u>Ground Snow</u>	S	35 psf
<u>Wind Load</u>	(component and Cladding)	
	V	130 mph
	Exposure	C

References

NDS for Wood Construction

Sincerely,

Vincent Mwumvaneza, P.E.
EV Engineering, LLC
projects@evengineersnet.com
<http://www.evengineersnet.com>



projects@evengineersnet.com
<http://www.evengineersnet.com>

Wind Load Cont.

Risk Category =	II	
V =	130 mph	ASCE 7-16 Figure 26.5-1B
Exposure =	C	
K_{zt} =	1.0	ASCE 7-16 Sec 26.8.2
K_z =	0.93	ASCE 7-16 Table 26.10-1
K_d =	0.85	ASCE 7-16 Table 26.6-1
K_e =	0.98	ASCE 7-16 Table 26.9-1
$q_h = 0.00256 K_z K_{zt} K_d K_e V^2$ =	33.50 psf	
Pitch =	31.0 Degrees	
V_E =	1.5	
V_a =	0.8	

Uplift (W)		Zone(1)	Zone(2r)	Zone(2e)	Zone(3)
Fig. 30-3-2	GC_p =	-1.9	-2.2	-1.6	-1.8
Eq. 29.4-7	$P = q_h (GC_p) (V_E) (V_a)$ =	-76.38	-88.44	-64.32	-72.36
	GC_p =	0.7			
	$P = q_h (GC_p) (V_E) (V_a)$ =	15.48			

Figure 30.3-2

Equation 29.4-7

Rafter Attachments: 0.6D+0.6W (CD=1.6)

Connection Check

Attachment max. spacing = 4 ft

S-5 Ultimate Withdrawal Value = 900 lbs

Manufacturer Test

		Allowable Capacity =	300 lbs	
Zone	Trib Width	Area (ft)	Uplift (lbs)	Down (lbs)
Zone(1)	4	9.2	241.0	170.0
Zone(2r)	4	9.2	277.6	170.0
Zone(2e)	4	9.2	204.4	170.0
Zone(3)	4	9.2	228.8	170.0
	Conservative Max =		277.6	< 300

CONNECTION IS OK

1. Pv seismic dead weight is negligible to result in significant seismic uplift, therefore the wind uplift governs
2. Embedment is measured from the top of the framing member to the tapered tip of a lag screw. Embedment in sheathing or other material does not count.

Vertical Load Resisting System Design

Roof Framing

Rafters

Snow Load

Fully Exposed

$$p_g = 35 \text{ psf} \quad C_t = 1.1$$

$$C_e = 0.9 \quad I_s = 1.0 \quad p_s = 16 \text{ psf}$$

$$p_f = 24 \text{ psf} \quad p_{fmin.} = 24.3 \text{ psf} \quad 21.02 \text{ plf}$$

$$\text{Max Length, } L = 7.0 \text{ ft}$$

$$\text{Tributary Width, } W_T = 16 \text{ in}$$

$$RLL = 20 \text{ psf} \quad 22.86 \text{ plf}$$

$$Dr = 10 \text{ psf} \quad 13.33 \text{ plf}$$

$$PvDL = 3 \text{ psf} \quad 4 \text{ plf}$$

Load Case: DL

$$w = 17 \text{ plf}$$

$$M = 94 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' = 357 \text{ lb-ft} > 94 \text{ lb-ft} \quad \text{OK}$$

Load Case: DL+RLL

$$DL+Lr = 36 \text{ plf}$$

$$M_{down} = 197 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' = 495 \text{ lb-ft} > 197 \text{ lb-ft} \quad \text{OK}$$

Load Case: DL+S

$$DL+S = 38 \text{ plf}$$

$$M_{down} = 209 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' = 456 \text{ lb-ft} > 209 \text{ lb-ft} \quad \text{OK}$$

Load Case: DL+0.6W

$$w = 29.7 \text{ plf}$$

$$M_u = 162 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' (\text{wind}) = 634 \text{ lb-ft} > 162 \text{ lb-ft} \quad \text{OK}$$

Load Case: 0.6DL+0.6W

$$w = 23.8 \text{ plf}$$

$$M_u = 130 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' (\text{wind}) = 634 \text{ lb-ft} > 130 \text{ lb-ft} \quad \text{OK}$$

DL+0.45W+0.75(RLL or S)

$$43 \text{ plf}$$

$$M_{down} = 234 \text{ lb-ft}$$

$$\text{Mallowable} = S_x \times F_b' = 634 \text{ lb-ft} > 234 \text{ lb-ft} \quad \text{OK}$$

Member Capacity

DF-L No.2

2X4	Design Value	C_L	C_F	C_i	C_r	K_F	ϕ	λ	Adjusted Value
$F_b =$	900 psi	1.0	1.5	1.0	1.15	2.54	0.85	0.8	1553 psi
$F_v =$	180 psi	N/A	N/A	1.0	N/A	2.88	0.75	0.8	180 psi
$E =$	1600000 psi	N/A	N/A	1.0	N/A	N/A	N/A	N/A	1600000 psi
$E_{min} =$	580000 psi	N/A	N/A	1.0	N/A	1.76	0.85	N/A	580000 psi

$$\text{Depth, } d = 3.5 \text{ in}$$

$$\text{Width, } b = 1.5 \text{ in}$$

$$\text{Cross-Sectional Area, } A = 5.25 \text{ in}^2$$

$$\text{Moment of Inertia, } I_{xx} = 5.35938 \text{ in}^4$$

$$\text{Section Modulus, } S_{xx} = 3.0625 \text{ in}^3$$

$$\text{Allowable Moment, } M_{all} = F_b' S_{xx} = 396.2 \text{ lb-ft} \quad DCR = M_u / M_{all} = 0.46 < 1$$

$$\text{Allowable Shear, } V_{all} = 2/3 F_v' A = 630.0 \text{ lb} \quad DCR = V_u / V_{all} = 0.32 < 1$$

Satisfactory

Satisfactory

Siesmic Loads Check

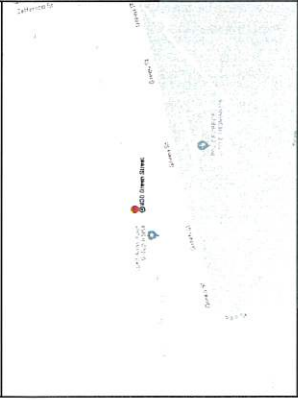
Roof Dead Load	10 psf
% or Roof with Pv	21.19%
Dpv and Racking	3 psf
Average Total Dead Load	10.6 psf
Increase in Dead Load	2.9% OK

The increase in seismic Dead weight as a result of the solar system is less than 10% of the existing structure and therefore no further seismic analysis is required.

Limits of Scope of Work and Liability

We have based our structural capacity determination on information in pictures and a drawing set titled PV plans -ROBERT TUTHILL. The analysis was according to applicable building codes, professional engineering and design experience, opinions and judgments. The calculations produced for this structure's assessment are only for the proposed solar panel installation referenced in the stamped plan set and were made according to generally recognized structural analysis standards and procedures.

ROBERT TUTTHILL - 9.200kW DC, 10.000kW AC

VICINITY MAP		AERIAL MAP																																	
																																			
HOUSE VIEW		SHEET CATALOG																																	
		<table> <tr> <th>SHEET</th><th>REVISION</th><th>DESCRIPTION</th></tr> <tr> <td>CS-01</td><td>A</td><td>COVER SHEET</td></tr> <tr> <td>CS-02</td><td>A</td><td>GENERAL NOTES</td></tr> <tr> <td>E-01</td><td>A</td><td>SITE PLAN</td></tr> <tr> <td>E-01.1</td><td>A</td><td>SATELLITE VIEW</td></tr> <tr> <td>S-01</td><td>A</td><td>MOUNTING DETAILS</td></tr> <tr> <td>S-02</td><td>A</td><td>STRUCTURAL DETAILS</td></tr> <tr> <td>E-02</td><td>A</td><td>SINGLE LINE DIAGRAM</td></tr> <tr> <td>E-03</td><td>A</td><td>ELECTRICAL CALCULATIONS</td></tr> <tr> <td>PL-01</td><td>A</td><td>PLACARDS</td></tr> <tr> <td>SS</td><td>A</td><td>SPEC SHEET(S)</td></tr> </table>	SHEET	REVISION	DESCRIPTION	CS-01	A	COVER SHEET	CS-02	A	GENERAL NOTES	E-01	A	SITE PLAN	E-01.1	A	SATELLITE VIEW	S-01	A	MOUNTING DETAILS	S-02	A	STRUCTURAL DETAILS	E-02	A	SINGLE LINE DIAGRAM	E-03	A	ELECTRICAL CALCULATIONS	PL-01	A	PLACARDS	SS	A	SPEC SHEET(S)
SHEET	REVISION	DESCRIPTION																																	
CS-01	A	COVER SHEET																																	
CS-02	A	GENERAL NOTES																																	
E-01	A	SITE PLAN																																	
E-01.1	A	SATELLITE VIEW																																	
S-01	A	MOUNTING DETAILS																																	
S-02	A	STRUCTURAL DETAILS																																	
E-02	A	SINGLE LINE DIAGRAM																																	
E-03	A	ELECTRICAL CALCULATIONS																																	
PL-01	A	PLACARDS																																	
SS	A	SPEC SHEET(S)																																	
ENGINEERING SCOPE OF WORK		ROOF AREA CALCULATION																																	
- ILLUMINE INDUSTRIES INC. HAS ONLY PROVIDED DRAFTING SERVICES FOR THE PERMIT DRAWINGS. NO ACTUAL ENGINEERING WORK, ENGINEERING REVIEW OR ENGINEERING APPROVAL HAS BEEN CONDUCTED BY ILLUMINE INDUSTRIES INC UNLESS NOTED OTHERWISE. - WHEN A PROFESSIONAL ENGINEER APPROVES AND SEALS THE DESIGN FOR COMPONENTS OF THEIR RESPECTIVE DISCIPLINE (STRUCTURAL/ELECTRICAL) SHOWN ON THESE PERMIT DRAWINGS, THE PROFESSIONAL ENGINEER TAKES FULL DIRECT CONTROL OF THE ENGINEERED DESIGN - IS GIVEN ACCESS TO PERSONALLY SUPERVISE AND RECTIFY ANY ASPECT OF THE ENGINEERED DESIGN - HAS FULLY ACCEPTED RESPONSIBILITY FOR THE ENGINEERED DESIGN		<table> <tr> <td>TOTAL ARRAY AREA</td><td>= 483.52 sq.ft</td></tr> <tr> <td>TOTAL ROOF AREA</td><td>= 2282 sq.ft</td></tr> <tr> <td>% ARRAY AREA IN ROOF</td><td>= 21.19 %</td></tr> </table>		TOTAL ARRAY AREA	= 483.52 sq.ft	TOTAL ROOF AREA	= 2282 sq.ft	% ARRAY AREA IN ROOF	= 21.19 %																										
TOTAL ARRAY AREA	= 483.52 sq.ft																																		
TOTAL ROOF AREA	= 2282 sq.ft																																		
% ARRAY AREA IN ROOF	= 21.19 %																																		
GENERAL NOTES		DESIGN CRITERIA																																	
- MODULES ARE LISTED UNDER ULL1703/UL61730 AND CONFORM TO THE STANDARDS. - INVERTERS ARE LISTED UNDER UL 1741 AND CONFORM TO THE STANDARDS. - DRAWINGS ARE DIAGRAMMATIC, INDICATING GENERAL ARRANGEMENT OF THE PV SYSTEM AND THE ACTUAL SITE CONDITION MIGHT VARY. - WORKING CLEARANCES AROUND THE NEW PV ELECTRICAL EQUIPMENT WILL BE MAINTAINED IN ACCORDANCE WITH NEC 110.26. - ALL GROUND WIRING CONNECTED TO THE MAIN SERVICE GROUNDING IN MAIN SERVICE PANEL/ SERVICE EQUIPMENT. - ALL CONDUCTORS SHALL BE 600V, 90°C STANDARD COPPER UNLESS OTHERWISE NOTED. - WHEN REQUIRED, A LADDER SHALL BE IN PLACE FOR INSPECTION IN COMPLIANCE WITH OSHA REGULATIONS. - THE SYSTEM WILL NOT BE INTERCONNECTED BY THE CONTRACTOR UNTIL APPROVAL FROM THE LOCAL JURISDICTION AND/OR THE UTILITY. - ROOF ACCESS POINT SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREES, WIRES OR SIGNS. - PV ARRAY COMBINER/JUNCTION BOX PROVIDES TRANSITION FROM ARRAY WIRING TO CONDUIT WIRING		<table> <tr> <td>BASIC WIND SPEED</td><td>= 130 MPH @ 3-SEC GUST</td></tr> <tr> <td>GROUND SNOW LOAD</td><td>= 35 PSF</td></tr> <tr> <td>RISK CATEGORY</td><td>= II</td></tr> <tr> <td>PROJECT WINDSPEED DETERMINED USING THE ASCE 7 STANDARD UNLESS DIRECTED OTHERWISE BY LOCAL JURISDICTION AMENDMENTS</td><td></td></tr> </table>		BASIC WIND SPEED	= 130 MPH @ 3-SEC GUST	GROUND SNOW LOAD	= 35 PSF	RISK CATEGORY	= II	PROJECT WINDSPEED DETERMINED USING THE ASCE 7 STANDARD UNLESS DIRECTED OTHERWISE BY LOCAL JURISDICTION AMENDMENTS																									
BASIC WIND SPEED	= 130 MPH @ 3-SEC GUST																																		
GROUND SNOW LOAD	= 35 PSF																																		
RISK CATEGORY	= II																																		
PROJECT WINDSPEED DETERMINED USING THE ASCE 7 STANDARD UNLESS DIRECTED OTHERWISE BY LOCAL JURISDICTION AMENDMENTS																																			
CONTRACTOR INFORMATION		SCOPE OF WORK																																	
<table> <tr> <td>NAME: ROBERT TUTTHILL</td><td>PRN NUMBER: COS-78829</td></tr> <tr> <td>ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541</td><td>REV: A</td></tr> <tr> <td>36.580821, -79.395343</td><td>DRAFTED BY: VALBHAV</td></tr> <tr> <td>APN: 24236</td><td>QC'D BY: K.NEEL</td></tr> <tr> <td>UTILITY: DANVILLE UTILITIES</td><td>SCALE: AS NOTED</td></tr> <tr> <td>AHJ: VA-CITY OF DANVILLE</td><td>PAPER SIZE: 17"X11"</td></tr> </table>		NAME: ROBERT TUTTHILL	PRN NUMBER: COS-78829	ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541	REV: A	36.580821, -79.395343	DRAFTED BY: VALBHAV	APN: 24236	QC'D BY: K.NEEL	UTILITY: DANVILLE UTILITIES	SCALE: AS NOTED	AHJ: VA-CITY OF DANVILLE	PAPER SIZE: 17"X11"	<table> <tr> <td>SYSTEM SIZE:</td><td>9200W DC, 10000W AC</td></tr> <tr> <td>MODULES:</td><td>(23)AXITEC AC-400MH-108VB (400W)</td></tr> <tr> <td>INVERTER:</td><td>(1)SOLAREEDGE TECHNOLOGIES SE10000H-US (240V)</td></tr> <tr> <td>OPTIMIZER:</td><td>(23)SOLAREEDGE TECHNOLOGIES S440 POWER OPTIMIZER</td></tr> </table>		SYSTEM SIZE:	9200W DC, 10000W AC	MODULES:	(23)AXITEC AC-400MH-108VB (400W)	INVERTER:	(1)SOLAREEDGE TECHNOLOGIES SE10000H-US (240V)	OPTIMIZER:	(23)SOLAREEDGE TECHNOLOGIES S440 POWER OPTIMIZER												
NAME: ROBERT TUTTHILL	PRN NUMBER: COS-78829																																		
ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541	REV: A																																		
36.580821, -79.395343	DRAFTED BY: VALBHAV																																		
APN: 24236	QC'D BY: K.NEEL																																		
UTILITY: DANVILLE UTILITIES	SCALE: AS NOTED																																		
AHJ: VA-CITY OF DANVILLE	PAPER SIZE: 17"X11"																																		
SYSTEM SIZE:	9200W DC, 10000W AC																																		
MODULES:	(23)AXITEC AC-400MH-108VB (400W)																																		
INVERTER:	(1)SOLAREEDGE TECHNOLOGIES SE10000H-US (240V)																																		
OPTIMIZER:	(23)SOLAREEDGE TECHNOLOGIES S440 POWER OPTIMIZER																																		
APPLICABLE CODES		DRAWING INFORMATION																																	
- ELECTRIC CODE: NEC 2017 - FIRE CODE: IFC 2018 - BUILDING CODE: IBC 2018 - RESIDENTIAL CODE: VRC 2018		<table> <tr> <td>CONVERT SOLAR</td><td>ILLUMINE i</td></tr> <tr> <td>Beneath Beyond the Bottom Line</td><td>COVER SHEET</td></tr> <tr> <td></td><td>DATE: 08/02/2023</td></tr> <tr> <td></td><td>SHEET: CS-01</td></tr> </table>		CONVERT SOLAR	ILLUMINE i	Beneath Beyond the Bottom Line	COVER SHEET		DATE: 08/02/2023		SHEET: CS-01																								
CONVERT SOLAR	ILLUMINE i																																		
Beneath Beyond the Bottom Line	COVER SHEET																																		
	DATE: 08/02/2023																																		
	SHEET: CS-01																																		



Digitally signed by
 Vincent
 Mwumvaneza
 Date: 2023.06.05
 09:36:28 -04'00'

INSTALLATION NOTES:

1. STRUCTURAL ROOF MEMBER LOCATIONS ARE ESTIMATED AND SHOULD BE LOCATED AND VERIFIED BY THE CONTRACTOR WHEN LAG BOLT PENETRATION OR MECHANICAL ATTACHMENT TO THE STRUCTURE IS REQUIRED.
2. ROOFTOP PENETRATIONS FOR SOLAR RACKING WILL BE COMPLETED AND SEALED WITH APPROVED SEALANT PER CODE BY A LICENSED CONTRACTOR.
3. LAGS MUST HAVE A MINIMUM 2.5" THREAD EMBEDMENT INTO THE STRUCTURAL MEMBER.
4. ALL PV RACKING ATTACHMENTS SHALL BE STAGGERED BY ROW BETWEEN THE ROOF FRAMING MEMBERS AS NECESSARY.
5. ROOF MOUNTED STANDARD RAIL REQUIRES ONE THERMAL EXPANSION GAP FOR EVERY RUN OF RAIL GREATER THAN 40'.
6. ALL CONDUCTORS AND CONDUITS ON THE ROOF SHALL BE MINIMUM 7/8" ABOVE THE ROOF SURFACE (INCLUDING CABLES UNDERNEATH MODULES AND RACKING).
7. THE PV INSTALLATION SHALL NOT OBSTRUCT ANY PLUMBING, MECHANICAL OR BUILDING ROOF VENTS.
8. ALL SOLAR PANEL ARRAY COMPONENTS SHALL BE INSTALLED PER THE MANUFACTURER'S APPROVED INSTALLATION SPECIFICATIONS.
9. THE EXISTING BUILDINGS STRUCTURE SHALL BE VERIFIED AS PROPERLY CONSTRUCTED AND MAINTAINED IN GOOD CONDITION. NO ALLOWANCE HAS BEEN MADE IN THESE DRAWINGS FOR ANY EXISTING DEFICIENCY IN DESIGN, MATERIAL, CONSTRUCTION, OR LACK OF MAINTENANCE FOR THE EXISTING STRUCTURE OR PROPOSED EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS, PROPER FIT, AND CLEARANCES IN THE FIELD.
10. WATERPROOFING AROUND THE ROOF PENETRATIONS IS THE RESPONSIBILITY OF OTHERS.
11. MISCELLANEOUS ITEMS NOT EXPLICITLY LISTED OR IDENTIFIED IN THESE DRAWINGS HAVE NOT BEEN DESIGNED. IT IS RECOMMENDED THAT MATERIAL OF SUITABLE SIZE STRENGTH TO BE OBTAINED FROM A REPUTABLE MANUFACTURER FOR MISCELLANEOUS ITEMS.
12. IF PROJECT IS STAMPED AND SEALED BY AN ILLUMINE-I STRUCTURAL ENGINEER, SEE ASSOCIATED ILLUMINE-I STRUCTURAL REPORT FOR FULL COMPREHENSIVE SCOPE OF STRUCTURAL ENGINEERING INVESTIGATION AND APPROVAL.
13. IF ANY CONDITION THROUGHOUT THE ASSOCIATED REPORT OR PERMIT DRAWINGS IS NOT ALSO REPRESENTED ON-SITE, CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES AND RECEIVE WRITTEN APPROVAL FROM THE ENGINEER OF RECORD BEFORE PROCEEDING WITH INSTALLATION.
14. CONTRACTOR TO PROVIDE MINIMUM 1/4" GAP BETWEEN ALL SOLAR PANELS.

ROOF ACCESS PATHWAYS AND SETBACKS:

1204.2.1 SOLAR PHOTOVOLTAIC SYSTEMS FOR GROUP R-3 BUILDINGS:

SOLAR PHOTOVOLTAIC SYSTEMS FOR GROUP R-3 BUILDINGS SHALL COMPLY WITH SECTIONS 1204.2.1.1 THROUGH 1204.2.1.3.

EXCEPTIONS:

1. THESE REQUIREMENTS SHALL NOT APPLY TO STRUCTURES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE.
2. THESE REQUIREMENTS SHALL NOT APPLY TO ROOFS WITH SLOPES OF 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL OR LESS.

1204.2.1.1 PATHWAYS TO RIDGE:

NOT FEWER THAN TWO 36-INCH-WIDE (914 MM) PATHWAYS ON SEPARATE ROOF PLANES, FROM LOWEST ROOF EDGE TO RIDGE, SHALL BE PROVIDED ON ALL BUILDINGS. NOT FEWER THAN ONE PATHWAY SHALL BE PROVIDED ON THE STREET OR DRIVEWAY SIDE OF THE ROOF. FOR EACH ROOF PLANE WITH A PHOTOVOLTAIC ARRAY, NOT FEWER THAN ONE 36-INCH-WIDE (914 MM) PATHWAY FROM LOWEST ROOF EDGE TO RIDGE SHALL BE PROVIDED ON THE SAME ROOF PLANE AS THE PHOTOVOLTAIC ARRAY, ON AN ADJACENT ROOF PLANE OR STRADDLING THE SAME AND ADJACENT ROOF PLANES.

1204.2.1.2 SETBACKS AT RIDGE:

FOR PHOTOVOLTAIC ARRAYS OCCUPYING 33 PERCENT OR LESS OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 18 INCHES (457 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 33 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 36 INCHES (914 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.

1204.2.1.3 ALTERNATIVE SETBACKS AT RIDGE:

WHERE AN AUTOMATIC SPRINKLER SYSTEM IS INSTALLED WITHIN THE DWELLING IN ACCORDANCE WITH SECTION 903.3.1.3, SETBACKS AT THE RIDGE SHALL CONFORM TO ONE OF THE FOLLOWING:

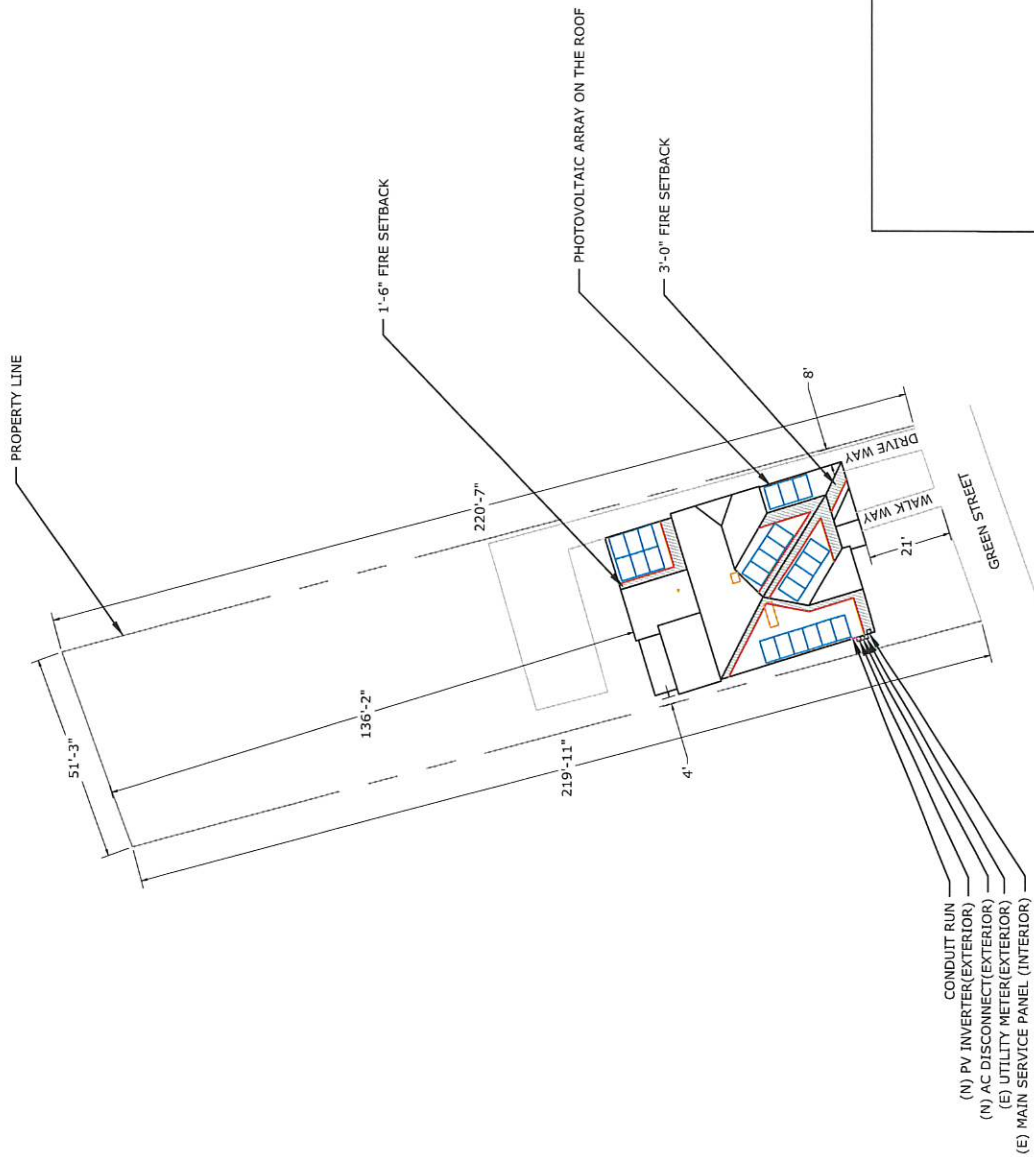
1. FOR PHOTOVOLTAIC ARRAYS OCCUPYING 66 PERCENT OR LESS OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 18 INCHES (457 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.
2. FOR PHOTOVOLTAIC ARRAYS OCCUPYING MORE THAN 66 PERCENT OF THE PLAN VIEW TOTAL ROOF AREA, A SETBACK OF NOT LESS THAN 36 INCHES (914 MM) WIDE IS REQUIRED ON BOTH SIDES OF A HORIZONTAL RIDGE.

1204.2.2 EMERGENCY ESCAPE AND RESCUE OPENINGS. PANELS AND MODULES INSTALLED ON GROUP R-3 BUILDINGS SHALL NOT BE PLACED ON THE PORTION OF A ROOF THAT IS BELOW AN EMERGENCY ESCAPE AND RESCUE OPENING. A PATHWAY OF NOT LESS THAN 36 INCHES (914 MM) WIDE SHALL BE PROVIDED TO THE EMERGENCY ESCAPE AND RESCUE OPENING.

CUSTOMER INFORMATION	CONTRACTOR INFORMATION
NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 36.580821, -79.395343 APN: 24236 UTILITY: DANVILLE UTILITIES AM: VA-CITY OF DANVILLE	 DRAWING INFORMATION PRN NUMBER: COS-78829 REV: A DRAFTED BY: VAIBHAV QC'ED BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"
GENERAL NOTES DATE: 06/02/2023 SHEET: CS-02	

ROBERT TUTHILL - 9.200kW DC, 10.000kW AC

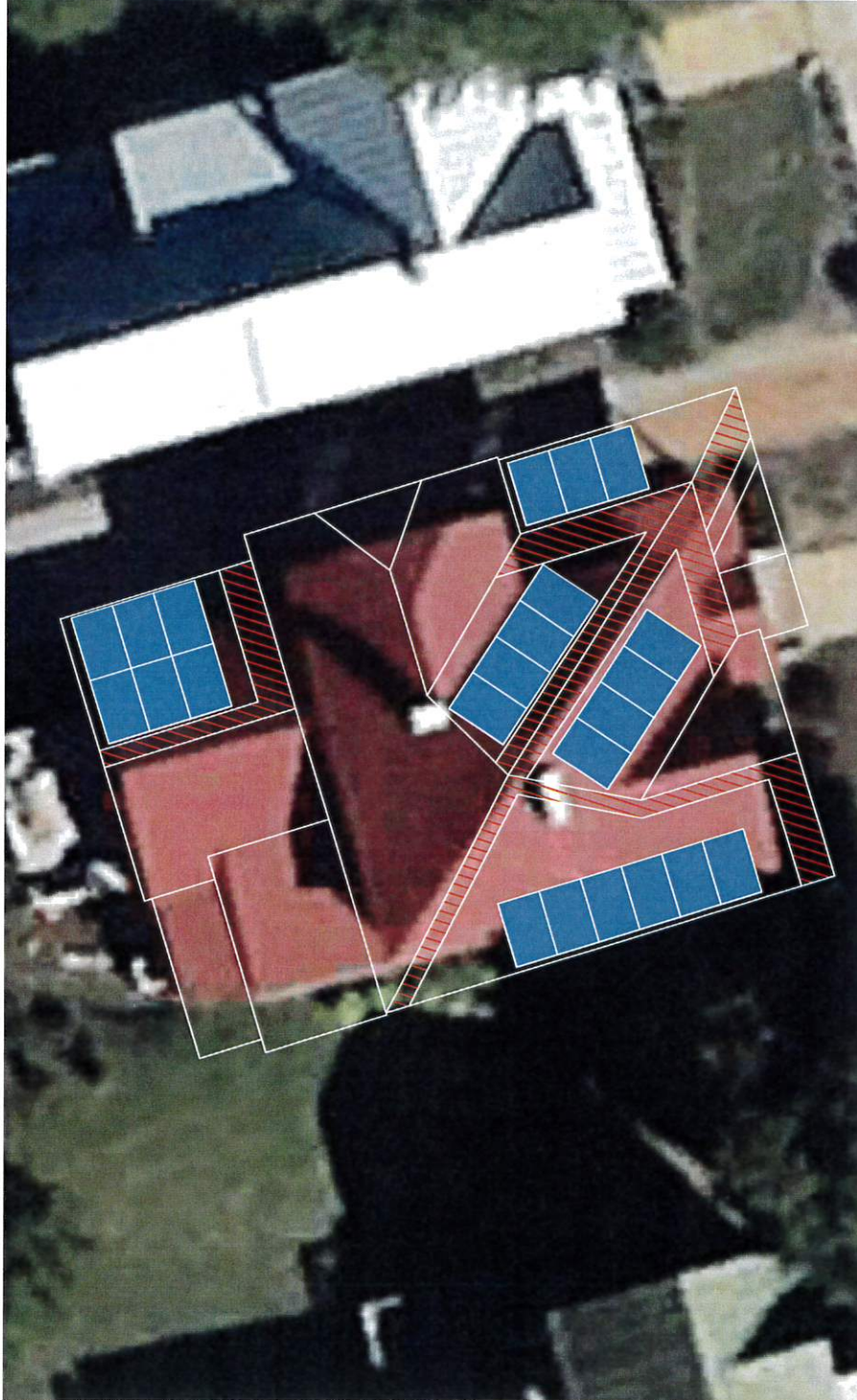
NOTE: NO GATE OR FENCE



SCALE: 1" = 30'-0"

CUSTOMER INFORMATION		CONTRACTOR INFORMATION	
NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 36.580821, -79.395343 APN: 24236 UTILITY: DANVILLE UTILITIES AHJ: VA-CITY OF DANVILLE		 CONVERT SOLAR <i>Benefits. Beyond the Bottom Line</i>	
DRAWING INFORMATION		DRAWING INFORMATION	
PRN NUMBER: COS-78829 DRAFTED BY: VAIBHAV QC'D BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"		PRN: COS-78829 REV: A SHEET: E-01	





	CUSTOMER INFORMATION	CONTRACTOR INFORMATION
	NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 36.580821, -79.395343 APN: 24236 UTILITY: DANVILLE UTILITIES AHD: VA-CITY OF DANVILLE	
	DRAWING INFORMATION	
	PRN NUMBER: COS-78829 DRAFTED BY: VAIBHAV QC'D BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"	 DATE: 06/02/2023 SHEET: E-01.1

NOTE: PENETRATIONS ARE STAGGERED



SCALE: 1"=10'-0"

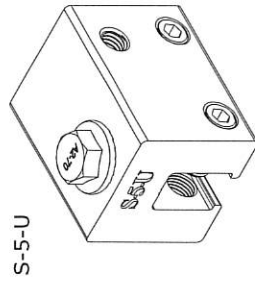
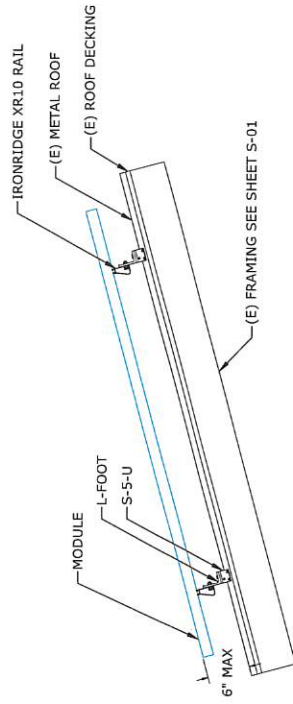


SITE INFORMATION										CUSTOMER INFORMATION		CONTRACTOR INFORMATION	
S.NO	AZIMUTH	PITCH	NO. OF MODULES	ARRAY AREA (SQ. FT.)	ROOF TYPE	ATTACHMENT	ROOF EXPOSURE	FRAME TYPE	FRAME SIZE	FRAME SPACING	SEAM SPACING	MAX RAIL SPAN	OVER HANG
MP-01	74°	31°	6	126.14	METAL ROOF	S-5-U CLAMP	ATTIC	RAFTERS	2 X 4	1'-4"	1'-0"	4'-0"	1'-6"
MP-02	28°	31°	4	84.09	METAL ROOF	S-5-U CLAMP	ATTIC	RAFTERS	2 X 4	1'-4"	1'-0"	4'-0"	1'-6"
MP-03	74°	31°	3	63.07	METAL ROOF	S-5-U CLAMP	ATTIC	RAFTERS	2 X 4	1'-4"	1'-0"	4'-0"	1'-6"
MP-04	208°	31°	4	84.09	METAL ROOF	S-5-U CLAMP	ATTIC	RAFTERS	2 X 4	1'-4"	1'-0"	4'-0"	1'-6"
MP-05	254°	31°	6	126.14	METAL ROOF	S-5-U CLAMP	ATTIC	RAFTERS	2 X 4	1'-4"	1'-0"	4'-0"	1'-6"
DRAWING INFORMATION										CUSTOMER INFORMATION		CONTRACTOR INFORMATION	
										NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 36.580821, -79.395343 APN: 24236 UTILITY: DANVILLE UTILITIES AHJ: VA-CITY OF DANVILLE		 Benefits Beyond the Bottom Line	
										PRN NUMBER: COS-78829 DRAFTED BY: VAIBHAV QC'D BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"		 MOUNTING DETAILS DATE: 06/02/2023 SHEET: S-01	

ATTACHMENT DETAIL - S5! S-5-U CLAMP

DEAD LOAD CALCULATIONS

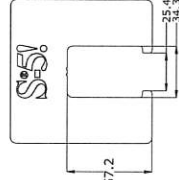
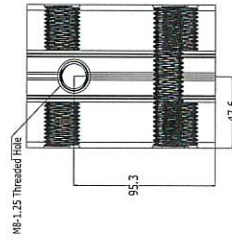
BOM	QUANTITY	LBS/UNIT	TOTAL WEIGHT (LBS)
MODULES	23	47.4	1090.2
MID-CLAMP	34	0.05	1.7
END-CLAMP	24	0.05	1.2
RAIL LENGTH	177	0.43	76.11
SPLICE BAR	6	0.36	2.16
S-5-U CLAMP	58	0.59	34.22
TOTAL WEIGHT OF THE SYSTEM (LBS)			1205.59
TOTAL ARRAY AREA ON THE ROOF (SQ. FT.)			483.52
WEIGHT PER SQ. FT. (LBS)			2.49
WEIGHT PER PENETRATION (LBS)			20.79



TOP VIEW

BACK VIEW

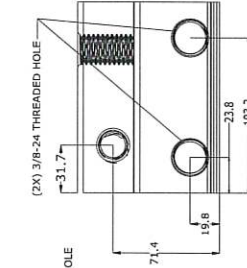
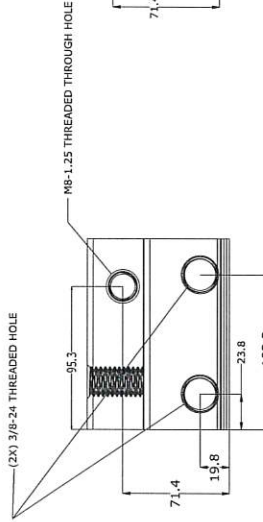
FRONT VIEW



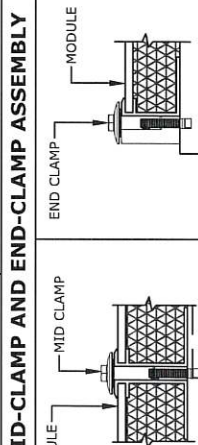
BACK VIEW

LEFT

RIGHT VIEW



SCALE: NTS



MID-CLAMP AND END-CLAMP ASSEMBLY

MODULE DIM 67.8"x44.65"x1.38"

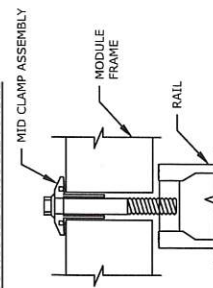
AXITEC AC-400MH-108VB (400W)

MODULE DATA

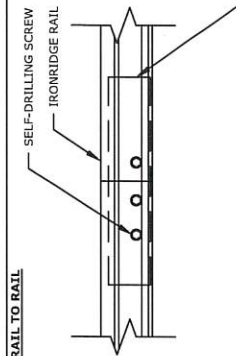
GROUNDING DETAILS

GROUNDING LUG

MODULE TO MODULE & MODULE TO RAIL



RAIL TO RAIL



CUSTOMER INFORMATION

NAME: ROBERT TUTHILL
ADDRESS: 830 GREEN STREET,
DANVILLE, VA 24541
APN: 24236
UTILITY: DANVILLE UTILITIES
AHJ: VA-CITY OF DANVILLE

CONTRACTOR INFORMATION

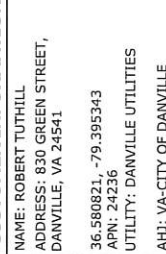
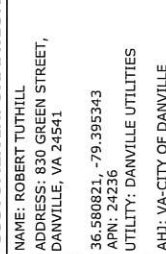
NAME: ROBERT TUTHILL
ADDRESS: 830 GREEN STREET,
DANVILLE, VA 24541
APN: 24236
UTILITY: DANVILLE UTILITIES
AHJ: VA-CITY OF DANVILLE

DRAWING INFORMATION

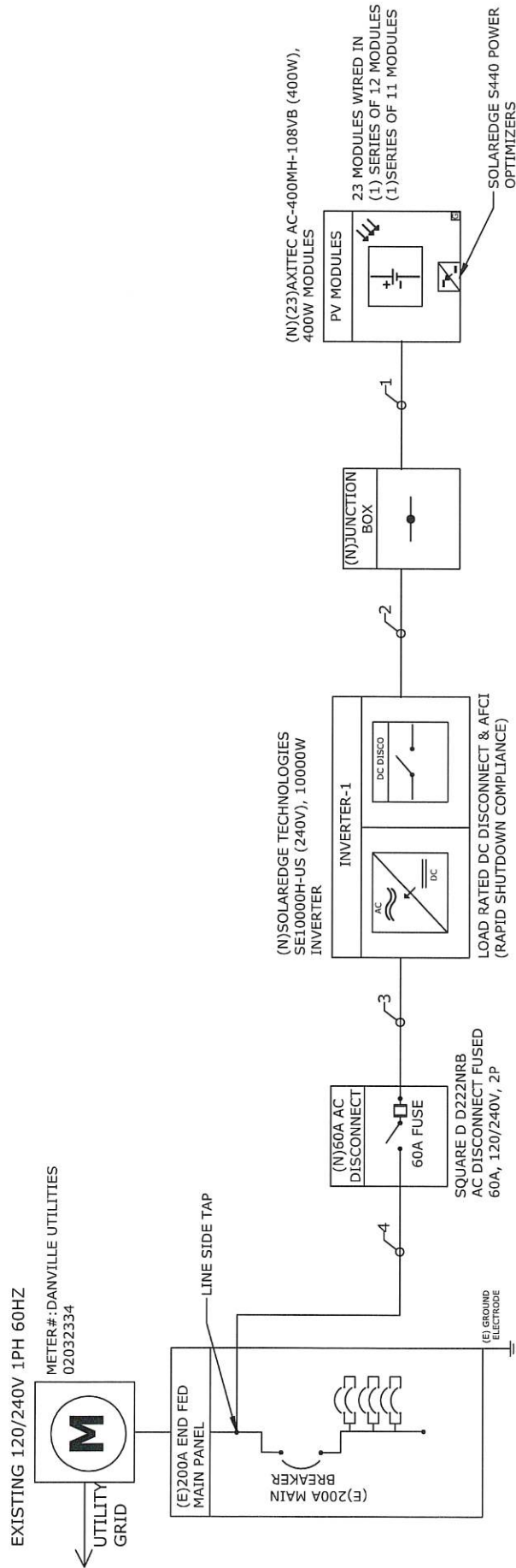
PRN NUMBER: COS-78829 REV: A
DRAFTED BY: VAIBHAV
QC'D BY: K.NEEL
SCALE: AS NOTED
PAPER SIZE: 17"x11"

STRUCTURAL DETAILS

DATE: 06/02/2023 SHEET: S-02



DC SYSTEM SIZE- 9200W, AC SYSTEM SIZE - 10000W



TAG ID		CONDUIT SIZE	CONDUCTOR	NEUTRAL	GROUND
1		NONE	(4) 10 AWG PV WIRE	NONE	(1) 6 AWG BARE COPPER
2		METALLIC CONDUIT	(4) 10 AWG THHN/THWN-2	NONE	(1) 8 AWG THHN/THWN-2
3		CONDUIT	(2) 6 AWG THHN/THWN-2	(1) 6 AWG THHN/THWN-2	(1) 8 AWG THHN/THWN-2
4		CONDUIT	(2) 6 AWG THHN/THWN-2	(1) 6 AWG THHN/THWN-2	(1) 6 AWG THHN/THWN-2

CUSTOMER INFORMATION		CONTRACTOR INFORMATION	
NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 APN: 24236 UTILITY: DANVILLE UTILITIES AHD: VA-CITY OF DANVILLE		 Benefits Beyond the Bottom Line	

DRAWING INFORMATION	
PRN NUMBER: COS-78829 DRAFTED BY: VAIBHAV QC'D BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"	REV: A SINGLE LINE DIAGRAM DATE: 06/02/2023 SHEET: E-02

DC SYSTEM SIZE- 9200W, AC SYSTEM SIZE - 10000W

MODULE SPECIFICATION		WIRE SIZE CALCULATIONS	
MODEL	AXITEC AC-400MH-108VB (400W)	TAG 1: (DC) REQUIRED CONDUCTOR AMPACITY(15 * 1.25) CORRECTED AMPACITY CALCULATION(0.71 * 1 * 40) 18.75 A < 28.4 A TAG 2: (DC) REQUIRED CONDUCTOR AMPACITY(15 * 1.25) CORRECTED AMPACITY CALCULATION(0.71 * 0.8 * 40) 18.75 A < 22.72 A TAG 3: (AC) REQUIRED CONDUCTOR AMPACITY(42 * 1 * 1.25) CORRECTED AMPACITY CALCULATION(0.96 * 1 * 75) 52.5 A < 72 A TAG 4: (AC) REQUIRED CONDUCTOR AMPACITY(42 * 1 * 1.25) CORRECTED AMPACITY CALCULATION(0.96 * 1 * 75) 52.5 A < 72 A	
INVERTER-1 SPECIFICATIONS		DC WIRE SIZING CALCULATIONS BASED ON FOLLOWING EQUATIONS	
MODEL	SOLAREEDGE TECHNOLOGIES SE1000H-US (240V)	REQUIRED CONDUCTOR AMPACITY: $I_{sc}(A) * \# \text{ OF PARALLEL STRINGS}$ = MAX CURRENT PER 690.8(A)(5) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
SYSTEM CHARACTERISTICS		AC WIRE SIZING CALCULATIONS BASED ON FOLLOWING EQUATIONS	
DC SYSTEM SIZE	9200 W	REQUIRED CONDUCTOR AMPACITY: INVERTER OUTPUT CURRENT * # OF INVERTERS = MAX CURRENT PER 690.8(A)(3) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
INVERTER STRING VOLTAGE:Vmp	380 V	REQUIRED CONDUCTOR AMPACITY: INVERTER OUTPUT CURRENT * # OF INVERTERS = MAX CURRENT PER 690.8(A)(3) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
MAX INVERTER SYSTEM VOLTAGE:Voc	480 V	REQUIRED CONDUCTOR AMPACITY: INVERTER OUTPUT CURRENT * # OF INVERTERS = MAX CURRENT PER 690.8(A)(3) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
MAX SHORT CIRCUIT CURRENT	30 A	REQUIRED CONDUCTOR AMPACITY: INVERTER OUTPUT CURRENT * # OF INVERTERS = MAX CURRENT PER 690.8(A)(3) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
OPERATING CURRENT	24.21 A	REQUIRED CONDUCTOR AMPACITY: INVERTER OUTPUT CURRENT * # OF INVERTERS = MAX CURRENT PER 690.8(A)(3) * 125% = MAX CURRENT PER 690.8(B)(1) CORRECTED AMPACITY CALCULATIONS: DERATED CONDUCTOR AMPACITY PER 690.8(B)(2) = AMPACITY * TEMPERATURE DERATE FACTOR * CONDUIT FILL DERATE DERATED CONDUCTOR AMPACITY CHECK: MAX CURRENT PER 690.8(B)(1) < DERATED CONDUCTOR AMPACITY	
OPTIMIZER CHARACTERISTICS		CONTRACTOR INFORMATION	
MODEL	S440 POWER OPTIMIZER	NAME: ROBERT TUTHILL	CONTRACTOR INFORMATION
MIN INPUT VOLTAGE	8 VDC	ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541	
MAX INPUT VOLTAGE	60 VDC	APN: 24236	
MAX INPUT CURRENT	14.5 ADC	UTILITY: DANVILLE UTILITIES	
MAX OUTPUT CURRENT	15 ADC	AHJ: VA-CITY OF DANVILLE	
ELECTRICAL NOTES		DRAWING INFORMATION	
1. CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT PER NEC 310.10(D). 2. CONDUCTORS EXPOSED TO WET LOCATIONS SHALL BE SUITABLE FOR USE IN WET LOCATIONS PER NEC 310.10(C). 3. MAXIMUM DC/AC VOLTAGE DROP SHALL BE NO MORE THAN 2%. 4. ALL CONDUCTORS SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED. 5. BREAKER/FUSE SIZES PER NEC 240. 6. AC EQUIPMENT GROUNDING CONDUCTOR SIZED PER NEC 250.122. 7. AMBIENT TEMPERATURE CORRECTION FACTOR IS BASED ON AMBIENT TEMPERATURE. 8. AMBIENT TEMPERATURE ADJUSTMENT FACTOR IS BASED ON NEC TABLE 310.15(B)(2)(a). 9. MAX. SYSTEM VOLTAGE CORRECTION IS PER NEC 690.7. 10. CONDUCTORS ARE SIZED PER NEC TABLE 310.15(B)(16).		 ILLUMINE i ELECTRICAL CALCULATIONS DATE: 06/02/2023 SHEET: E-03	
ALLOWABLE BACKFEED: MAIN PANEL RATING = 200 A MAIN BREAKER RATING = 200 A LINE SIDE TAP 100% OF ALLOWABLE BACKFEED = 200 A INVERTER OVERCURRENT PROTECTION: INVERTER OVERCURRENT PROTECTION = (INVERTER O/P CURRENT * CONTINUOUS LOAD(1.25)) = (42 * 1.25) = 52.5 A PV BREAKER SIZE / FUSE SIZE = 60 A ≥ 52.5 A TOTAL REQUIRED PV BREAKER SIZE / FUSE SIZE ≥ 60 A PV BREAKER		PRN NUMBER: COS-78829 REV: A DRAFTED BY: VAIBHAV QC'ED BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"X11"	

DC RACEWAYS

1

SW-1 DISCONNECT
(SQUARE D D222NRE)

13

I1 - INVERTER
(SOLAREDDGE TECHNOLOGIES SEL1000H-US (240V))

14

MSP - MAIN SERVICE PANEL

12

UTILITY METER

2

1

WARNING:
PHOTOVOLTAIC POWER SOURCE

3

SOLAR AC DISCONNECT

2

CAUTION
SOLAR ELECTRIC SYSTEM CONNECTED

4

SOLAR DC DISCONNECT

LABELING NOTES	
1	ALL PLAQUES AND SIGNAGE REQUIRED BY 2017 NEC AND 2018 IFC WILL BE INSTALLED AS REQUIRED
2	LABELS, WARNING(S) AND MARKING SHALL COMPLY WITH ANSI Z39.4, WHICH REQUIRES THAT DANGER WARNING, AND CAUTION SIGNS USED THE STANDARD HEADER COLORS, HEADER TEXT AND SAFETY ALERT SYMBOL ON EACH LABEL. THE ANSI STANDARD REQUIRES A HEADING THAT IS AT LEAST 50% TALLER THAN THE BODY TEXT, IN ACCORDANCE WITH NEC 110.21(B)
3	A PERMANENT PLAQUE OR DIRECTORY SHALL BE INSTALLED PROVIDING THE LOCATION OF THE SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC SYSTEM DISCONNECTING MEANS IF NOT IN THE SAME LOCATION IN ACCORDANCE WITH NEC 690.56(B)
4	LABEL(S) WITH MARKING, "WARNING PHOTOVOLTAIC POWER SOURCE," SHALL BE LOCATED AT EVERY 10 FEET OF EACH DC RACEWAY AND WITHIN ONE FOOT OF EVERY TURN OR BEND AND WITHIN ONE FOOT OF EVERY TURN OR BEND AND WITHIN ONE FOOT ABOVE AND BELOW ALL PENETRATIONS OF ROOF/CEILING ASSEMBLIES, WALLS AND BARRIERS. THE LABEL SHALL HAVE 3/8" TALL LETTERS AND BE REFLECTIVE WITH WHITE TEXT ON A RED BACKGROUND

CUSTOMER INFORMATION	CONTRACTOR INFORMATION
NAME: ROBERT TUTHILL ADDRESS: 830 GREEN STREET, DANVILLE, VA 24541 36.580821, -79.395343 APN: 24236 UTILITY: DANVILLE UTILITIES AHD: VA-CITY OF DANVILLE	 Benefits Beyond the Bottom Line
DRAWING INFORMATION	
PRN NUMBER: COS-78829 DRAFTED BY: VAIBHAV QC'D BY: K.NEEL SCALE: AS NOTED PAPER SIZE: 17"x11"	REV: A  PLACARDS DATE: 06/02/2023 SHEET: PL-01

INVERTER SPEC SHEET

SolarEdge Home Wave Inverter For North America

SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US



Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking 99% weighted efficiency
- Quick and easy inverter commissioning directly from a smartphone using SolarEdge SetApp
- Fixed voltage inverter for longer strings
- Integrated arc fault protection and rapid shutdown for NEC 2014, NEC 2017 and NEC 2020 per articles 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Small, lightweight, and easy to install both outdoors or indoors
- Built-in module-level monitoring
- Optional: Faster installations with built-in consumption metering (1% accuracy) and production revenue grade metering (0.5% accuracy, ANSI C12.20)

solaredge.com



/ SolarEdge Home Wave Inverter For North America

SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US / SE10000H-US / SE11400H-US

Applicable to inverters with part number	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	SE11400H-US	Units
OUTPUT								
Rated AC Power Output	3800 @ 240V 3800 @ 208V	5000	6000 @ 240V 6000 @ 208V	7600	10000	11400 @ 240V 11400 @ 208V	11400 @ 240V 11400 @ 208V	VA
Maximum AC Power Output	3800 @ 240V 3800 @ 208V	5000	6000 @ 240V 6000 @ 208V	7600	10000	11400 @ 240V 11400 @ 208V	11400 @ 240V 11400 @ 208V	VA
AC Output Voltage	✓	✓	✓	✓	✓	✓	✓	Vac
Min./Max. Voltage (211 - 240 - 264)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Output Voltage	✓	✓	✓	✓	✓	✓	✓	Vac
Min./Max. Voltage (183 - 208 - 229)	✓	✓	✓	✓	✓	✓	✓	Vac
AC Frequency (Hz)	✓	✓	✓	✓	✓	✓	✓	Hz
Maximum Continuous Output Current	16	21	25	32	42	47.5	47.5	A
Maximum Output Current (80°C)	16	21	25	32	42	47.5	47.5	A
Power Factor	✓	✓	✓	✓	✓	✓	✓	
Grid Threshold	✓	✓	✓	✓	✓	✓	✓	
Life Monitoring, Blending Protection, Country Configurable	✓	✓	✓	✓	✓	✓	✓	
Thermostats	✓	✓	✓	✓	✓	✓	✓	
INPUT								
Maximum DC Power @240V	5940	7750	9320	11900	15500	17650	17650	W
Maximum DC Power @208V	5000	6300	7500	9700	12800	14600	14600	W
Transformer-less, Ungrounded	✓	✓	✓	✓	✓	✓	✓	
Maximum Input Voltage	✓	✓	✓	✓	✓	✓	✓	Vdc
Normal DC Input Voltage	✓	✓	✓	✓	✓	✓	✓	Vdc
Maximum Input Current @240V/1	82.5	117.5	146.5	20	27	30.5	30.5	Adc
Maximum Input Current @208V/1	9	11.5	13.5	18	24	27	27	Adc
Max. Input Short Circuit Current	✓	✓	✓	✓	✓	✓	✓	Adc
Reverse-Polarity Protection	✓	✓	✓	✓	✓	✓	✓	
Ground-Fault Isolation Detection	✓	✓	✓	✓	✓	✓	✓	
Maximum Inverter Efficiency	✓	✓	✓	✓	✓	✓	✓	%
CEC Weighted Efficiency	✓	✓	✓	✓	✓	✓	✓	%
Nighttime Power Consumption	✓	✓	✓	✓	✓	✓	✓	W

(1) For other regional ratings please contact SolarEdge support.

(2) A higher current may be used for the inverter as long as it is equal current to the value stated.

INVERTER SPEC SHEET

/ SolarEdge Home Wave Inverter

For North America

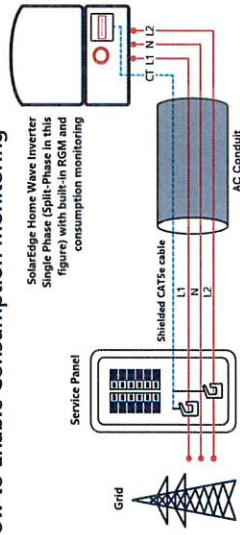
SE3800H-US / SE5000H-US / SE6000H-US /

SE7600H-US / SE10000H-US / SE11400H-US

Applicable to inverters with part number	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	SE10000H-US	SE11400H-US	SE14000H-US
ADDITIONAL FEATURES	RS485, Ethernet, ZigBee (optional), wireless SolarEdge Home Network (optional) ¹⁾ , WiFi (optional), Cellular (optional)						
Supported Communication Interfaces	Optional ²⁾						
Roaming Grid Monitoring	ANSI C12.20						
Consumption Monitoring	Optional ³⁾						
Power Compensation	With the SetApp module application using Built-in Wi-Fi Access Point for local connection						
Partial Shutdown - NEC 2014, NEC 2017 and NEC 2020, 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect						
STANDARD COMPLIANCE	UL1741, UL1741 SA, UL1741 SB, UL1098, CSA C22.2, Canadian SEC according to T.L. M-07						
Safety	IEEE1547-2003, Part 21, Rule 14 (H)						
Grid Connection Standards	IEEE1547-2003, Part 21, Rule 14 (H)						
Emissions	FCC Part 15 Class B						
INSTALLATION SPECIFICATIONS							
AC Output Cable Size / AWG	1" Maximum / 14 - 6 AWG						
DC Input Cable Size / AWG	1" Maximum / 1 - 3 strings / 14 - 6 AWG						
# of Strings / AWG Range	2108 x 14.6 x 2108 x 14.6 x 73 / 355 x 370 x 355						
Dimensions with Safety Switch (H x W x D)	177 x 146 x 66 / 400 x 370 x 174						
Weight with Safety Switch	22 / 10 / 25 / 114 / 262 / 119						
Peak	~ 25						
Cooling	Natural Convection						
Operating Temperature Range	-40 to +140 / -40 to +140 ⁴⁾						
Protection Rating	NEMA 4X Inverter with Safety Switch						

(1) For more information refer to the SolarEdge Home Network document.
(2) For more information refer to the SolarEdge Home Network document.
(3) For more information refer to the SolarEdge Home Network document.
(4) For more information refer to the SolarEdge Home Network document.

How to Enable Consumption Monitoring



By simply wiring current transformers through the inverter's existing AC conduits and connecting them to the service panel, homeowners will gain full insight into their household energy usage helping them to avoid high electricity bills.

CE

SolarEdge Technologies, Inc. All rights reserved. SolarEdge, the SolarEdge logo, and related marks are trademarks or registered trademarks of SolarEdge Technologies, Inc. in the United States and other countries. All other marks are the property of their respective owners. © 2021 SolarEdge Technologies, Inc.

ATTACHMENT SPEC SHEET

S-5![®] The Right Way![®]

S-5-U Clamp

The S-5-U clamp is by far our most popular and most versatile clamp. It fits about 85% of the standing seam profiles manufactured in North America—including most structural and architectural profiles. It can be used on vertically oriented seams and, by rotating the clamp 90 degrees, it can also be used on most horizontal 2" seam profiles. Its simple design, generous dimensioning, and multiple hole orientations are what make the S-5-U clamp so versatile for use with the S-5![®] snow retention products, such as ColorGuard[®], as well as with other heavy-duty applications.

Installation is as simple as setting the specially patented round-point setscrews into the clamp, placing the clamp on the seam, and tightening them to the specified tension. Then, affix ancillary items using the bolt provided with the product. Go to www.S-5.com/tools for information and tools available for properly attaching and tensioning S-5! clamps.

S-5-U Mini Clamp

The S-5-U Mini is a bit shorter than the S-5-U and has one setscrew rather than two. The Mini is the choice for attaching all kinds of rooftop accessories: signs, walkways, satellite dishes, antennas, rooftop lighting, lightning protection systems, solar arrays, exhaust stack bracing, conduit, condensate lines, mechanical equipment—just about anything!

*S-5! mini clamps are not compatible with, and should not be used with, S-5! Snowball[®] "Snowdome" or ColorGuard[®] snow retention systems.

The right way to attach almost anything to metal roofs!

The S-5-U clamp is our most popular and versatile clamp, fitting about 85% of the standing seam profiles in North America.

S-5-U and S-5-U Mini

888-825-3432 | www.S-5.com

S-5![®] The Right Way![®]

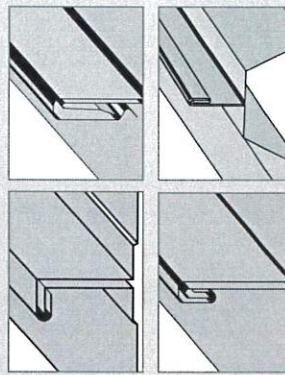
The strength of the S-5-U clamp is in its simple design. The patented setscrews will slightly dimple the metal seam material but not pierce it—leaving the roof manufacturer's warranty intact.

S-5-U Clamp

The S-5-U and S-5-U Mini clamps are each furnished with the hardware shown to the right. Each box also includes a bit tip for tightening setscrews using an electric screw gun. A structural aluminum attachment clamp, the S-5-U is compatible with most common metal roofing materials excluding copper. All included hardware is stainless steel. Please visit www.S-5.com for more information including CAD details, metallurgical compatibilities and specifications.

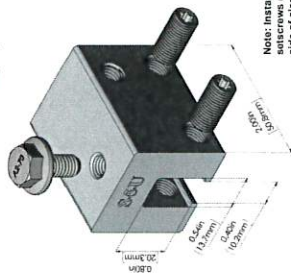
The S-5-U clamp has been tested for load-to-failure results on most major brands and profiles of standing seam roofing. The independent lab test data found at www.S-5.com can be used for load-critical designs and applications. S-5![®] holding strength is unmatched in the industry.

Example Profiles



For horizontal seams under 0.65", do not use this clamp. Visit www.S-5.com for more detailed information and proper clamp usage.

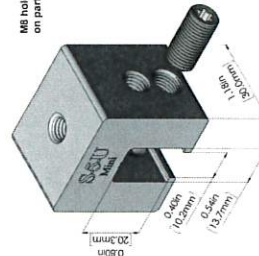
M8 hole located 1/2" (12.00 mm) from edge of part



Note: install both setscrews on same side of clamp.

S-5-U Mini Clamp

M8 holes centered on part



Please note: All measurements are rounded to the second decimal place.

Distributed by

S-5![®] Warning! Please use this product responsibly!

Products are patented by multiple U.S. and foreign patents. Visit the website at www.S-5.com for complete information on patents and trademarks. For maximum holding strength, setscrews should be tensioned and torqued to the specified values. The S-5! clamp is designed to be used on standing seam roofs with a minimum seam height of 1.50 inches (38 mm) and a maximum seam height of 2.25 inches (57 mm). The S-5! clamp is not compatible with, and should not be used with, S-5! Snowball[®] "Snowdome" or ColorGuard[®] snow retention systems. Copyright 2021, Metal Roof Innovations, Ltd. S-5! products are registered trademarks of Metal Roof Innovations, Ltd. All rights reserved. S-5! is a registered trademark of Metal Roof Innovations, Ltd. S-5! is a registered trademark of Metal Roof Innovations, Ltd.

RACKING SPEC SHEET

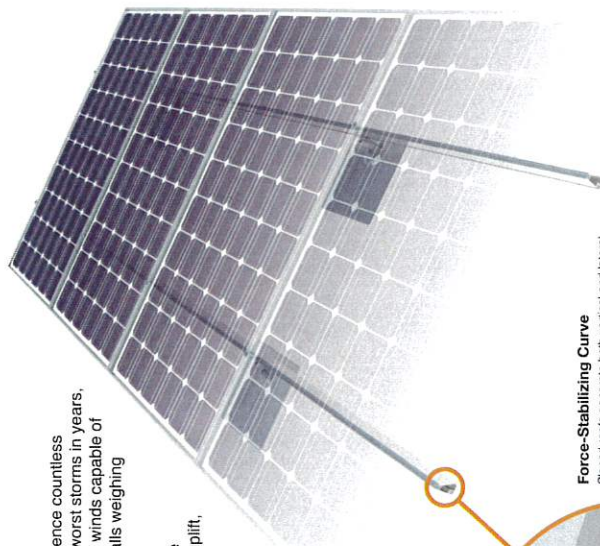


XR Rail® Family

Solar Is Not Always Sunny

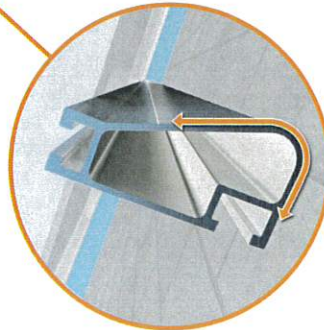
Over their lifetime, solar panels experience countless extreme weather events. Not just the worst storms in years, but the worst storms in 40 years. High winds capable of ripping panels from a roof, and snowfalls weighing enough to buckle a panel frame.

XR Rails® are the structural backbone preventing these results. They resist uplift, protect against buckling and safely and efficiently transfer loads into the building structure. Their superior spanning capability requires fewer roof attachments, reducing the number of roof penetrations and the amount of installation time.



Force-Stabilizing Curve

Sloped roofs generate both vertical and lateral forces on mounting rails which can cause them to bend and twist. The curved shape of XR Rails® is specially designed to increase strength in both directions while resisting the twisting. This unique feature ensures greater security during extreme weather and a longer system lifetime.



Compatible with Flat & Pitched Roofs

XR Rails® are compatible with FlashFoot® and other pitched roof attachments.



Corrosion-Resistant Materials

All XR Rails® are made of 6000-series aluminum alloy, then protected with an anodized finish. Anodizing prevents surface and structural corrosion, while also providing a more attractive appearance.



Tech Brief

XR Rail® Family

The XR Rail® Family offers the strength of a curved rail in three targeted sizes. Each size supports specific design loads, while minimizing material costs. Depending on your location, there is an XR Rail® to match.



XR10

XR10 is a sleek, low-profile mounting rail designed for regions with light to moderate snow loads and winds up to 160 mph, while remaining light and economical.

- 6' spanning capability
- Moderate load capability
- Clear & black anodized finish
- Internal splices available



XR100

XR100 is the ultimate residential mounting rail. It supports a range of wind speeds and snow loads, while also maximizing spans up to 10 feet.

- 10' spanning capability
- Heavy load capability
- Clear & black anodized finish
- Internal splices available



XR1000

XR1000 is a heavyweight among solar mounting rails. It's built to handle severe climates and spans up to 12 feet for commercial applications.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish
- Internal splices available

Rail Selection

The table below was prepared in compliance with applicable engineering codes and standards.* Values are based on the following criteria: ASCE 7-16, Gable Roof Flush Mount, Roof Zones 1 & 2e, Exposure B, Roof Slope of 8 to 20 degrees and Mean Building Height of 30 ft. Visit IronRidge.com for detailed certification letters.

Load		Rail Span					
Snow (PSF)	Wind (MPH)	4'	5' 4"	6'	8'	10'	12'
None	90	XR10		XR100		XR1000	
	120						
	140						
	160						
20	90						
	120						
	140						
	160						
30	90						
	160						
40	90						
	160						
80	160						
	120						

*Table is meant to be a simplified span chart for conveying general rail capabilities. Use approved certification letters for actual design guidance.

Burton, Renee

From: Burton, Renee
Sent: Friday, October 13, 2023 3:16 PM
To: Burton, Renee
Subject: FW: 830 Green St | REL23-0781

Importance: High

From: Fulcher, Charles
Sent: Wednesday, August 16, 2023 4:01 PM
To: Autumn Tedesco <npi@convert-solar.com>
Cc: Burton, Renee <burtotr@danvilleva.gov>
Subject: 830 Green St | REL23-0781
Importance: High

Electrical Permit REL23-0781 was issued on Condition of Commission of Architecture Review approval. This meeting is set for August 24, 2023. Please stop all work until the review board has approved the installation in this historic district.

Any work that has already occurred or continues is by your own risk.

Charles W. Fulcher, Jr. | INTERIM DIRECTOR OF INSPECTIONS
COMMUNITY DEVELOPMENT | CITY OF DANVILLE
427 Patton St | Suite 208 | Danville VA | 24541

PHONE (434) 799.5260 ext 2485
EMAIL fulchcw@danvilleva.gov | WEBSITE <http://www.danville-va.gov/424/Inspections>

Review comments entered into the permitting system (CityWorks). These comments were forward to the permit applicant.

Inspection Only No Permit Required

ENTERPZONE : Enterprise Zone

Group Sum

Sum Flag

Workflow			
All	Description	Result	Target End Completed
☐	Pre-Review	ACCEPT - PRE-REVIEW	6/6/23 1P 6/5/23 3P 1
☐	Electrical Application Revi...	ACCEPT-REVIEW	6/8/23 3P 6/5/23 3P 2
☒	Planning & Zoning Plan Revi...	CONDITIONAL APP...	6/9/23 12P 6/26/23 12P 2
☐	Electrical Plan Review	CONDITIONAL APP...	6/9/23 12P 6/7/23 2P 2
☐	Final Review Status	APPROVE	6/29/23 12P 8/3/23 8A 3
☐	Issue Trade Permit	ISSUED	8/8/23 8A 8/3/23 9A 4
☐	Above Ceiling Inspection		5
☐	Electric Rough-In Inspec...		8/4/23 9A 5
☐	Electric Underground Inspec...		5
☐	Final Electrical Inspection		6

Size: 25

Go

Found: 10

Displaying 1 to 10

InspReq

No Entries Found

Task Comments - Google Chrome

cityworks/cw_server/CWPermit/UF/Case/Lookup/Page/CUFtaskComments.aspx?&C...

Comments

Add Comment

Sort

06/26/2023 12:19 PM

Requires a Certificate of Appropriateness from the Commission of Architecture Review

Close

COMMISSION OF ARCHITECTURAL REVIEW

MEETING OF

AUGUST 24, 2023

Members Present

Sonja Ingram
Karl Almquist
Robert Weir
Jackson Weller
Robert Stowe

Members Absent

Kathryn Waters

Staff

Cynthia Lester
Shanika Williams
Renee Burton

ITEMS FOR PUBLIC HEARING

Mr. Weir opened the Public Hearing.

1. Certificate of Appropriateness Request PZ23-00240 filed by John and Mary Kent to install three (3) mini-split HVAC units at 903 Main Street (Parcel 21847).

Mr. Kent stated. We originally requested a permit to get this done through the city, we got permits for all the AC work. And when the inspector came out a while ago, he asked if we had met with CAR, I said as our contractor, he said no. He said you probably need to do this. While literally across the street the Presbyterian church has 2 spit units parked on the side of the building, so we didn't think anything of this. So, we are here today to ask for the certificate to allow us to do this. Full transparency, the work with the installed piece of the AC units was completed earlier this week or late last week, we started the process. And what we really like to understand is, if there's any issues with that, what's the recommendation going to be favorable, but also about the screening and make sure they're extremely good neighbors in the process of doing this.

One piece of clarification, I noted in the conversation there's some discussion amongst you all about fencing versus shrubbery or vegetation. I wasn't sure whether fencing is sufficient, or shrubbery and fencing is required or how you avoid that because for us. It would certainly be easier just to erect the fence, getting the right height of shrubbery and getting it grown. Our thoughts were to put up sort of a cedar picket fence that was required to hide all the things and then stain it with color most closely to the brick of the building.

Mr. Weir closed the Public Hearing.

Ms. Ingram stated. You said this will allow for the removal of 13 window units.

Mr. Kent stated. Yes, they have already been removed, because the last time window that fold in like that is really the kind of problem and has some bugs to work out, but they were probably about half of the windows on that side of the building and half of the windows on the other side of the building. The ones that were still working the less fortunate folks who needed help for one reason or the other can use them in their homes.

Mr. Weir stated. They actually in place now?

Mr. Kent stated. What's that?

Mr. Weir stated. The units.

Mr. Kent stated. Yes, there are 2 unit there. The other thing we've been trying to do is clean the building about 300 miles of cable, old phone wire and a couple of things on the buildings outside. We are doing what we can to bring it back to the basics. So, we don't have a bunch of stuff hanging off the building.

Ms. Ingram stated. Is there an image of what it looks like?

Mr. Kent stated. No.

Mr. Weller stated. They're nice because they are attached to the building and is well done.

Mr. Kent stated. There is a bracket that was basically affixed to the side of the building to keep it up off the ground.

Ms. Ingram stated. What about the fencing?

Mr. Stowe stated. Guidelines said they need to be screened.

Mr. Kent stated. I don't know if there's any specific requirements that says it right about 60 inches to the top of this electrical devices. So, I thought it was a 60-inch-tall cedar picket fence that was around so the service people could get in and out and revisable security as well as screening.

Ms. Ingram made a motion to approve the amended landscaping and picket fence at 903 Main Street (Parcel 21847) as submitted. Mr. Weller second the motion. The motion was approved by a 5-0 vote.

Mr. Weir Open the Public Hearing.

2. Certificate of Appropriateness Application PZ23-00244, filed by Robert Tuthill to install a solar energy system at 830 Green Street (Parcel 24236).

Mr. Weir stated. No one was here to speak on this issue.

Ms. Burton stated. That would be up to the Commission if you want to hear the case, or table it so that the applicant or someone representing them can be here.

Mr. Weir stated. Commissioners have everyone had a chance to see the facility.

Mr. Stowe stated. I think the recommendation from Seth is we do not approve this. I tend to agree with that it feels like we will see a lot of this from the street.

Mr. Weir stated. You can see it even with the HP. That's not what bothers me so much because the technology is here and as you continue, we have approved it twice before it was black and white, it wasn't in your face. I don't know what the answer is or what the alternatives are. Because it's all installed now.

Ms. Ingram stated. It is all installed.

Ms. Burton stated. Did they put the panels up?

Mr. Weir stated. The panels are there.

Ms. Ingram stated. Did they damage the roof, they have to take them off?

Ms. Burton stated. Yes, I think it's in the staff report that there was a miscommunication. I drove by and saw them prepping, they just had the rails on. So, I made calls to make them stop work, The company called me and said they had stopped work. They had moved off the job site cleaned up; they would not return till they heard back from me. Apparently, that's not really what happened.

Mr. Weir stated. The panels are in place and the wire and the conduit system coming down the outside wall is visible.

Ms. Burton stated. I haven't been back down Green Street I been working on Pine Street, but I haven't been on Green Street.

Ms. Ingram stated. You saw the panels in place.

Ms. Burton stated. They were putting on the rails to put the panels on when I saw them. I called them to cease work. They said they did so. They were gone that afternoon after work I drove by that day to make sure they were gone. The only

thing was the rails themselves no I didn't go back and check but apparently, they decided to return.

Mr. Stowe stated. Can I ask what the process is when we deny something that's already in place, and the person who thought with it, because I can tell you there are a couple of things, we denied some time ago that are still in place. What process is that.

Ms. Burton stated. It becomes a zoning violation, and it will be to our department to then enforce it to make sure that they become in compliance. So, at this point, if there is a denial, they will have 30-day time period to appeal that decision. We sit and wait ultimately to allow them their time for due process. After those 30 days if not corrected, then we will begin the violation process.

Mr. Weir state. If they challenge, will it come back to us or go to City Council?

Ms. Burton stated. City Council.

Ms. Ingram stated. I think it's pretty clear in our guidelines you would be able to see these extremely visible, I think if they had come to us there may be some way to work with them. I know that this is the south facing, you know when I looked at this, I thought maybe there is somewhere in the back we could do this. I feel like we need to be able to talk to them and work with them. Because I'm for solar but it is just so visible. That's why I have to agree to deny.

Mr. Weir stated. So that's a yes.

Ms. Ingram stated. Yes.

Mr. Weir closed the Public Hearing.

Stowe made a motion to deny request for Certificate of Appropriateness for PZ23-00244 to install a solar energy system at 830 Green Street (Parcel 24236) Mr. Weller seconded. The motion passed. Vote 5-0.

3. Review Special Use Permit request filed by MADS Holbrook LLC for a Short-Term Rental at 503 Holbrook Ave.

Mr. Weir opened the Public Hearing.

Mr. Ryder stated. Looking to apply for a special use permit for an Airbnb.

Ms. Burton stated. In this particular situation, a special use permit is necessary to operate a short-term rental as the principal use of the structure. That will be something that is reviewed from the planning commission on September 11. However, it also states in the guidelines of the Commission of Architecture Review, there's no zone piece until it has been reviewed, you would not receive a certificate of appropriateness from them. Simply on this piece would be a review and recommendation body, because it is land use. So, your recommendation will then go to Planning Commission. And then their recommendation then goes to City Council, and they make the final determination. So, because he is located on the Old West End it's a tribe.

Mr. Weir closed the Public Hearing

Mr. Stowe stated. Renee are there any others in the area?

Ms. Burton stated. You do have other short-term rentals in the Old West. And they did not go through this process. We have one on Chestnut, I know it's been operated by Mr. Meter. And then there another on Main I believe. So, I know of 2 that we have within the Old West End Mr. Weir stated. Did we go through this process with those?

Mr. Stowe stated. I'm assuming since it has already been approved by City Council, they have their permits there is nothing we can do with those 2.

Ms. Burton stated. There is nothing we can do retro.

Mr. Stowe stated. Is there a way to find out or place to go somewhere to ask if there are other properties that have been granted this. I'm under the impression there are others that are operating without a permit.

Ms. Burton stated. We are currently in the process of putting in a new software program. I'm in the testing phase of that software right now. I would anticipate at least another month or so. The software called Granicus does date mining to determine which ones are in operation who is advertising. The latest data that I have received stated that 105 are operating in the City of Danville, I have 23 on record. So, Shanika is getting ready to put in her resignation letter. No, I'm just kidding. We have some catching up to do, it's a lot, we are working on it diligently, we do have new short term rental code amendments that will happen I will be presenting the planning commission on September 11, trying to tighten it up a little more it is a process. I know that you have the two that are legally operating in the old west end, there may be more and when I say legally operating at this point it means that they do have licenses and were granted licenses to do that.

Mr. Weir stated. How many bedrooms?

Mr. Ryder stated. 5 bedrooms and 4 bathrooms, we can have up to 10 people.

Mr. Weir stated. You only have one driveway or one spot for parking.

Mr. Ryder stated. Technically you could get 2 cars into the driveway just not side by side, and there is plenty of parking on the street.

Ms. Ingram stated. So, you would be living in the resident.

Mr. Ryder stated. Right now, yes.

Ms. Ingram stated. You are planning on moving somewhere else.

Mr. Ryder stated. Yes, we brought another house.

Ms. Ingram stated. Who will be looking over the place?

Mr. Stowe stated. So, you are going to self-monitor the property?

Mr. Ryder stated. Yes.

Ms. Burton stated. Current code states there have to be a manager within 50 miles.

Ms. Ingram stated. Ok. I don't have a problem with this.

Mr. Weller stated. The mechanic, this is a new process. What is it you want from us.

Ms. Burton stated. You are to make a motion whether you would recommend approval or denial.

Mr. Weir stated. Go through the normal process.

Ms. Burton stated. Same process yes. Like I said it is a recommendation it not whichever way you go is not the final say, you're the star.

Mr. Weller stated. Do we know what the positive negative impact is on the short-term rentals to a neighborhood or district.

Ms. Burton stated. They're on both sides. We've seen the short-term rentals come meaning that they are coming up so that they are being rehabbed, they are maintained. Here they have a little greater care and upkeep. We also have some that we have a lot of complaints on from noise, late night activity, traffic and parking. So, it's a balance, I can give you both sides in this particular situation.

Mr. Weller stated. What kind of inspection process happens from the city side for the short-term

Ms. Burton stated. Currently, it's a certificate of occupancy, and then they're issued if they received a special use permit, they are issued a zoning clearance and then a business license.

Mr. Weir stated. Is there an inspection by the city to make sure they are maintained.

Ms. Burton stated. It is not in general this particular property being in the Old West End is in a rental housing district. So, we'll have additional inspections for that. We also discussing a renewal process for special use permits. So, say that you've got it, and you've had it for one year. And when you go to city council, the neighbors have that opportunity to speak, so if you've had it for one year, we might do it where you come back for renewal. If it's not going well, then the neighbors can say such and then we would deal with it that way. But that is not in the code. Currently, it's just something that we've talked about.

Mr. Almquist stated. The parking on Holbrook itself becomes an issue quite often, as I'm a few houses up.

Mr. Weir stated. A lot of these old houses, they don't have any place to park except on the street. And this is just concerns and it's going to end saying we already have two in the Old West End.

Mr. Weir stated, Your thoughts? Recommendation? Motion.

Ms. Ingram stated. I don't have any problem with it. I live right down the street from it, I think because the house was rehab, really to me shows the benefits of this. If you say that I've made the renewal process, that would be something that I think we really benefit from. Because right now if this gets approved and for whatever reason for ever.

Ms. Burton stated. Yes, perpetuity, well I say that it transfers per ownership, If it was to lack use, saying all of a sudden someone did use it as a short-term rental it can lose that right if it's not used in that manner for more than two years. But if it continues to transfer, it will, continue. We would see that from records. Potentially either utility records or transfer real estate records, things of that nature, we will be able to watch. .

Mr. Weller stated. Out of curiosity, you said that you live her in Danville, but the applicant address is Washington State.

Mr. Ryder stated. That is the business address. That where we are from originally.

Ms. Ingram stated. Can we approve with recommendation.

Ms. Burton stated. With conditional approval

Ms. Ingram stated. Or should we say we recommend this and then we also recommend additional approval process and we come back.

Ms. Burton stated. It would have to be two separate motions, one motion be specific to this particular use of 503 Holbrook Street and then afterwards, you may make a motion stating that you recommend that we research that renewal process when it comes to short-term rental for code amendments.

Mr. Weller stated. Would that hold up if it gets approved further up the line.

Ms. Burton stated. This particular case up,

Mr. Weller stated. Would that affect this.

Ms. Burton state. No, because the code amendments are going before planning commission on September 11, regardless, it could be added as another item that could be looked at.

Mr. Stowe stated. Yeah, I park there al lot, it is not always empty, I think it depends on who's occupying at the time. And there's currently no one in the apartment, but I guess theoretically once again be occupied.

Mr. Ryder stated. From what I'm told, until they can guarantee parking. We are asking people off the street, my self-included, we would sell them some property in the back.

Mr. Stowe stated. The past people lived there had off the street parking.so certainly could be street parking as it was before.

Mr. Ryder stated. From what I was told not in the conditions that were for the people that wanted to open it up to X number of parcels.

Mr. Stowe stated. Definitely a preference.

Ms. Ingram stated. You can park on the north side of Holbrook people don't realize that, yes, all that is parking once you get past the intersection.

Mr. Weller stated. I am not in favor of these Airbnb, particularly in neighborhoods. Having the thought of wanting my neighborhood people coming and going, I don't know who they are. And they are not residents. I just do not like that. And this is obviously not my neighborhood, but it's not far from where my in-laws live and their grandkids, my children are. You don't want my recommendations.

Mr. Stowe stated. I'll be honest, I'm having similar reservations and readiness as I was just at city council for the war on college, because that's where live. Talking about it's a neighborhood, parking is limited that sort of things.

Mr. Weir stated. Not saying we're not applying for a certificate of appropriateness here. We're basically saying we either agree with the process or not. So, we can make a motion not to approve that doesn't change what happens to planning commission.

Ms. Burton stated. It will be added.

Mr. Weller stated. I do like Sonya addendum with the yearly renewal. At least it gives you the option to see if maybe it works out maybe it doesn't work out, but you get an opportunity to review another year.

Ms. Ingram stated. I understand the conversations and the neighborhood because there are so many, and parking is worst there. In this neighborhood we don't have many so that's fine. I don't have a problem yet. But if there is an explosion there might be I think you guys are getting in at the right time.

Mr. Ryder stated. The other thing is we've set out to be one way as opposed to raising the bar which we could have done with a little planning. Our thoughts on this were we fix it up very nice.

Put a lot of money into it to make it what it is. The place that we're going to be coaches without having the party in the short-term, if there are parties bound, they're immediately asked to vacate. We have two other ones in the United States, where we've never had an issue with a lot of parties, we try to do a little bit higher in clientele and try and make them a little bit nicer. Somewhere where families come together.

Ms. Ingram stated. I make a recommendation that this be approved with the stipulation or bought or whatever that it would be appropriate. Having the yearly or whatever the timeframe is renewable. And some of my thoughts would be that there aren't many of these rental properties in this neighborhood, that the house was rehabbed, they did a beautiful job. And like you said it's a house it not divided into different units.

Ms. Burton stated. So, your recommendation of annual renewal is specifically for this property.

Ms. Ingram stated. No, I think it a good ideal for all.

Mr. Stowe stated. Just to clarify, if planning commission were to add that stipulation, in general would not affect this property because of the fact and this would still be in.

Ms. Burton stated. So, you are saying in general for short-term rental. Okay just want to clarify.

Mr. Stowe stated. I think a person will be more comfortable with approving it. And where that stipulation in place that says it's not currently, I think that is part of my reservation initiative with 10 people, or so like I said. I was talking earlier for years, where the streets are jam packed. But we're just at a point in time now where it's not.

Ms. Burton stated. You can look at those two ways. So, we can look at code amendments that can be placed in as a change. That would be an annual renewal, while you're making a recommendation to Planning Commission, you can state that you would recommend that they put a condition on his special use permit that it is an annual renewal. I've not seen it done. But it can be done. It's legal to do that. That's why I wanted to make sure that is something that legally planning commission and the city council can do without a general code stating that for city wide.

Mr. Weir stated. We want to do this in two separate votes, one is up or down on this issue alone, then to make a motion that the planning commission consider the process of any renewal or annual inspections separate from this.

Mr. Almquist stated. We do exactly the way Sonya said and second the motion. So that's with this one for now. Plus, we asked at the renewal in perpetuity for all future so that this motion has that ID attached to it. And then the other one is for everything else. If you attach it to this one, as Sonya said, and then we make the next motion that they consider it for all.

Ms. Burton stated. Yes, you can do that. And to clarify that because their annual renewal is not in the code now for special use permits. That doesn't mean that in the code amendment it can't say for all when it comes to a registry or in general. So, I can't say that this one will not be subject to that. Just because it's happening prior to that code amendment, other code amendments can happen. They can retro all operating short-term rules. So, I just wanted to make it clear that it may still be subject to depending on what kind of code amendments are passed. Right now, your motion is approval recommendation sent to planning commission as approval. Correct.

Ms. Ingram stated. Yes. Have the text in there of some reasons why.

Ms. Burton stated. Yes, absolutely. But the renewal you do not want specifically attached to 503 Holbrook Street.

Ms. Ingram stated. No, you don't have to do that.

Ms. Burton stated. That's in general? Okay

Ms. Ingram made a motion that we recommend some sort of renewal whether it be a year or whatever time frame be release on short-term rentals. Mr. Weller

seconded the motion. The motion was approved by 3-O-1.

APPROVAL OF MINUTES

The JULY 27, 2023, minutes were approved by a unanimous vote.

With no further business, the meeting adjourned at 4:10 p.m.

Approved By:

Council Letter City of Danville, Virginia



CL - 916

NEW BUSINESS J.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of Rejecting Two New Public Utility Regulatory Policies Act (PURPA) Standards.

From: Jason Grey, Director of Utilities

COUNCIL ACTION

A Resolution to Reject the Two New PURPA Standards in Accordance with the Infrastructure Investment and Jobs Act Of 2021.

SUMMARY

On occasion, new PURPA policy standards are proposed by Congress for consideration and possible adoption. These two new standards include demand response practices and electric vehicle (EV) charging programs, which were included in the Infrastructure Investment and Jobs Act of 2021. The legislation allows us until November 15, 2023 to decide whether or not to formally adopt these two new standards.

BACKGROUND

On November 15, 2021, President Biden signed into law the Infrastructure Investment and Jobs Act of 2021 (IIJA). Embedded within the IIJA are sections 40104(a)(1) and 40431(a), which require each "nonregulated electric utility," to consider and to determine whether or not to adopt two new proposed regulatory standards relating, respectively, to demand response and electric vehicle recharging programs.

RECOMMENDATION

Staff recommends that Council consider not adopting the two new PURPA standards as a result of the Infrastructure Investment and Jobs Act of 2021.

Attachments

1. Resolution
 2. PURPA Results Powerpoint
-

PRESENTED: _____

ADOPTED: _____

RESOLUTION NO. 2023-____.____

A RESOLUTION TO REJECT THE TWO NEW PURPA STANDARDS IN ACCORDANCE WITH THE INFRASTRUCTURE INVESTMENT AND JOBS ACT OF 2021.

WHEREAS, City of Danville (“Municipality”) owns and operates an electric utility that provides electric services to its residents and customer. The Municipality supports conservation of electric energy supplied by its electric utility and the development of alternative generation sources of electric energy; and WHEREAS, on November 15, 2021, the President signed into law the Infrastructure Investment Jobs Act of 2021 (“IIJA”) passed by the House of Representatives and Senate; and

WHEREAS, Among other items, sections 40104 and 40431 of IIJA contained two new standards that Municipalities would be obligated to implement with respect to its electric utility; and

WHEREAS, the Amendments to PURPA consist of standards relating to the following: (i) demand-response and demand flexibility, and (ii) electric vehicle charging programs;

WHEREAS, Municipality’s electric utility is a “nonregulated electric utility” under PURPA, and is not a state regulated electric utility; and

WHEREAS, IIJA required consideration of the Amendments to PURPA by electric utilities, including nonregulated electric utilities, whose total annual retail sales exceed 500,000 megawatt-hours (“MWh”) in the calendar year two years before the year when the standards could be considered in accordance with IIJA’s consideration timetables; and

WHEREAS, IIJA provides that electric utilities that meet the 500,000 MWh total annual retail sales requirement should consider and make determinations relating to the

Amendments to PURPA in accordance with the following timetable: (1) for the demand-response and demand flexibility standards, and (2) electric vehicle charging programs; and

WHEREAS, Municipality's electric utility held an in-person public hearing on March 29, 2023, and allowed public comment via an on-line survey between March 23, 2023-April 5, 2023; and

WHEREAS, The in-person public hearing was not attended by any members of the public and the on-line survey results yielded two responses; and

WHEREAS, The Danville Utility Commission recommended at their April 2023 meeting to not consider adopting the two new PURPA standards due to the additional costs to meet the federal standards; and

WHEREAS, the electric utility already has programs in place that support demand response and electric vehicle adoption.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Danville, Virginia, that the City hereby rejects adopting the two new PURPA standards in accordance with the Infrastructure Investment and Jobs Act of 2021.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney



PURPA “Shall Consider” Results

Danville Utility Commission

April 24, 2023

Background

- Implications of Recent Amendments through the Infrastructure Investment and Jobs Act (IIJA) to the Public Utility Regulatory Policies Act of 1978 (PURPA)
- Action required for nonregulated entities that have annual retail sales greater than 500,000 MWh
- “Shall consider” two, new standards and “make a determination” concerning implementation of such standards.
 - Standard 1- Demand-Response Practices: promotion of demand response activities by all rate classes and establish rate mechanisms for recovery of the costs from promoting those activities
 - Standard 2- Electric vehicle charging programs: promote affordable electric vehicle charging, improve customer experience with electric vehicle charging, accelerate third-party investment in electric vehicle charging, and recover marginal costs related to delivering electricity to electric vehicles



Background Cont'd

- Commence consideration of standards no later than November 15, 2022, and conclude with a determination on whether to adopt each standard by November 15, 2023.
- Danville Utility Commission (DUC) voted at the October 2022 meeting to commence consideration of the two new PURPA standards.
- A public meeting was announced two weeks prior and held on March 29, 2023; in addition, a survey was published for customers to provide input.

Results

- The survey provided mixed results with 50% of respondents wanting to adopt the new standards and 50% wanting to not adopt the new standards.

Recommendation

- We recommend to *not consider* these additional requirements due to:
 - Additional costs associated with meeting the requirements
 - Lack of current interest in the requirements from the public
- Should cost and interest change in the future, we can come back and recommend to adoption of these requirements



Support Documents

Post details



Danville Utilities



Published by Janet Davis ·
March 23 at 10:13 AM ·

Notice of Hearing and Request for Public Input on New Federal Energy Standards

Danville Utilities is soliciting public input regarding Demand-Response (DR) Standards and Electric Vehicle (EV) Charging Standards as part of new requirements contained in the federal Infrastructure Investment and Jobs Act of 2021, which amended Title I of the Public Utility Regulatory Policies Act (PURPA). The amendment to PURPA requires Danville Utilities to seek public input and hold a hearin... See more

DANVILLEUTILITIES.COM
danvilleutilities.com

Performance for your post

697 People reached

4 Likes, comments & shares

14 Post clicks

0	5	9
Photo views	Link clicks	Other clicks

View more details

Negative feedback

0	0
Hide all posts	Hide post
0	0
Report as spam	Unlike Page

4 Likes, comments & shares

Post details



Danville Utilities



Published by Janet Davis ·
March 29 at 8:19 AM ·

Reminder: Public Meeting tonight from 4:00pm-6:00pm in the Pepsi Building for information on the PURPA "Shall Consider" Standards.

Information from previous post below:
Notice of Hearing and Request for Public Input on New Federal Energy Standards
Danville Utilities is soliciting public input regarding Demand-Response (DR) Standards and Electric Vehicle (EV) Charging Standards as part of new requirements contained in the federal Infrastructure Investment and Jobs Act of 20... See more

SURVEYMONKEY.COM
PURPA "Shall Consider" Standards Survey

Performance for your post

424 People reached

2 Likes, comments & shares

7 Post clicks

0	4	3
Photo views	Link clicks	Other clicks

View more details

Negative feedback

0	0
Hide all posts	Hide post
0	0
Report as spam	Unlike Page

2 Likes, comments & shares

Q1

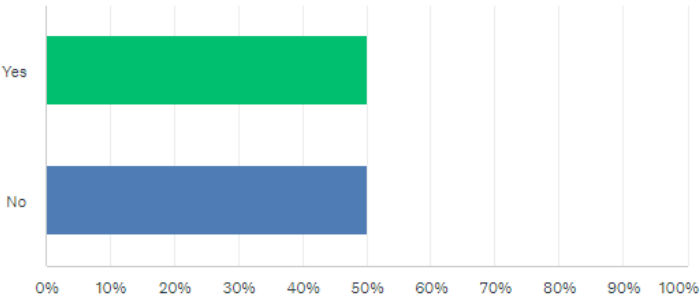


Customize

Save as

Do you believe that Danville Utilities shall promote the use of demand-response and demand flexibility practices by commercial, residential, and industrial consumers to reduce electricity consumption during periods of unusually high demand?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00% 1
No	50.00% 1
TOTAL	2

[Comments \(1\)](#)

Q2

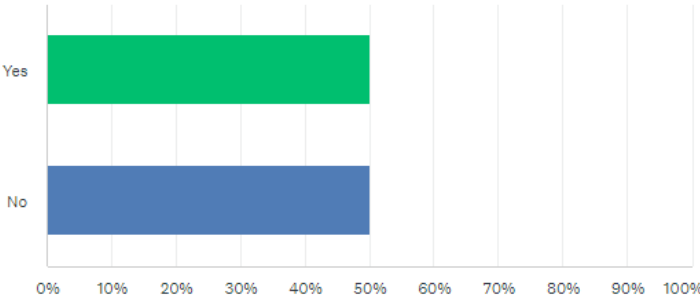


Customize

Save as

Rate Recovery: Do you agree that a nonregulated electric utility may establish rate mechanisms for the timely recovery of the costs of promoting demand-response and demand flexibility practices?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00% 1
No	50.00% 1
TOTAL	2

[Comments \(1\)](#)

Q3

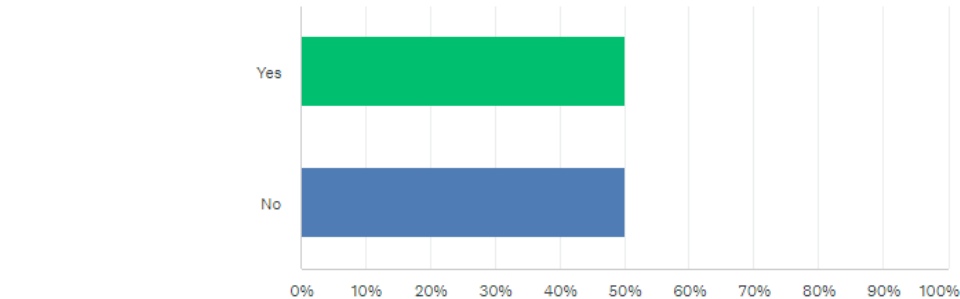


Customize

Save as

Do you agree that the establishment of rates should promote affordable and equitable electric vehicle charging options for residential, commercial, and public electric vehicle charging infrastructure?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00% 1
No	50.00% 1
TOTAL	2

[Comments \(1\)](#)

Q4

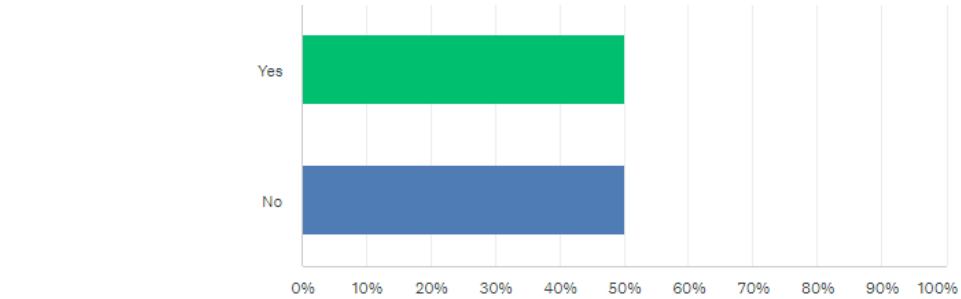


Customize

Save as

Do you agree that the establishment of rates should improve the customer experience associated with electric vehicle charging, including by reducing charging times for light-, medium-, and heavy-duty vehicles?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00% 1
No	50.00% 1
TOTAL	2

[Comments \(1\)](#)

Q5

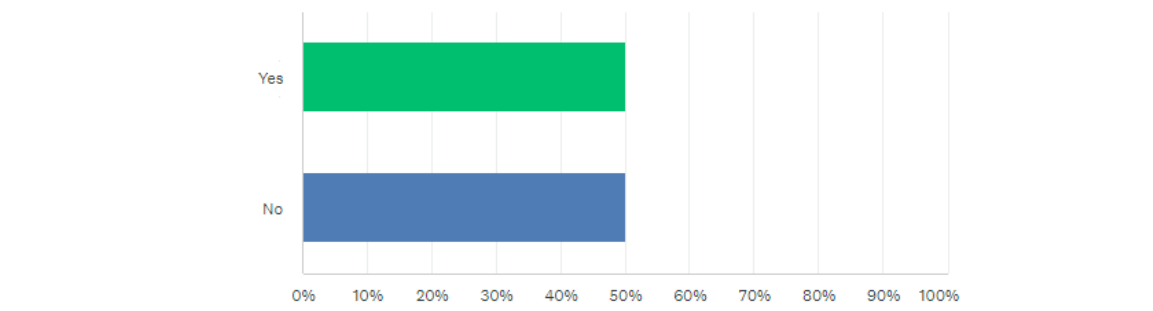


Customize

Save as

Do you agree that the establishment of rates should accelerate third-party investment in electric vehicle charging for light-, medium-, and heavy-duty vehicles?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00%
No	50.00%
TOTAL	2

[Comments \(1\)](#)

Q6

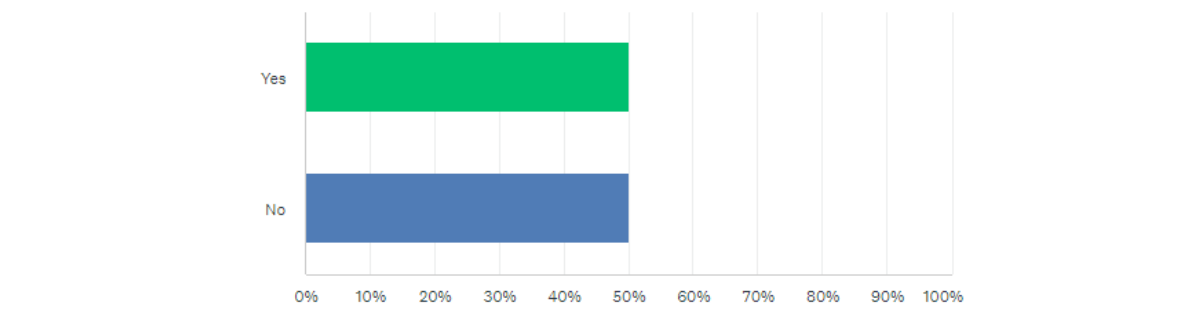


Customize

Save as

Do you agree that the establishment of rates should appropriately recover the marginal costs of delivering electricity to electric vehicles and electric vehicle charging infrastructure?

Answered: 2 Skipped: 0



ANSWER CHOICES	RESPONSES
Yes	50.00%
No	50.00%
TOTAL	2

[Comments \(1\)](#)

Council Letter

City of Danville, Virginia



CL - 965

NEW BUSINESS K.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of Authorizing and Approving the Execution of a Support Agreement By and Between the City of Danville, Virginia and the Virginia Small Business Financing Authority.

From: Corrie Bobe, Director of Economic Development and Tourism

COUNCIL ACTION

Resolution of the City Council of the City of Danville, Virginia Approving Support Agreement.

SUMMARY

Staff is recommending the approval of a Support Agreement between the City of Danville, Virginia and the Virginia Small Business Financing Authority for an equipment loan with Making Everything Possible, LLC, and the Industrial Development Authority of Danville, Virginia.

BACKGROUND

In June 2021, MEP, LTD, a UK-based company that specializes in manufacturing bespoke metal and plastic components for the aerospace and defense industries, announced its location to the Cyber Park in Danville under the name Making Everything Possible, LLC. In order to assist with their first location in the US and given that they had not had a chance to establish credit history, the IDA has agreed to enter into a loan agreement with the Virginia Small Business Financing Authority and in partnership with Making Everything Possible LLC to secure an equipment loan totaling \$984,000 with an interest rate of 5.5%. This loan will be used to acquire equipment such as CNC machines, lathes, and milling machines, and payments will be amortized over a 120-month period and with interest-only payments being made over the first 12 months. The Virginia Small Business will have first priority security interest on all pieces of equipment. To serve as additional protection for the IDA, Phil Hart, owner of MEP Ltd. and Making Everything Possible, LLC, will provide a personal guarantee for this loan and the LLC will also provide 20% of the total cost of the equipment. Each draw request for this loan will be reviewed and approved by the IDA's loan committee and by staff at the Virginia Small Business Financing Authority.

RECOMMENDATION

Staff recommends the approval of a Support Agreement with the Virginia Small Business Financing Authority.

Attachments

1. Resolution
 2. Moral Obligation
-

PRESENTED: _____

ADOPTED: _____

RESOLUTION NO. 2023-____.____

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DANVILLE,
VIRGINIA APPROVING SUPPORT AGREEMENT.

WHEREAS, the City Council of Danville, Virginia (the "City Council") has determined that it is in the best interests of the City of Danville, Virginia (the "City") to lend its assistance to the Industrial Development Authority of the City of Danville, Virginia (the "Authority") in the issuance of the Authority's promissory note in the original principal amount of up to \$984,000 due and payable in full in approximately ten (10) years (the "Note") to finance the purchase, assembly and installation of machinery and tools to be acquired by the Authority to be leased to Making Everything Possible, LLC, a Virginia limited liability company (the "Lessee") and located in the City of Danville Virginia (the "Equipment"), by the pledging of the City's moral obligation to pay amounts due on the Note that are not paid when due by the Authority or the Lessee; and

WHEREAS, the proceeds of the Note and the loan evidenced thereby (the "Loan") are to be used (i) to pay costs of the Equipment and (ii) to pay the costs of issuance of the Note, all to accomplish certain purposes of the Virginia Industrial Development and Revenue Bond Act (the "Act"); and

WHEREAS, there has been presented to the City Council a plan for the financing of the Equipment involving the issuance of the Note by the Authority and the pledge of the moral obligation of the City, which would not create debt of the City for purposes of the Virginia Constitution and would promote industry and increase commerce in the City and the Commonwealth of Virginia; and

WHEREAS, the Authority has received a proposal from the Virginia Small Business Financing Authority ("VSBFA") for purchase of the Note, pursuant to a Loan

Agreement between the Authority, the Lessee and VSBFA providing for the purchase of the Note and the loan of the monies from the sale of the Note to pay the cost of the Equipment (the "Loan Agreement"), payment of which Note is secured by a lien on and security interest in the Equipment (the "Authority Interest in the Equipment") granted pursuant to a Security Agreement and Assignment of Lease between the Authority and VSBFA assigning to VSBFA leases and rental payments received from the Authority's lease of the Equipment (the "Assignment"), and in connection therewith, VSBFA has requested a moral obligation support agreement be entered into between the Authority and the City; and

WHEREAS, there has been presented to this meeting a draft of a Support Agreement between the City and the Authority to undertake a non-binding obligation to appropriate from time to time monies in connection with payments due on the Note (the "Support Agreement");

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE
CITY OF DANVILLE, VIRGINIA:

1. The following plan for financing the Equipment is hereby approved. The Authority and the Lessee will be requested to issue the Note in the maximum amount of \$984,000 and to use the proceeds therefrom to finance costs of the Equipment and pay costs of issuance. The Authority and the Lessee will sell the Note to VSBFA and agree to repay the same pursuant to the Loan Agreement. The obligation of the City to make any payments under the Support Agreement will be subject to the City Council making appropriations for such purpose from time to time. It is expected that the Note will be secured by the Assignment, the Loan Agreement, and the Support Agreement. It is hereby found and determined that the above-described plan is in the public interest, will benefit the inhabitants of the City, will increase commerce and will promote the safety, health, welfare, convenience and prosperity of the City and its citizens.

2. The City Manager, or the Mayor or Vice Mayor of the City Council, any of whom may act, is hereby authorized and directed to execute and deliver the Support Agreement. The City Manager, or the Mayor or Vice-Mayor of the City Council, any of whom may act, is hereby authorized and directed to acknowledge and consent, as necessary, to the provisions of the Support Agreement and any other agreements, instruments, certificates or other documents required to be executed by the City in connection with the issuance of the Note, and to designate and confirm the final provisions and other terms of the Note.

3. The Support Agreement shall be in substantially the form submitted to this meeting, which is hereby approved, with such completions, omissions, insertions, and changes

as may be approved by the officer executing it, his execution to constitute conclusive evidence of his approval of any such completions, omissions, insertions and changes.

4. The City Council, while recognizing that it is not empowered to make any binding commitment to make appropriations beyond the current fiscal year, hereby states its intent to make annual appropriations in future fiscal years in amounts sufficient to make all payments due under the Note pursuant to the Support Agreement to the extent such payments are not made when due by the Authority and hereby recommends that future City Councils do likewise during the term of the Note.

5. All other acts of the City Manager, or the Mayor or Vice-Mayor of the City Council and other officers of the City that are in conformity with the purposes and intent of this resolution and in furtherance of the plan of financing, the issuance and sale of the Note and the financing of the Equipment are hereby approved, ratified and confirmed.

6. Nothing in this Resolution or the Support Agreement, the Note or any related documents shall constitute a debt or a pledge of the faith and credit or the taxing power of the City with respect to any sums which are or may become payable under the Support Agreement. All obligations of the City and the City Council under the Support Agreement are subject to and dependent upon annual appropriation of funds by the City Council, and the City Council shall have no legally binding obligation under this resolution or in the Support Agreement to make any such appropriation or the payments provided for in the Support Agreement, the Support Agreement being a statement only of the present intent of the City Council.

7. This resolution shall take effect immediately.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney

The Resolution set forth above was adopted during an open meeting at a regular meeting of the City Council of the City of Danville, Virginia, held on _____, 2023, all in accordance with law, by the following votes:

AYES:

NAYS:

ABSENT:

ABSTENTIONS:

CClerk
City Council
City of Danville, Virginia

SUPPORT AGREEMENT OF THE CITY OF DANVILLE, VIRGINIA

THIS SUPPORT AGREEMENT, dated as of the ____ day of _____, 2023, by and between the City Council of the **City of Danville, Virginia**, a political subdivision of the Commonwealth of Virginia (**the “City”**) and the **Industrial Development Authority of City of Danville, Virginia**, a public body corporate of the Commonwealth of Virginia (**the “Authority”**), recites and provides as follows.

RECITALS

1. The Authority was created under the Industrial Development and Revenue Bond Act (§15.2-4900 *et seq.*) of the *Code of Virginia*, 1950, as amended, to promote industry and develop trade.

2. In order to induce **Making Everything Possible, LLC**, a Virginia limited liability company (**the “Company”**) to lease from the Authority the equipment, machinery, and tools identified on Schedule A attached hereto and made a part hereof, and thereby promote the industrial development and economy of the City, the Authority desires to assist the Company in the acquisition such equipment (**the “Project”**).

3. The Authority has obtained a commitment from the Virginia Small Business Financing Authority (**“VSBFA”**) to lend up to \$984,000 (**the “Loan”**) to the Authority and the Company, as co-borrowers, pursuant to a loan agreement (**the “Loan Agreement”**) for part of the projected costs of the Project, and as part of that commitment and as part of the security for the Loan, the VSBFA has required the City to enter into this Support Agreement (**this “Agreement”**).

4. The Loan is to be evidenced by a promissory note (**the “Note”**) executed by the Authority and the Company and held by the VSBFA.

AGREEMENT

NOW, THEREFORE, for and in consideration of the premises, the promises and mutual benefits to be derived by the parties from entering into this Agreement and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto covenant and agree as follows.

1. The Authority has acquired an ownership interest in the Project. The Authority will lease the Project to the Company under a Lease Agreement (**the “Lease Agreement”**) to promote the economic development of the City. The Lease Agreement shall provide for payment of rent by the Company to the Authority in amounts sufficient to enable the Authority to fulfill its debt service obligations to the VSBFA under the Note and the Loan Agreement, such obligations to be secured by a lien or liens against the Project. Should the Company fail to make such rent payments in full under the Lease Agreement, the Authority shall request an appropriation from the City to the Authority sufficient to allow the Authority to make current payments on the Note (**the**

“Deficiency Amount”) to protect and maintain the Authority’s interest in the Project.

2. No later than May 15 of each year, beginning May 15, 2024, the Authority shall notify the City Manager of the City (**the “City Manager”**) of the Deficiency Amount which the Authority desires the City to pay to the Authority in accordance with Section 1 above during the City’s fiscal year beginning the following July 1.

3. The City Manager shall include such Deficiency Amount requested pursuant to Section 2 above in his budget submitted to the City Council of the City (**the “City Council”**) for the following fiscal year as an amount to be appropriated to or on behalf of the Authority. The City Manager shall deliver to the Chairman of the Authority within ten days after the adoption of the City’s budget for each fiscal year, but not later than July 15 of each year, a certificate stating whether the City Council has appropriated to or on behalf of the Authority the Deficiency Amount requested.

4. If at any time the Authority believes there is a Deficiency Amount or that amounts paid by the Company under the Lease Agreement are insufficient to allow the Company to fulfill its rent obligations under the Lease Agreement in order for the Authority to meet its debt service obligations under the Note, the Authority shall notify the City Manager of the amount of the Deficiency Amount or such insufficiency and the City Manager shall request a supplemental appropriation from the City Council in the amount necessary to make such payment.

5. The City Manager shall present each request for appropriation pursuant to paragraph 4 above to the City Council, and the City Council shall consider such request, at the City Council “s next regularly scheduled meeting at which it is possible to satisfy any applicable notification requirement. Not later than three (3) business days after such meeting, the City Manager shall notify the Authority as to whether the amount so requested was appropriated. If the City Council shall fail to make any such appropriation, the City Manager shall add the amount of such requested appropriation to the amount requested from the Authority and reported to the City by the City Manager for the City’s next fiscal year.

6. The City Council hereby undertakes a non-binding moral obligation to appropriate such amounts as may be requested from time to time pursuant to paragraphs 3, 4 and 5 above, to the fullest degree and in such manner as is consistent with the Constitution and laws of the Commonwealth of Virginia. The City Council, while recognizing that it is not empowered to make any binding commitment to make such appropriations in future fiscal years, hereby states its intent to make such appropriations in future fiscal years, and hereby recommends that future City Councils do likewise.

7. For and in consideration of VSBFA making the Loan to the Authority and the Company, and to further secure the repayment of the Note and the Loan, the Authority hereby assigns, grants and conveys to VSBFA all of its right, title and interest, now existing or hereafter arising, in and to all moneys received from the City pursuant to the provisions of this Agreement. The Authority and the City shall make, execute and deliver any papers, instruments and documents that may be required by VSBFA to effectuate the purpose intended by this assignment. The Authority waives any right, legal or equitable, now existing or hereafter arising, to offset against,

attach, levy upon, enjoin or otherwise delay the payment of such moneys hereby assigned on account of any claim or obligation between the Authority and the City.

8. If any clause, provision, or paragraph of this Agreement shall be held illegal or invalid by a court, the illegality or invalidity of such clause, provision, or paragraph shall not affect any of the remaining clauses, provisions, or paragraphs hereof, and this Agreement shall be construed and enforced as if such illegal or invalid clause, provision, or paragraph had not been contained herein. In case any question should arise as to whether any provision contained herein shall be in violation of law, then such provision shall be construed to the agreement of the parties hereto to the fullest extent permitted by law.

9. The City shall provide the VSBFA with the City's audited annual financial statements when available.

10. Nothing herein contained is or shall be deemed to be a lending of the credit of the City to the Authority or to any other person or entity, and nothing herein contained is or shall be deemed to be a pledge of the faith and credit or the taxing power of the City, nor shall anything herein contained legally bind or obligate the City Council to appropriate funds for the purposes described herein.

11. Any notices or requests required to be given hereunder shall be deemed given if sent by registered or certified mail, postage prepaid, addressed (i) if to the City, to City Manager's Office, City Manager's Office, PO Box 3300, Danville, Virginia 24543 , and (ii) if to the Authority, to City Attorney's Office, PO Box 3300, Danville, Virginia 24543, Attention: Chairman. Any party may designate any other address for notices or requests by giving notice.

12. It is the intent of the parties hereto that this Agreement shall be governed by the laws of the Commonwealth of Virginia. This Agreement may be executed in any number of counterparts, each of which shall be deemed to be an original, and all of which together shall constitute but one and the same instrument.

[Signature page to follow]

IN WITNESS WHEREOF, the City and the Authority have caused this Agreement to be executed in their names and on their behalves as of the date first above written.

CITY OF DANVILLE, VIRGINIA

By: _____
City Manager

**INDUSTRIAL DEVELOPMENT AUTHORITY
OF THE CITY OF DANVILLE, VIRGINIA**

By: _____
Chairman

Attest:

Secretary, Industrial Development Authority
of City OF Danville, Virginia

The undersigned authorized representative of VSBFA has executed this Agreement on its behalf as of the date first written above for the sole purpose of accepting the assignment to it made therein.

**VIRGINIA SMALL BUSINESS
FINANCING AUTHORITY**

By: _____
Name:
Title:

SCHEDULE A

**[Description of Equipment]
[MEP Project]**

Council Letter

City of Danville, Virginia



CL - 904

NEW BUSINESS L.

City Council REGULAR MEETING

Meeting Date: November 9, 2023

Subject: Consideration of Amending the Fiscal Year 2024 Budget Appropriation for a Grant from the Edward Byrne Memorial JAG Program in the Amount of \$17,799.

From: Erica Land, Lieutenant

COUNCIL ACTION

An Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance by Increasing Revenue from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program in the Amount of \$17,799.

FIRST READING

SUMMARY

The Danville Police Department has been informed it is eligible for a grant of \$17,799 to be used for law enforcement purposes, from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program. The Department intends to purchase the Axon Virtual Reality Training System with the proceeds of this grant.

RECOMMENDATION

It is recommended that the City Council adopt the attached Ordinance Amending the Fiscal Year 2024 Budget Appropriation Ordinance by anticipating revenues of \$17,799 from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program.

Attachments

1. Ordinance
-

PRESENTED: _____

ADOPTED: _____

ORDINANCE NO. 2023-_____._____

AN ORDINANCE AMENDING THE FISCAL YEAR 2024 BUDGET APPROPRIATION ORDINANCE BY INCREASING REVENUE FROM THE UNITED STATES DEPARTMENT OF JUSTICE 2023 EDWARD BYRNE MEMORIAL JUSTICE ASSISTANCE GRANT (JAG) PROGRAM IN THE AMOUNT OF \$17,799.

WHEREAS the City of Danville has been awarded a grant from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program in the amount of \$17,799; and

WHEREAS this grant is named in honor of NYPD Officer Edward Byrne, who was murdered in the line of duty on February 26, 1988 while serving on a detail that was protecting a witness who had agreed to testify against local drug dealers; and

WHEREAS the funding will provide virtual reality training scenarios for the officers; and

WHEREAS the grant will require no matching funds.

NOW THEREFORE, BE IT ORDAINED by the Council of the City of Danville, Virginia that the Fiscal Year 2024 Budget Appropriation Ordinance be, and the same is hereby, amended by increasing revenue to anticipate the receipt of funds in the amount of \$17,799 from the United States Department of Justice 2023 Edward Byrne Memorial Justice Assistance Grant (JAG) Program, such revenue and appropriation to be as follows:

ANTICIPATED REVENUE

<u>Description</u>	<u>Account No.</u>	<u>Amount</u>
Federal FY 2023 Edward Byrne Memorial JAG Program	61901000-48230	<u>\$17,799</u>

ANTICIPATED EXPENDITURES

<u>Description</u>	<u>Account No.</u>	<u>Amount</u>
FY 2023 Edward Byrne Memorial JAG Program	61901999-50	<u>\$17,799</u>

AND BE IT FURTHER ORDAINED that this appropriation shall be a continuing appropriation and shall carry forward from year to year until expended for the purpose for which appropriated; and

BE IT FINALLY ORDAINED that all other accounts and provisions of the Fiscal Year 2024 Budget Appropriation Ordinance, as amended, not hereby amended, shall continue in full force and effect unless and until hereafter further amended or repealed.

Approved:

Mayor

Attest:

City Clerk

Approved as to
Form and Legal Sufficiency:

City Attorney