



PLANNING COMMISSION REGULAR MEETING AGENDA

CITY COUNCIL CHAMBERS

April 7, 2025

2:00 PM

I. WELCOME AND CALL TO ORDER

II. ROLL CALL

III. NEW BUSINESS

1. Special Use Permit application PZ25-00164 filed by Christine Fuston to allow a child day care center in accordance with Article 3.M Section C Item 6 at Parcel 51471 (1218 West Main Street).
2. Rezoning application PZ25-00194 filed by Blackstone Building Group LLC to rezone Parcel 78585 (Vandola Road) from S-R Suburban Residential to A-R Attached Residential.

IV. APPROVAL OF MINUTES

1. Minutes from March 10, 2025

V. PLANNING DIRECTOR'S REPORT

VI. ADJOURNMENT

STAFF REPORT

DATE: April 7, 2025
TO: Planning Commission
FROM: Renee Burton, Division Director of Planning
RE: Special Use Permit application PZ25-00164 filed by Christine Fuston to allow a child day care center in accordance with Article 3.M Section C Item 6 at Parcel 51471 (1218 West Main Street).

SUMMARY

Christine Fuston has requested a Special Use Permit that would allow the operation of a 24-hour day care center at 1218 West Main Street, zoned HR-C Highway Retail Commercial. 1218 West Main Street is a commercial-use building on approximately 18,000 square feet near the corner of West Main Street and Bishop Road. The property is currently vacant and has previously been utilized in various ways, including as a childcare facility.

The applicant is requesting a Special Use Permit to allow the commercial property to be used to establish Kidzplay, a 24-hour childcare facility operating from Sunday through Monday. Kidzplay will provide care for approximately 150 children ranging in age from infants to 12 years and employ approximately 20 caregivers, managers, and support staff for full-time, part-time, and drop-in childcare. The facility will have designated play areas, nap areas, and activity areas to accommodate children of varying ages. Kidzplay will fill a need in the Danville community for parents and caregivers who work non-traditional schedules.

Day care centers are not permitted by right in the HR-C Highway Retail Commercial zoning classification. However, Article 3.M, Section C, Item 6 of the Uses Permitted by Special Use Permit allows for “day care centers (adult and child).” Allowing a Special Use Permit at 1218 West Main Street is in line with the mixed-use corridor designation set forth by the comprehensive plan while not changing the existing zoning classification of the property.

Approval of this Special Use Permit request will require the property to meet current parking requirements at a minimum of one (1) space per employee plus one (1) space per four (4) children or clients in accordance with Article 8, Section G. Currently, the parcel appears to have eight (8) parking spaces located at the front of the principal structure. Approval of this request will also require 50% of parking to be located behind the principal structure pursuant to Article 3.X, Section B.

RECOMMENDATION

The Planning Division recommends that the Planning Commission recommend approval of special use permit application PZ25-00164 to allow uses permitted by special use permit in the HR-C Highway Retail Commercial zoning district (child day care center) in accordance with

Article 3.M Section C Item 6 at Parcel 51471 (1218 West Main Street).

ATTACHMENTS

1. Application
2. 1218 W Main St Aerials Map
3. 1218 W Main St Owners Zoning Map



CITY OF DANVILLE
Community Development
Division of Planning and Zoning

SPECIAL USE PERMIT APPLICATION

Article 6. Section D. Application Requirements for Special Use Permit.

1. An application for a special use permit shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator and shall be accompanied by the filing fee of \$400.00.
2. If the request for a special use permit has been denied by the City Council, a request in substantially the same form shall not be resubmitted within one (1) year of the date of denial.

PLANNING DIVISION PROVIDED INFORMATION

Application #:	<u>P225-06164</u>	PC Meeting Date:	<u>April, 1st</u> March 10, 2025
Date Received:	<u>2-12-2025</u>	Received By:	<u>Arsenio</u>
Parcel ID:	<u>51471</u>	Address:	<u>1218 W Main</u>
Existing Zoning:	<u>Hr-c</u>	Future Land Use:	<u>Hr-c</u>

APPLICANT PROVIDED INFORMATION

Property Location: 1218 W. main st, Danville VA 24541

Applicant: Christine Fuston

Applicant's Address: 155 Southfork dr. Reidsville NC 27320

Applicant's Phone Number: 336 383 2118

Applicant's Email: Christineafuston@gmail.com

Describe Proposed Request: We plan to establish a 24-hr childcare facility in Danville, Serving children aged 6 weeks to 13 years old. The facility will provide flexible care options to support parents with varying schedules while also benefitting the broader community. In addition to regular care, we will offer safe and reliable drop in option for families of visiting Danville patrons ensuring convenient childcare for short term needs.

Charity Justice 2/24/2025
Applicant's Signature Date

[Signature] 2/24/25
Property Owner's Signature Date
(if not applicant)

PLEASE ATTACH THE FOLLOWING

1. A preliminary site plan in accordance with the Site Plan Regulations.
2. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
3. A written statement of proposed project compatibility with the following:
 - a. The Comprehensive Plan.
 - b. The applicable zoning district.
 - c. The surrounding properties.
 - d. Current and future neighborhood conditions.
 - e. Pedestrian and vehicular traffic patterns, on-site and off-site.
 - f. Adequate public facilities.
4. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant:
 - a. The architectural elevations and floor plans of proposed building(s).
 - b. Traffic impact analysis.
 - c. Fiscal impact analysis.
 - d. Parking and site circulation analysis.
 - e. Photographs of property and surrounding area.
 - f. Environmental impact statement.

2a. We propose to open a 24-hour daycare facility in Danville, operating Monday through Sunday, that offers both weekly and drop-in childcare services. The daycare will accommodate approximately 150 children, supported by a dedicated team of around 20 employees. This facility will address the needs of working parents who require flexible care options outside of traditional daycare hours, as well as provide a safe, reliable place for visitors to Danville who need childcare while exploring the city. Our mission is to support the community by providing high-quality childcare services that accommodate a wide range of schedules, ensuring that parents and caregivers can balance work, personal time, and family commitments. Additionally, our facility will offer a convenient solution for families visiting Danville, giving them peace of mind while they enjoy local attractions or attend to business. The daycare will be staffed with trained professionals and equipped with modern facilities, creating a nurturing and secure environment for children of all ages. By meeting the demand for flexible childcare options, our service will contribute to the well-being of local families and enhance the accessibility of the city for both residents and visitors.

3.

3a. *The Comprehensive plan*

- **Overview of the Business:**
 - A 24-hour daycare service offering weekly and drop-in care for approximately 150 children, operating Monday through Sunday.
 - Designed to meet the needs of working parents with traditional as well as non-traditional hours and provide a safe, reliable option for visitors to Danville.
- **Mission Statement:**
 - Our mission at Kidzplay is that every child deserves a nurturing and inspiring environment that sparks their natural curiosity and creativity. We want to provide a high quality flexible and safe childcare experience that not only meets the needs of our families in the community but also exceeds expectations.
- **Location:**
 - 1218 West Main Street, Danville Virginia 24541 which used to be the location of the apple tree childcare center a few years ago.

2. Business Description

- **Business Model:**
 - Childcare services will be offered on a weekly basis (full-time or part-time) as well as drop-in care for parents who need short-term care.
 - Targeting local working parents, as well as visitors to Danville who require temporary care while enjoying the city.
- **Target Market:**
 - **Local Parents:** Those who work during normal hours of 9-5 as well as outside of typical business hours (night shifts, early mornings, weekends, etc.).
 - **Visitors to Danville:** Tourists or business travelers who need short-term childcare.
- **Business Hours:**
 - 24/7 operation (Monday-Sunday, open 24 hours per day).

3. Market Research

- **Industry Overview:**
 - Danville today has changed in so many ways over the years. With so many more businesses opening in Danville as well as the local ones that have been around for some time, many parents must work non-traditional hours due to various industries and professions that require evening, overnight, or early-morning shifts. This includes healthcare workers, law enforcement, hospitality, retail, and transportation industries, among others. According to recent studies, nearly 20% of working parents in the U.S. are employed in jobs that require them to work outside of traditional 9-5 hours. This growing trend demands a reliable and flexible childcare solution to support these families.
 - Currently, many daycare centers in Danville operate only during standard business hours, leaving a significant gap in services for those who work overnight or during weekends. Our 24-hour daycare facility will address this void, offering much-needed support for parents who struggle to find safe and reliable care for their children during unconventional hours. Danville is home to a large number of employees working at the local casino, which operates around the clock, including late nights, weekends, and holidays. Many of these

workers—such as dealers, servers, security staff, and managers—are required to work irregular hours, including overnight and early morning shifts. For these families, traditional daytime childcare services are simply not an option, creating a significant gap in childcare availability. This also includes some of the larger contributors and local businesses such as Goodyear Tire and Rubber Company, Nestlé USA, Essel Propack, CIT, EBI and many others!

- Danville, as a growing community, houses many families that depend on non-traditional working hours to support local businesses and essential services. By providing a 24-hour childcare service, we not only support the individual needs of these families but also contribute to the economic vitality of the city. Parents who have flexible, reliable childcare options are more likely to remain employed, which benefits the local economy by maintaining a stable workforce.

Additionally, our facility can help attract new residents to Danville, especially those working in fields requiring irregular schedules. For example, healthcare professionals, who often need overnight childcare, will have greater confidence in relocating to the area if flexible childcare options are available.

Another significant need for 24-hour childcare arises from the influx of visitors to Danville. With the city's growing tourism and business-related activities, many visitors require a trustworthy and safe environment for their children while they attend meetings, explore local attractions, or engage in leisure activities.

- Offering drop-in childcare 24 hours a day ensures that visiting parents can make the most of their time in the city, knowing that their children are being cared for in a secure and enriching environment. This service will contribute to a positive experience for tourists and business travelers, potentially making Danville a more attractive destination for both leisure and work-related travel.

Competitive Analysis:

While Danville boasts many wonderful childcare programs—ranging from facilities to childcare homes—all providing quality care, there remains a significant gap in the market for families who need services beyond traditional business hours. Most local providers like Children's House, Helping Hands, and harvest corner Child Kare center close by 6:00 PM, leaving a void for parents working late shifts or those involved in the city's growing nightlife

scene. Additionally, the few childcare options available in surrounding areas also close early, and with high demand for care, many have long wait lists for enrollment, and only offer care up to 4 years old makes access even more limited.

The average cost for childcare for children between the ages of 6 weeks to 4 years ranges from \$195 to \$300 per week, making it a significant investment for families. Despite this, many providers are unable to meet the needs of parents who require care during Early mornings, late evenings or weekends.

This creates a critical opportunity for a childcare program that can offer flexible hours, including late-night and weekend care, at competitive rates. By providing extended hours, we can fill a crucial need in the community, supporting working families while ensuring their children receive quality, affordable care in a safe, nurturing environment.

- **Market Needs:**

- Danville is experiencing significant economic growth, driven in part by the recent opening of The **Caesars Casino** and a surge in new businesses entering the area. The casino, along with an influx of restaurants, retail stores, and service-oriented businesses, is creating new job opportunities and bolstering the local economy. As the demand for employees increases, there is a growing need for more flexible childcare options to support working parents—especially those with non-traditional hours. This makes programs like **KidzPlay** an essential solution, offering extended hours and dependable care for families who need it most. Additionally, the rise in home-based childcare providers—many of whom are not licensed—raises concerns about the safety and quality of care. Licensed facilities like KidzPlay provide a safer, regulated environment for children, ensuring peace of mind for parents while contributing to the overall well-being of the community. As Danville’s economy continues to grow, the demand for reliable, flexible childcare is becoming increasingly urgent, and KidzPlay is well-positioned to meet this need, further supporting the local workforce and contributing to the economic growth of the area.
-

4. Services Offered

- **Weekly Childcare:**

- Full-time and part-time care options for children aged 6 months to 12 years.

- **Drop-In Childcare:**
 - Flexible, short-term care for parents who need childcare for a few hours.
- **Additional Services:**
 - Meal services (healthy snacks and meals).
 - Special programs or educational activities (e.g., early learning programs, arts and crafts).
 - Age-appropriate play areas and equipment.
 - Transportation services (if needed for drop-off/pick-up in the local area).

5. Operational Plan

- **Staffing:**
 - Approximately 20 employees, including daycare providers, management, and support staff.
 - Staff qualifications: All employees will have background checks, CPR/First Aid certifications, and relevant childcare experience which will be up to the standards of the department of education licensing requirements for staff
 - Shift scheduling: Given 24-hour operations, staff will work in shifts to ensure adequate coverage at all times.
- **Facility Setup:**
 - The daycare will be designed with secure, child-friendly environments including separate play areas for different age groups, nap areas, and dedicated spaces for learning and activities.
 - Safety measures: Security cameras, secure entry systems, and safety procedures for all staff.
- **Technology and Software:**
 - Childcare management software for scheduling, billing, and communication with parents.
 - Online booking system for drop-in care reservations.

6. Marketing Strategy

- **Branding and Positioning:**
 - At **KidzPlay**, we understand that modern families in Danville need more than just quality childcare—they need flexibility, safety, and peace of mind. As the community thrives, driven by the success of Caesars and the influx of new businesses, working parents face increased demands on their time. With many local childcare options closing early, KidzPlay is here to fill the critical

gap, offering extended hours, including late-night and weekend care, to meet the needs of today's busy families.

What sets us apart is not only our commitment to providing exceptional care but also our focus on safety. Unlike home-based providers who may not be licensed or regulated, KidzPlay ensures a safe, professional, and nurturing environment for children, giving parents the confidence they deserve. Our licensed facility provides high-quality care that supports the growth and development of every child, all while allowing parents to pursue their careers and contribute to Danville's growing economy.

At KidzPlay, we're more than just a childcare provider; we're a partner in building a thriving, resilient community where families can succeed, knowing their children are cared for in a safe, supportive, and fun environment.

- **Promotional Plan:**
 - **Online Marketing:** A strong online presence through a website, social media (Instagram, Facebook), and local parenting forums/blogs
 - **Local Partnerships:** Collaborate with businesses, hotels, and tourist attractions in Danville to offer discounts or packages for tourists needing childcare.
 - **Referral Program:** Offer discounts or incentives for parents who refer new families.
 - **Grand Opening:** Plan a community event to introduce the daycare to local residents, with tours, games for kids, and special promotions.

7. Financial Plan

- **Startup Costs:**
 - **Facility Setup:** 12,000
 - **Licensing and Permits:** 1,000
 - **Initial Staffing:** 2,720
- **Revenue Projections:**
 - **Pricing Strategy:** 235 for weekly, 15 an hour for drop in, part time 60 per day. We will also be giving discounts to certain employees as well as casino at 200 for weekly and 13.50 for drop ins.
 - **Projected Revenue:** 520,000
- **Operating Expenses:**
 - Salaries, utilities, supplies, insurance, maintenance, marketing, etc. Would be 371,577.20

- **Profit and Loss Projections:**

- **Revenue (Monthly Estimate)**

- **Tuition Fees:**

- 50 children x \$235 per week x 4 weeks = \$47,000

- **Registration Fees (One-time fee of \$50 per child, spread over a year):**

- 50 children x \$50 = \$2,500 annually

- Monthly portion ($\$2,500 \div 12$ months) = \$208

- **Additional Services (Late pickup, meals, tutoring, etc.) = \$2,500**

- **Grants/Subsidies (if applicable) = \$0**

- **Other Income = \$0**

- **Total Monthly Revenue: \$49,708**

-

- **Expenses (Monthly Estimate)**

- **Fixed Costs:**

- **Rent/Mortgage – \$3,000**

- **Insurance (Liability, Property, Workers' Comp) – \$900**

- **Licensing Fees (Estimated monthly portion) – \$300**

- **Loan Payments (if any) – \$0**

- **Variable Costs:**

- **Staff Wages (Teachers, Assistants, Admin, etc.) – \$20,800**

- **Payroll Taxes & Benefits – \$3,500**

- **Food & Supplies – \$2,500**

- **Utilities (Electricity, Water, Internet, Phone, etc.) – \$1,200**

- **Marketing/Advertising – \$500**

- **Transportation Costs (Field Trips, Gas, Maintenance, etc.) – \$1,200**

- **Maintenance/Repairs – \$250**

- **Miscellaneous Expenses – \$500**

- **Total Monthly Expenses: \$35,950**

- **Projected Profit Calculation**

- **Projected Monthly Profit: \$13,758**

- **Break-Even Analysis**

- **Given:**

- **Total Fixed Costs (Rent, Insurance, Licensing, etc.) = \$4,200**
- **Tuition per Child (Per Month) = \$940** (\$235 per week x 4 weeks)
- **Variable Costs per Child (Food, Supplies, Staff per child, etc.) = \$400**
- 👉 **Break-Even Enrollment: 8 children**
- This means that with **8 children enrolled**, your daycare will **cover all expenses**. Anything above that becomes profit.

- **Final Summary**

- 📊 **Revenue: \$49,708/month**
- 📉 **Expenses: \$35,950/month**
- 📈 **Projected Profit: \$13,758/month**
- 🔄 **Break-Even Enrollment: 8 children**

8. Legal and Regulatory Considerations

- **Licensing and Regulations:** To own and operate a daycare center in Danville, Virginia, you must meet several requirements. First, you must pass a background check and ensure that the building intended for the daycare meets all necessary inspections, including fire safety, environmental regulations, and water testing. These inspections must be completed before your license can be approved. Additionally, as the owner, you are required to complete state-mandated health and safety training, including Phase 1 and Phase 2 courses, before submitting your application. A qualified director must also be in place before the license can be granted. It is essential to be familiar with both the general regulations and specific

daycare standards in Danville to ensure compliance and a safe environment for children.

Qualifications for staff:

Director Age Requirement:

- Must be at least 21 years old (with an exception for 19-21 years old in short-term programs with supervision).

Education & Experience Options:

A program director must meet one of the following:

1. **Graduate Degree** in a child-related field (e.g., education, nursing, recreation) + 6 months of experience.
2. **Bachelor's Degree or Endorsement** in a child-related field + 1 year of experience.
3. **College Credit:** 48 semester hours (12 in child-related subjects) + 1 year of experience.
4. **Two years of program experience** (including 1 year in a supervisory role) + one of the following:
 - a. **Early childhood certificate** (30 semester hours).
 - b. **Child development credential** (includes coursework, supervised experience, and competency evaluation).
 - c. **Montessori certification** from a recognized organization.

Management Training (if lacking experience):

- Must complete one of the following:
 - One college course in business.
 - 10 hours of management training.
 - A child care management course covering planning, budgeting, staffing, and monitoring.

Specialized Programs:

- Directors of **therapeutic or special needs programs** must have relevant education and experience in group care for children with special needs.

Summary of Program Leader Qualifications

Age & Education Requirement:

- Must be **at least 18 years old**.
- Must have **completed high school or equivalent**.

Qualifications Options (Must meet one of the following):

1. Meet **Program Director qualifications** as per **8VAC20-780-190**.
2. Hold a **bachelor's degree or endorsement** in a **child-related field** (e.g., education, nursing, recreation).
3. Have **three months of program experience** plus one of the following:
 - a. **Early childhood certificate** (one year, 30 semester hours).
 - b. **Child development credential** from an approved organization.
 - c. **Montessori teaching diploma** from a recognized organization.
4. Have **six months of supervised programmatic experience** and complete:
 - a. **At least 12 hours of training** (within six months before or one month after starting), covering:
 - i. Child development
 - ii. Playground safety
 - iii. Health and safety
 - iv. Preventing and reporting child abuse & neglect

Training Hour Requirements (Based on Hire Date):

- **Hired after June 1, 2006:** 16 hours
- **Hired after June 1, 2007:** 20 hours
- **Hired after June 1, 2008:** 24 hours

Specialized Programs:

- Leaders in **therapeutic or special needs programs** must have **at least three months** of experience in group care for children with special needs.

Short-Term Programs:

- Program leaders need **only one season of experience** (minimum **200 hours**), of which **up to 24 hours** can be formal training.

Aides:

- Must be **at least 16 years old**.

Child-to-Caregiver Ratios

1. **Birth to 16 months** – 1:4
2. **16 months to 24 months** – 1:5
3. **2-year-olds** – 1:8
4. **3-year-olds to school-age eligible** – 1:10
5. **School-age eligible to 9 years** – 1:18
6. **9 years to 12 years** – 1:20

Note: When children are in ongoing mixed-age groups, the staff-to-child ratio and group size applicable to the youngest child in the group shall apply to the entire group

- **Insurance:**
 - Comprehensive liability insurance to cover accidents, injuries, and property damage.

9. Risk Management

- **Potential Risks:**
 - Low enrollment during the initial months, competition from other childcare services, staff turnover.
- **Mitigation Strategies:**
 - Aggressive marketing during the opening phase, offering promotional rates, and seeking community involvement.
 - Ongoing staff training and retention programs.
 - Continuous monitoring and adaptation of services based on customer feedback

10. Growth and Expansion Plans

- **Short-Term Goals:**

- Successfully establish the daycare with full staffing, high enrollment, and consistent service quality.

- **Long-Term Goals:**

- Expand services as demand grows (e.g., adding new locations and programs)
- Offer additional educational or enrichment programs for children.
- Build partnerships with local schools, employers, and community organizations.

This daycare facility will serve as a vital community resource for families in Danville, offering flexible childcare options for parents working outside of typical business hours, as well as a safe and reliable service for visitors to the city. With comprehensive planning, a strong marketing strategy, and a focus on quality care, the facility aims to become a trusted partner for families, as well as the city of Danville helping all citizens meet their childcare needs while contributing to the local economy and community growth.

3b. The zoning district for 1218 w. main street, Danville Virginia 24541 is HRC- Highway Retail Commercial

3c. The surrounding properties:

- Caesars Virginia
- Linden Rose Boutique
- Alterations by Brenda
- Hauser Realty Group
- Hardees
- Masseys Auto Sales
- Family Haircuts
- JTMB Luxury Grooming
- Dr. Gregory D. Howard, Dds

3d. Neighbor hood and community conditions are

3e.. **Pedestrian Flow:**

- **Main Entry Points:** Pedestrians primarily enter the area through designated walkways near the major parking area, from the sidewalks and maybe through the grassed area near the building!
- **Pedestrian Pathways:** Well-marked and wide pedestrian paths are provided along all major entrances and high-traffic areas. These pathways lead directly to key facilities, childcare zones, and common areas.
- **Crosswalks:** There are multiple crosswalks for walking pedestrians on Augusta Ave as well as one on west main street if they park in the casino parking lots. There are separate areas for pedestrians as well as vehicles on the route to Kidzplay childcare.
- **Pedestrian Destination Points:** Key destinations, such as KidzPlay childcare, are located along primary pedestrian routes, with clear signage directing families and visitors to these areas.
- **Peak Times:** During morning and evening hours, foot traffic will increase as parents drop off or pick up children. Staff and signage will be available during these times as well as for the nightly care being offered lit signs and lit walking/parking areas!

2. Vehicle Flow:

- **Primary Access Roads:** Vehicles access the site through clearly marked parking and drop off circle area with sufficient capacity to handle peak traffic. These roads are West main street and Augusta Avenue which have been maintained by the city just recently and are in great condition
- **Parking Areas:** Vehicle parking areas are located near the main pedestrian entrances. These parking zones are divided into sections for short-term and long-term parking, with designated spaces for families and staff those needing accessible parking while at Kidzplay.
- **Vehicle Drop-Off Zones:** A designated, safe drop-off zone near KidzPlays main entrance has been established. This area will allow parents to quickly drop off or pick up children without blocking pedestrian pathways or parking areas.
- **Vehicle Entry and Exit Patterns:** Vehicles will enter through one main entrance and exit through a separate exit point to minimize congestion. To ensure a smooth traffic flow during peak hours.
- **Pedestrian and Vehicle Interaction Points:** At areas where pedestrian pathways intersect with vehicle traffic (such as crosswalks or drop-off zones), special attention should be paid to safety. Speed bumps, traffic signals, or crossing guards can be employed to slow vehicle speeds and ensure safe crossings.

3. Combined Traffic Flow and Safety:

- **Signage and Wayfinding:** Clear signage will guide both pedestrians and vehicles to their destinations while providing safety information. This includes directional signs, speed limits, and pedestrian warnings near vehicle zones.
- **Surveillance and Monitoring:** Security cameras and staff members will be positioned at key intersections to monitor the flow of both pedestrians and vehicles, ensuring safety and smooth transitions.
- **Peak Traffic Management:** During peak drop-off and pick-up times, a staff member will direct the flow of traffic in the Kidzplay parking lot to ensure a steady flow of traffic safely.
- **Emergency Access:** Special consideration will be given to emergency vehicle access, with clear, unobstructed routes for fire trucks, ambulances, and other emergency vehicles at all times.

3f. How Kidzplay Functions as an Adequate Public Facility

- Kidzplay provides **24-hour childcare and education** for children aged **6 weeks to 13 years**, ensuring that families have reliable and flexible childcare. This service **supports working parents and visiting patrons** of Danville, particularly those employed in industries with non-traditional work hours, like the casino, healthcare, and emergency services.
- Kidzplay is strategically located next to the newly constructed casino, benefiting from the **existing expanded traffic infrastructure**.
- The facility is already **integrated into the city's main traffic flow**, minimizing any additional strain on public roads and transportation systems.
- By providing **flexible childcare**, Kidzplay **enables more residents to participate in the workforce**, helping sustain and grow Danville's economy.
- More working parents mean **increased tax revenue** and economic activity, allowing the city to maintain and enhance its public services.
- As a **licensed childcare provider**, Kidzplay contributes to **early childhood education**, preparing children for school and reinforcing Danville's overall educational framework.

- Offering **reliable childcare solutions** reduces absenteeism and job instability for working families, ensuring a stronger, more stable workforce for local businesses.
- Kidzplay isn't just a childcare facility—it's an **essential public service** that directly supports Danville's **growing economy, workforce, and infrastructure**. By aligning with the city's development plans, contributing to tax revenue, and ensuring quality childcare options, Kidzplay meets the criteria of an Adequate Public Facility.

Traffic Impact analysis

The purpose of this Traffic Impact Analysis (TIA) is to evaluate the potential effects of Kidzplay's operations on local traffic patterns and determine whether existing infrastructure can accommodate anticipated vehicle volumes.

2. Site Location & Accessibility

Kidzplay is situated near the main road that serves the casino, benefiting from a traffic pattern already designed for high vehicle capacity. The facility's entrance and exit points are positioned to minimize disruptions to existing traffic flow. Key considerations include:

- Proximity to the casino ensures that roadways are already widened and designed for increased traffic volumes.
- Direct access to a major thoroughfare allows for efficient ingress and egress.
- Adequate parking facilities to accommodate drop-offs, pick-ups, and staff vehicles.

3. Anticipated Traffic Volume

The expected vehicle traffic at Kidzplay includes:

- **Peak Hours:** 6:00 AM – 9:00 AM and 4:00 PM – 7:00 PM (traditional work shifts) and 10:00 PM – 1:00 AM (casino workforce shift changes).
- **Daily Drop-offs & Pick-ups:** Estimated at 50-100 vehicles per day, with staggered timing reducing congestion.
- **Staff Commuting:** Approximately 15-20 employees per day, arriving and departing at varied times.

4. Existing Roadway Conditions

- The casino's development has already led to the widening of surrounding roads and improved traffic signal timing.
- Traffic signals and pedestrian crossings have been installed to manage high-traffic periods effectively.
- Public transit routes are accessible, providing alternative commuting options for staff and patrons.

5. Traffic Impact & Mitigation Strategies

- **Minimal Additional Strain on Traffic:** Since the surrounding infrastructure was designed for high traffic volumes, Kidzplay's traffic impact is expected to be **negligible to moderate**.
- **Efficient Parking & Drop-off System:** Dedicated drop-off/pick-up lanes ensure smooth vehicle movement, reducing congestion on the main road.
- **Traffic Flow Coordination with Casino:** Alignment with casino peak hours prevents unnecessary congestion.
- **Signage & Traffic Control Measures:** Clear directional signage and designated entry/exit points will help manage traffic flow safely.

6. Conclusion & Recommendations

Based on this analysis, Kidzplay's traffic impact is expected to be **manageable within existing roadway capacity**. The surrounding infrastructure is well-equipped to handle projected vehicle volumes, and mitigation strategies will further minimize congestion risks. No additional road expansions or major modifications are required at this time.

It is recommended that:

1. Regular traffic monitoring be conducted post-opening to assess any unforeseen issues.
2. Coordination with local traffic authorities ensures optimal road use planning.
3. Continued collaboration with the casino and local businesses maintains efficient traffic flow.

Kidzplay's strategic location, existing infrastructure advantages, and proactive traffic management strategies demonstrate its ability to integrate smoothly into Danville's transportation network without negatively impacting traffic conditions

Fiscal impact analysis

Kidzplay provides a wonderful opportunity and economic avenue for the city of Danville, strengthening the local economy while supporting working families. Located adjacent to the newly constructed casino, Kidzplay plays a key role in the city's financial landscape. This Fiscal Impact Analysis (FIA) evaluates the financial contributions and costs associated with Kidzplay, focusing on its impact on the local economy, tax revenue, and public sector expenditures.

2. Revenue Generation

Kidzplay is expected to contribute to Danville's economy through various revenue streams:

- **Property Taxes:** As a licensed childcare facility, Kidzplay will contribute to local property tax revenue.
- **Sales Tax Revenue:** Purchases of supplies, food, and educational materials will generate additional sales tax income for the city.
- **Employment & Income Taxes:** With an estimated 15-20 employees per day, Kidzplay will support local employment, contributing payroll taxes and employee spending in the community.

- **Increased Workforce Participation:** By providing flexible childcare, more residents can join or remain in the workforce, increasing local productivity and income tax revenues.

3. Public Service Costs

Kidzplay's operations will require certain public services but are expected to have a minimal impact on city expenses:

- **Infrastructure & Utilities:** The facility benefits from existing road expansions and utility systems, reducing additional municipal costs.
- **Emergency Services:** The childcare center will comply with safety and health regulations, ensuring minimal strain on emergency response services.
- **Public Education Synergy:** Kidzplay's early childhood education programs may reduce future educational intervention costs by preparing children for school readiness.

4. Economic & Community Benefits

- **Support for Local Businesses:** Providing reliable childcare enables parents to work varied shifts, especially within casino and hospitality industries, fostering economic stability.
- **Job Creation:** Direct employment at Kidzplay and indirect job support through supplier and service contracts.
- **Long-Term Growth:** Improved childcare options enhance Danville's attractiveness for young families, encouraging population growth and housing market stability.

5. Conclusion & Recommendations

The fiscal impact of Kidzplay is **positive**, generating tax revenues, supporting workforce stability, and enhancing community services with minimal added costs. To maximize benefits, it is recommended that:

1. The city offers potential incentives for childcare providers to expand operations.
2. Continued collaboration with local businesses and government agencies ensures sustainable economic integration.
3. Periodic financial assessments track long-term economic contributions and areas for improvement.

Kidzplay's presence in Danville aligns with fiscal sustainability goals, fostering economic resilience and community growth.

Parking and site Circulation analysis

**Environmental Impact Statement
KidzPlay Childcare Facility
1218 West Main Street**

1. Introduction

KidzPlay is a 24-hour childcare provider located at 1218 West Main Street, dedicated to offering quality childcare services to families within the community. This Environmental Impact Statement (EIS) assesses the potential environmental effects of operating the childcare facility and outlines mitigation strategies to minimize negative impacts.

2. Project Description

The facility operates around the clock to provide safe and structured childcare services. The property includes indoor play areas, learning spaces, and an outdoor play area designed for children's recreational activities. The facility is expected to accommodate a high volume of daily foot traffic, as well as deliveries and waste management operations.

3. Environmental Impact Assessment

3.1 Air Quality

Minimal emissions are anticipated as the facility does not involve industrial activities. However, vehicle traffic from parents, staff, and delivery services could contribute to local air pollution.

Mitigation Measures:

- Encourage carpooling and alternative transportation such as biking or public transit.

- Install air purification systems to ensure high indoor air quality.

3.2 Noise Pollution

The continuous operation of the facility may result in increased noise levels, particularly from outdoor play activities and vehicle movement.

Mitigation Measures:

- Plant flowers and bushes where needed.
- Designate specific play hours to minimize noise disturbances in the evening.

3.3 Waste Management

Daily childcare operations will generate waste, including food waste, diapers, and paper products.

Mitigation Measures:

- Implement a robust recycling program.
- Use eco-friendly, biodegradable materials where possible.

3.4 Water and Energy Usage

Increased water and energy consumption is expected due to daily operations, cleaning, and food preparation.

Mitigation Measures:

- Install energy-efficient lighting and appliances.
- Use water-saving fixtures and promote conservation practices among staff.

3.5 Impact on Local Ecosystem

While the facility itself is built on previously developed land, outdoor play areas may influence local flora and fauna.

Mitigation Measures:

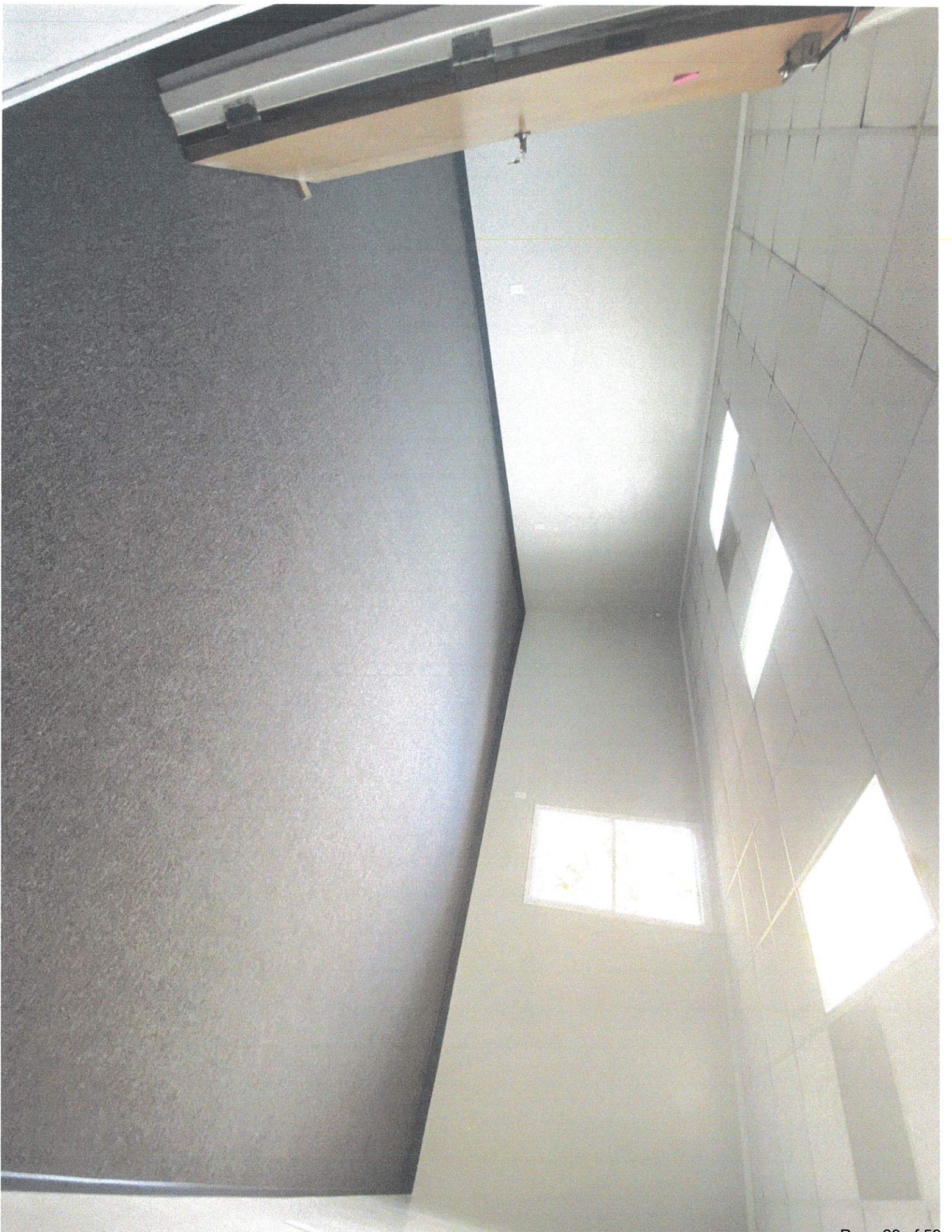
- Use native plants for landscaping to support local biodiversity.
- Ensure responsible waste disposal to prevent littering and contamination.

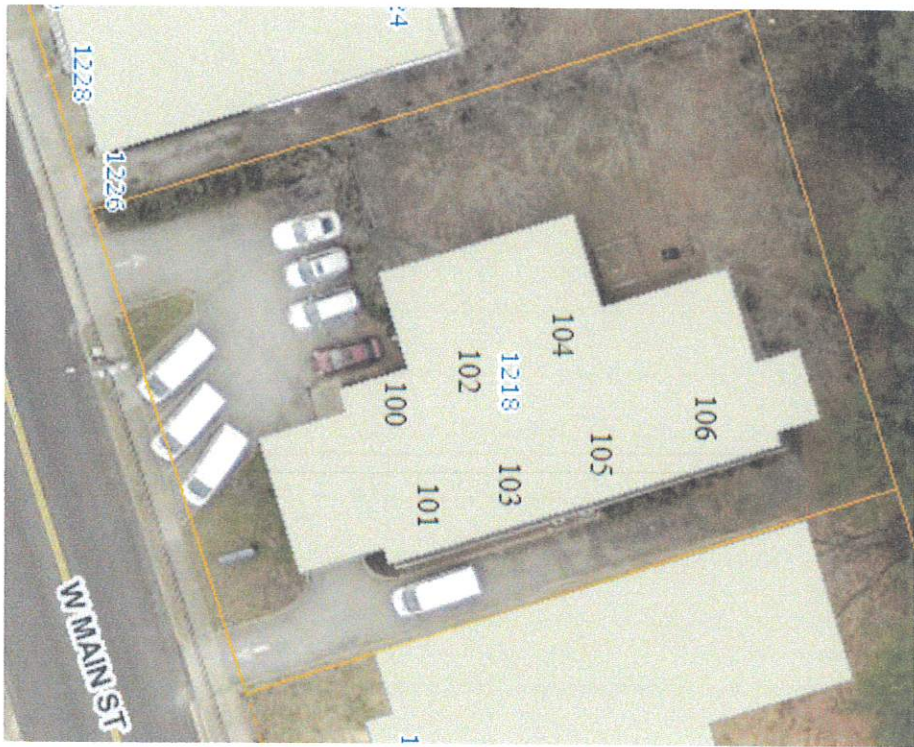
4. Conclusion

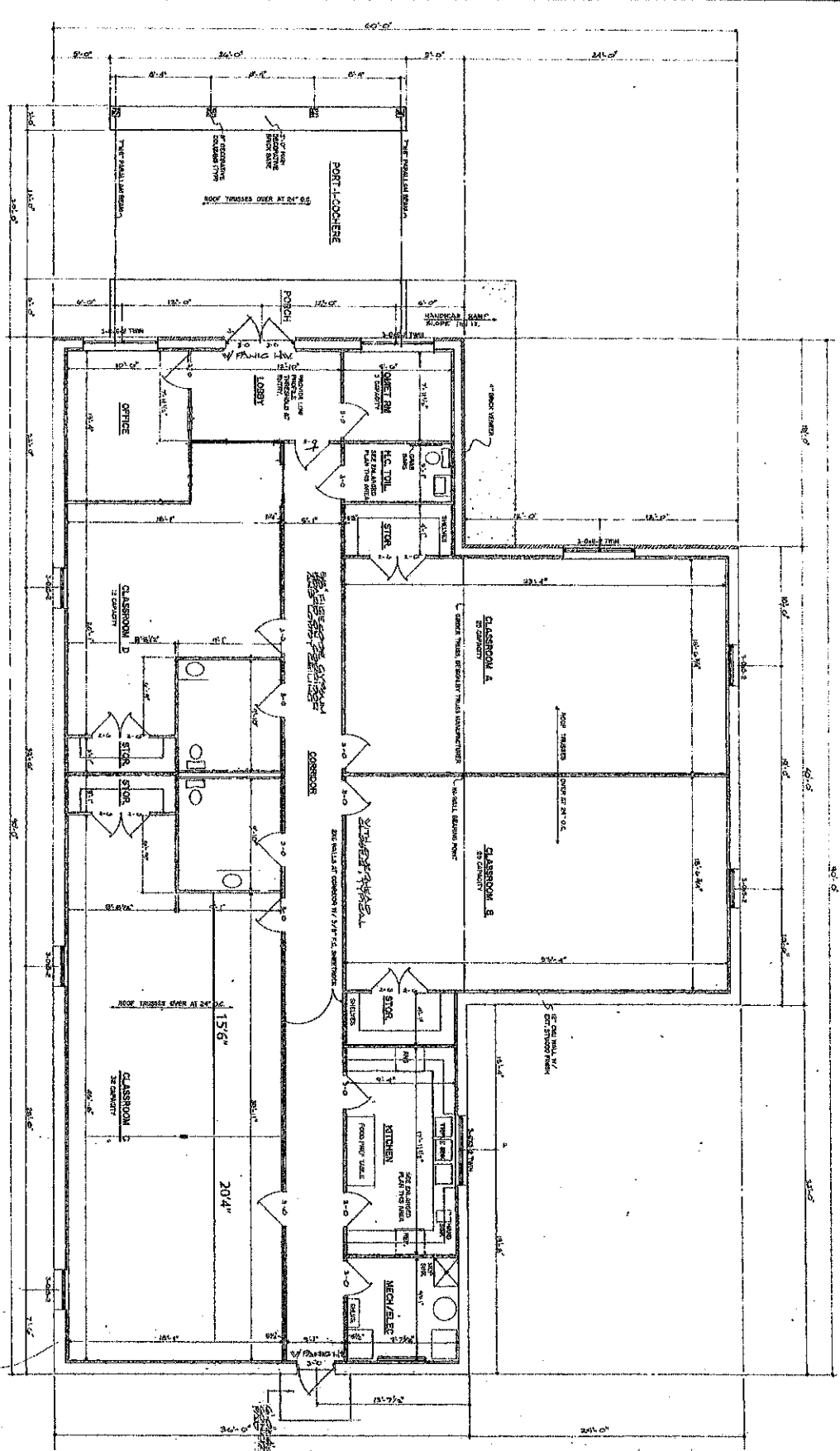
KidzPlay is committed to minimizing its environmental footprint while providing essential childcare services to the community. Through the implementation of sustainable practices, the facility aims to operate responsibly while reducing negative environmental impacts. Continued monitoring and adjustments will be made as needed to ensure compliance with environmental standards and best practices.

4. Conclusion

KidzPlay is committed to minimizing its environmental footprint while providing essential childcare services to the community. Through the implementation of sustainable practices, the facility aims to operate responsibly while reducing negative environmental impacts. Continued monitoring and adjustments will be made as needed to ensure







GENERAL NOTES AND SPECIFICATIONS:

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.

8. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
9. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
10. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
11. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
12. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
13. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
14. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
15. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

16. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
17. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
18. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
19. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
20. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
21. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
22. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

23. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
24. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
25. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
26. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
27. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
28. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
29. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

30. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
31. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
32. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
33. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
34. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
35. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
36. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

37. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
38. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
39. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
40. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
41. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
42. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
43. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

44. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
45. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
46. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
47. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
48. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
49. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
50. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

51. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
52. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
53. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
54. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
55. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
56. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.
57. PROVIDE NAME PLATING FOR ALL INTERIOR DOORS.

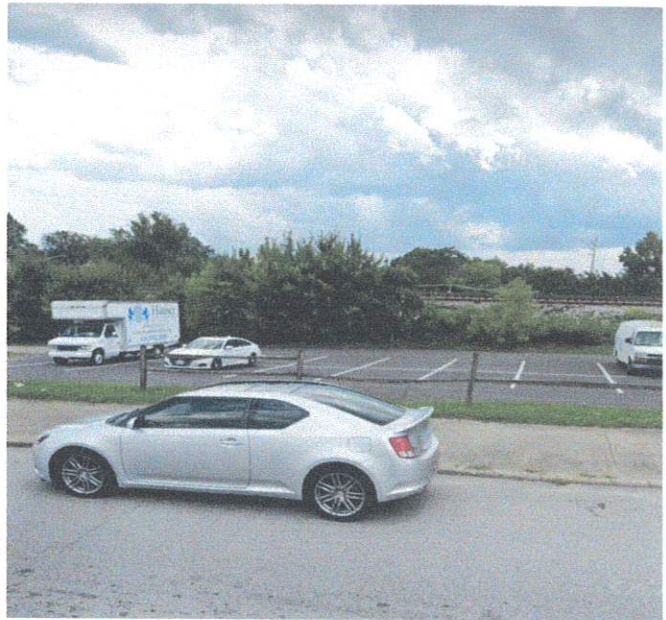


DATE	3/1/17
BY	LARRY W. WRIGHT
CHECKED BY	
APPROVED BY	
SCALE	AS SHOWN
TITLE	FLOOR PLAN

FLOOR PLAN

APPLE TREE CHILDRENS CENTER, INC.
DANVILLE, VIRGINIA

LARRY W. WRIGHT - ARCHITECT
436 HOMESTEAD TRAIL
COLLINSVILLE, VIRGINIA 24076
1-703-647-9281



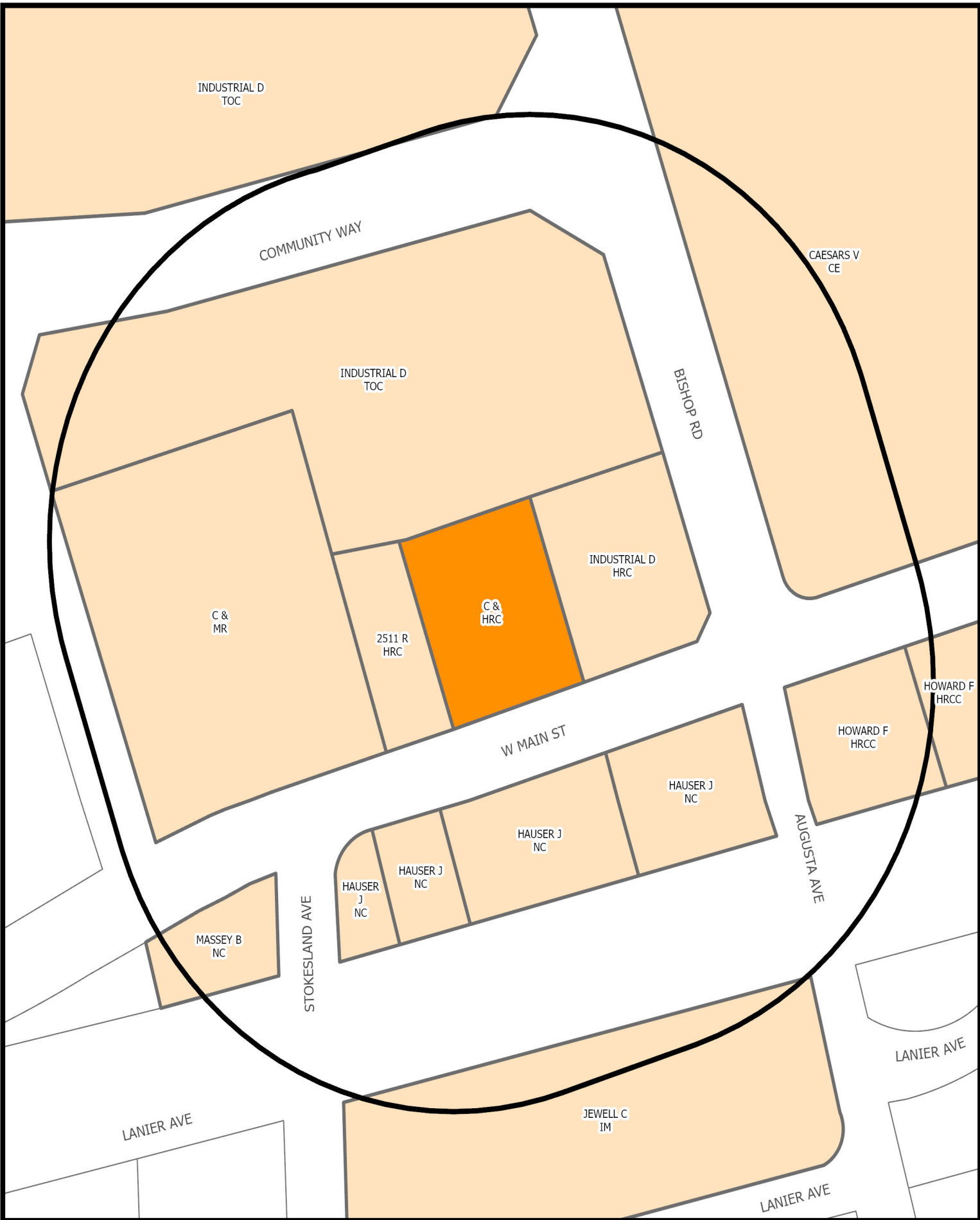


2025 AERIAL IMAGERY OF SUBJECT PROPERTY

Prepared by:
Planning Division
3/10/2025



Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN 300 FEET OF SUBJECT PROPERTY

Prepared by:
 Planning Division
 3/10/2025



Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.

STAFF REPORT

DATE: April 7, 2025
TO: Planning Commission
FROM: Renee Burton, Division Director of Planning
RE: Rezoning application PZ25-00194 filed by Blackstone Building Group LLC to rezone Parcel 78585 (Vandola Road) from S-R Suburban Residential to A-R Attached Residential.

SUMMARY

Blackstone Building Group LLC received approval for a Special Use Permit (SUP) for a Planned Unit Development (PUD) on Parcel IDs 77925, 71143, 77922, 77921, 71138, 77920, 77919, 77918, and 77608 (Vandola Road) in July 2024. An alteration of the development plans necessitates that Blackstone Building Group LLC provide a new application for review. Application PZ25-00194 has been submitted for the rezoning of Parcel ID 78585 (a subdivision of Parcel ID 77925) from S-R, Suburban Residential to A-R, Attached Residential for the construction of thirty-one (31) attached dwellings. Approval of the requested rezoning will void the previous approval of a SUP for a PUD.

Additional applications must be submitted to complete the project on parcels that were previously included in the PUD. The Planning Division Staff is coordinating with Blackstone Building Group LLC as they submit the necessary materials for each application.

Application PZ25-00194 is a request to rezone Parcel ID 77925 in anticipation of the construction of thirty-one (31) attached dwellings. Each dwelling will be on a separate lot and the surrounding area will be managed by a Home Owners Association (HOA). It is required that the development provide open space and recreational areas at a minimum of twenty-five percent (25%) of the common space. The applicant has provided additional materials to identify the layout and equipment that will be installed in these areas to encourage recreation and activity.

Parcel 77925 currently has inadequate water pressure to serve the units and the fire suppression system. The applicant, Blackstone Group, LLC, is coordinating a water extension project with the Department of Utilities to upgrade the system. The applicant is also in discussion with the Division of Engineering regarding the development of a public road to serve the thirty-one (31) proposed units. Development of units as proposed in this rezoning request will allow the applicant the opportunity to apply for a reimbursement program for road construction.

Staff recommends approval of PZ25-00194 with the conditions of the previous PUD.

1. The developer will complete a Traffic Impact Analysis in consultation with the City of Danville and implement the recommendations (TIA was completed 09-21-24);
2. A minimum of 35% of the building exteriors will be masonry;
3. The height of each building may not exceed three (3) stories or 45 feet; and
4. Parking shall not be placed in the front yard (Vandola Road) of the development.

RECOMMENDATION

Planning Staff recommends that the Planning Commission recommend approval of PZ25-00194 to rezone Parcel ID 77925 (Vandola Road) from S-R, Suburban Residential to A-R, Attached Residential with the following conditions:

1. The developer will complete a Traffic Impact Analysis in consultation with the City of Danville and implement the recommendations (TIA was completed 09-21-24);
2. A minimum of 35% of the building exteriors will be masonry;
3. The height of each building may not exceed three (3) stories or 45 feet; and
4. Parking shall not be placed in the front yard (Vandola Road) of the development.

ATTACHMENTS

1. Application
2. Proposed PH1A Subdivisions 1-31 Figure
3. DANVILLE VANDOLA MAILBOX AND PAVILLION 1.24.25.
4. Vandola Aerials Map
5. Vandola Owners Zoning Map



CITY OF DANVILLE
Community Development
Division of Planning and Zoning

REZONING APPLICATION

1. An application for rezoning shall be made by the owner, contract purchaser with the owner's written consent, or the owner's agent, of the property on which the proposed use is to be located. The application shall be submitted to the Director of Planning/Zoning Administrator and shall be accompanied by the filing fee as established by the City Council.
2. The application shall include the following information:
 - a. A description of the proposed use and, where applicable, the hours of operation and the proposed number of employees/patrons.
 - b. A written statement of proposed project compatibility with the following:
 1. The Comprehensive Plan.
 2. The applicable zoning district.
 3. The surrounding properties.
 4. Current and future neighborhood conditions.
 5. Pedestrian and vehicular traffic patterns, on-site and off-site.
 6. Adequate public facilities.
 - c. When requested by the Director of Planning/Zoning Administrator, the Planning Commission, or the City Council, the following information shall be provided by the applicant: 1. The architectural elevations and floor plans of proposed building(s). 2. Traffic impact analysis. 3. Fiscal impact analysis. 4. Parking and site circulation analysis. 5. Photographs of property and surrounding area. 6. Environmental impact statement. 7. A preliminary site plan in accordance with the Site Plan Regulations.

PLANNING DIVISION PROVIDED INFORMATION

Application #:	<u>PZ25-00194</u>	PC Meeting Date:	<u>4-7-25</u>
Date Received:	<u>3-10</u>	Received By:	<u>Williams</u>
Parcel ID:	<u>78585</u>	Address:	<u>Yandola Rd</u>
Existing Zoning:	<u>S-R</u>	Proposed Zoning:	<u>A-R</u>

APPLICANT PROVIDED INFORMATION

Applicant: Blackstone Building Group, LLC

Applicant's Address: 4932 Dominion Boulevard, Suite #106 Glen Allen, VA 23060

DANVILLE, VA

Applicant's Phone Number: (757) 510-2451

Applicant's Email: rick@longevitysolutions.com

Purpose for Proposed Amendment: Seeking approval for the 31 buildable lots required for construction of proposed buildings #1-4 and Vandola Crescent Lane in Phase 1.

Rezoning to accommodate more narrow lots allowed with underlying zoning.

Property Address: Ex ID: 78585 Gross Area/ Net Area: 4 acres +/-

Property Location: N S E W Side of: Vandola Road

Between: Riverside Drive / US-58 and Westover Drive

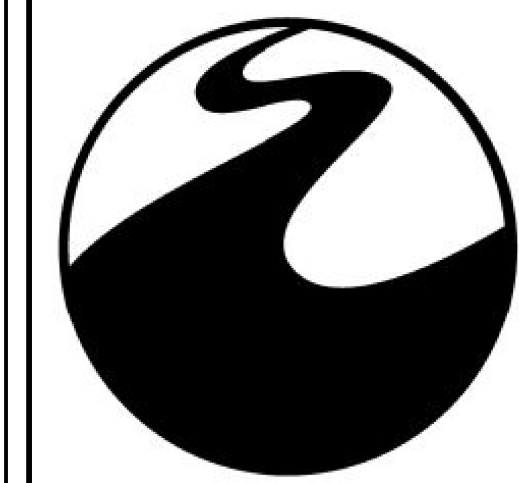
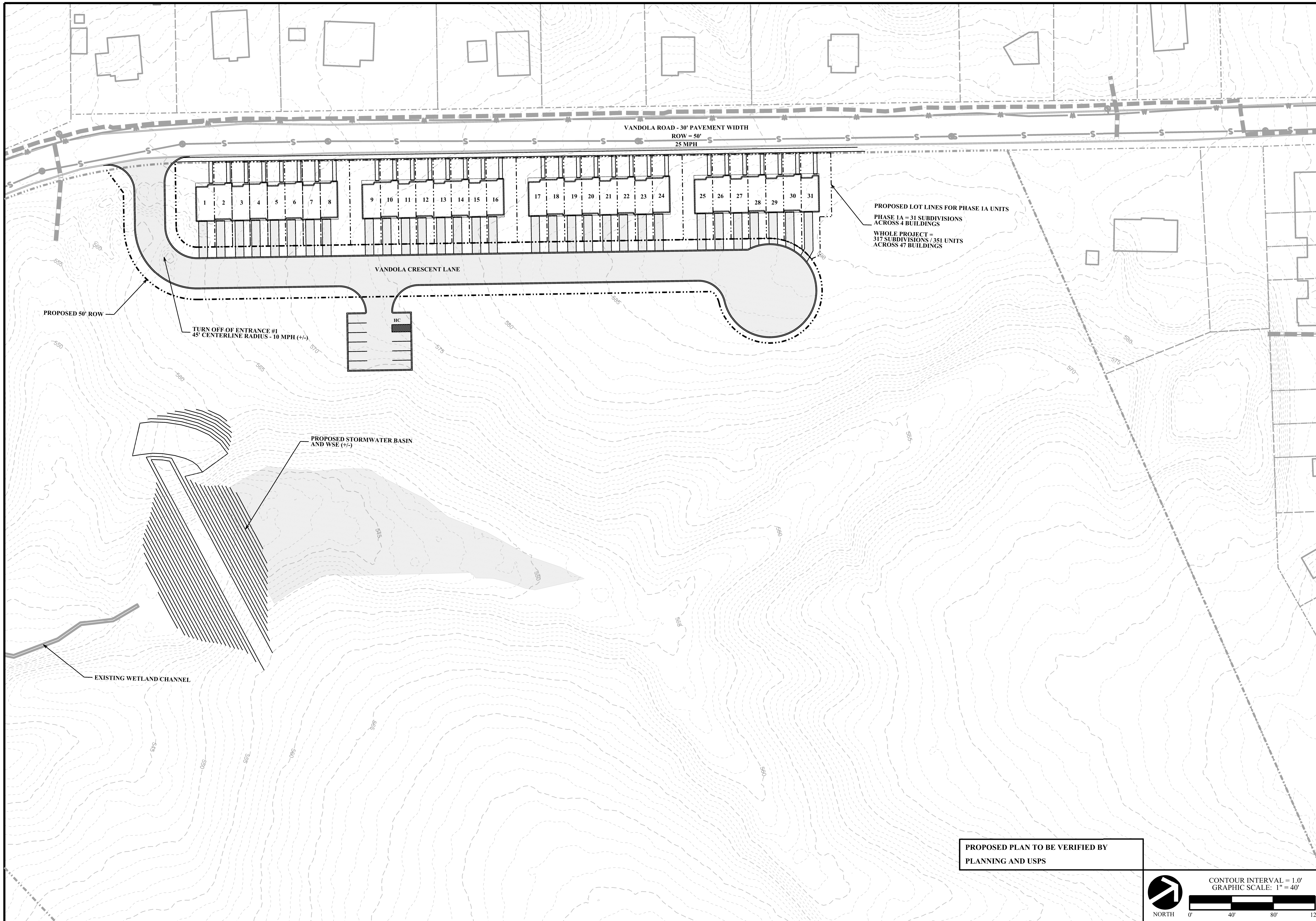
Proffered Conditions: TBD

Rick Byers /
Blackstone Building Group, LLC 3/10/25

Applicant's Signature Date

Rick Byers /
Blackstone Building Group, LLC 3/10/25

Property Owner's Signature Date
(If not applicant)




WATERSHED
CONSULTING
P.O. Box 7216
RICHMOND, VA 23221
(804) 304-4659
WWW.WATERSHEDVA.COM


VANDOLA CRESCENT
PROPOSED SUBDIVISIONS PLAN
UNITS #1-31
CITY OF DANVILLE, VIRGINIA

PROJECT MANAGER:	EA
DESIGNED:	EA
DRAWN:	CA
DESIGN FILE:	file name
DATE:	3/10/25
REVISIONS:	

PROPOSED PLAN TO BE VERIFIED BY
PLANNING AND USPS

 NORTH

CONTOUR INTERVAL = 1.0'
GRAPHIC SCALE: 1" = 40'



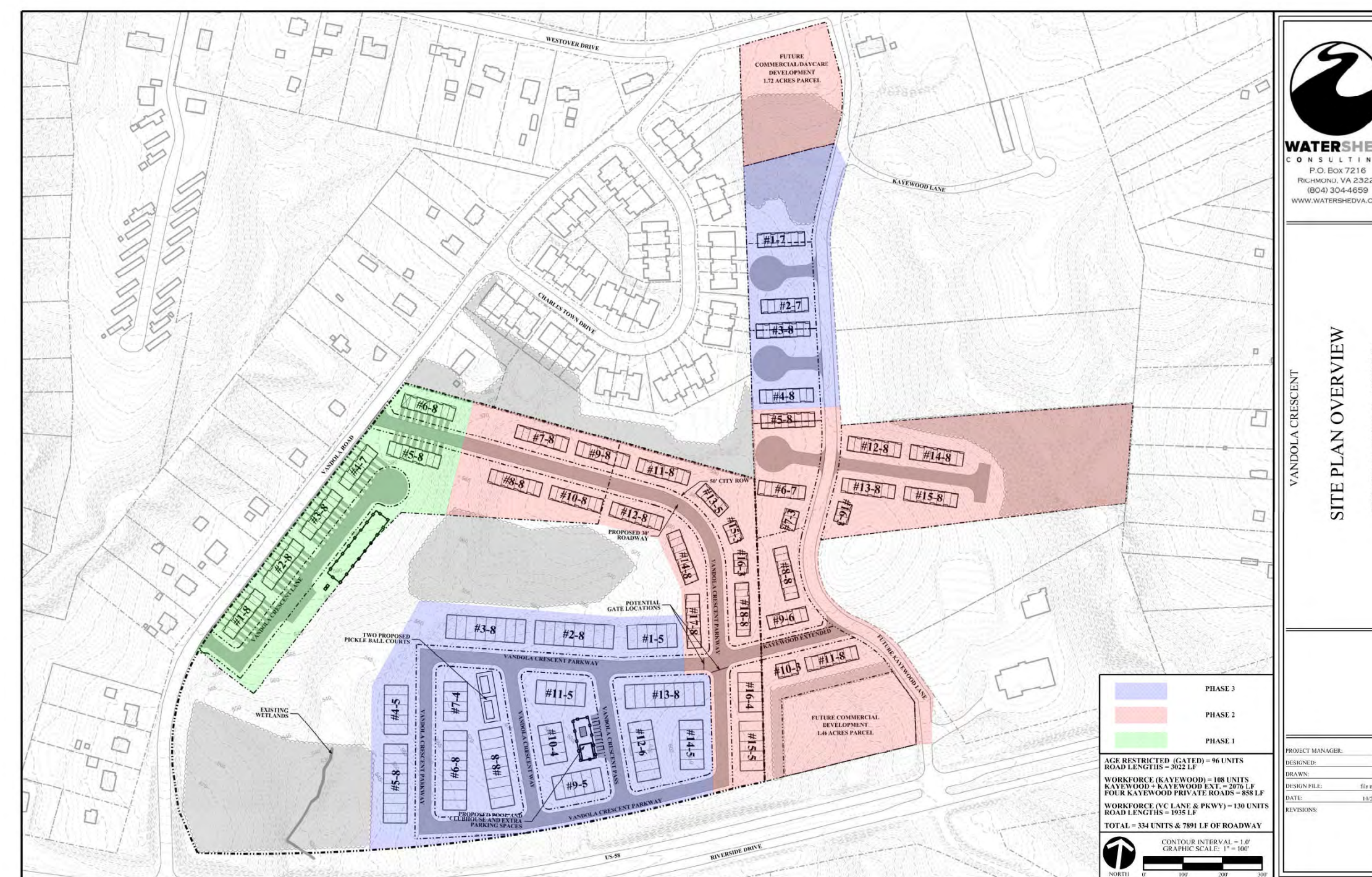
LONGEVITY SOLUTIONS

SHEET INDEX	
0-COVER	
A-0.00	Cover
2-ARCHITECTURE	
A-1.00	Cluster Mailbox
A-1.50	Wall Bracing plan
A-3.00	Elevations
A-4.00	3-D VIEW
3-PICNIC PAVILLION	
P-1.00	Picnic Pavillion
4-DUMPSTER	
D-1.00	DUMPSTER PAD DETAIL

VANDOLA CRESCENT
ACCESSORY BUILDINGS
PHASE 1

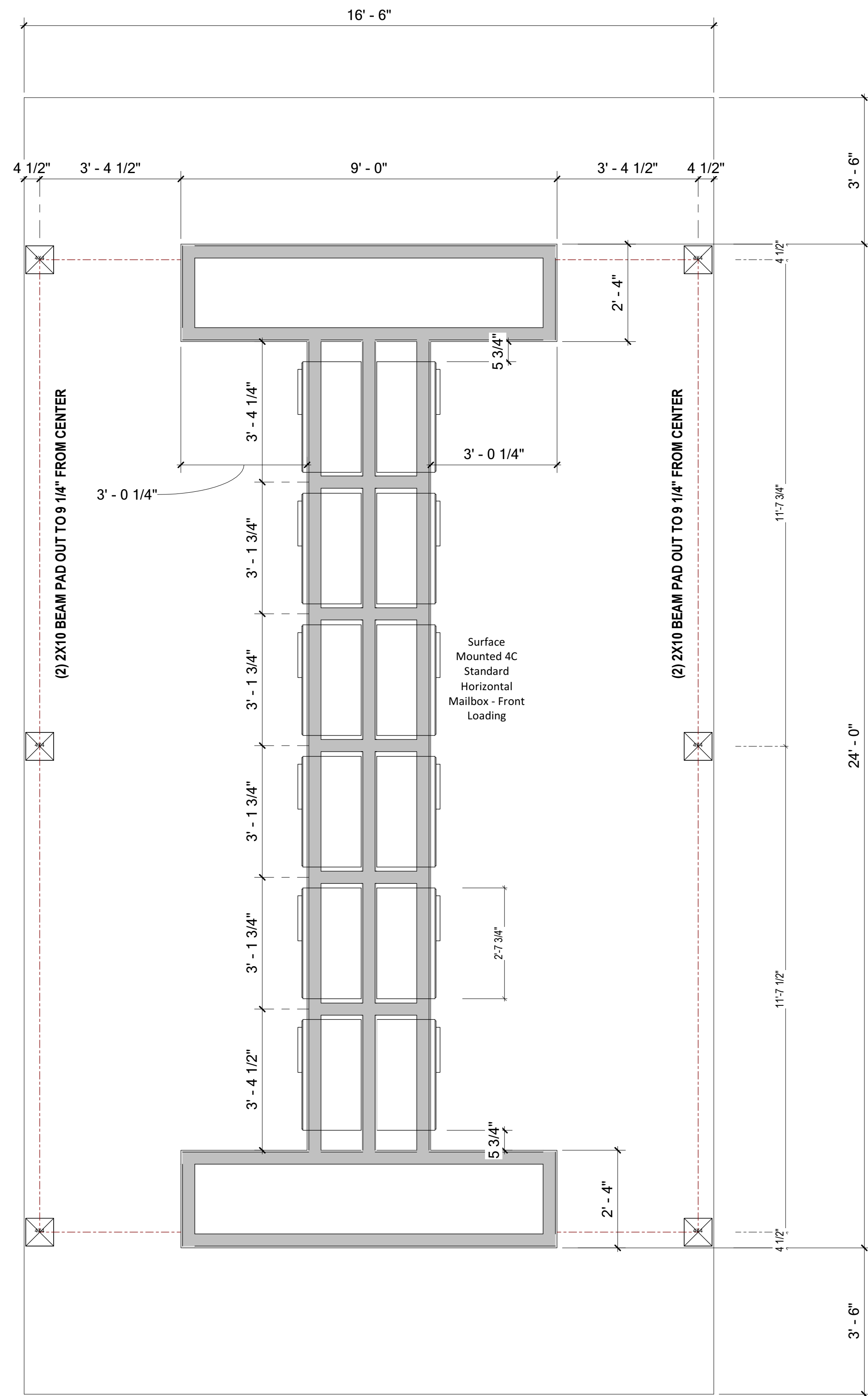
ACCESSORIES
NEW CONSTRUCTION

THE FOLLOWING
STRUCTURAL
REQUIREMENTS ARE
SPECIFIC TO DANVILLE,
VIRGINIA
FROST DEPTH-12 INCHES
SNOW LOAD - 20 PSF
ULTIMATE DESIGN WIND SPEED
FOR RISK
DESIGN WIND SPEED -
90MPH, 3-SECOND GUST

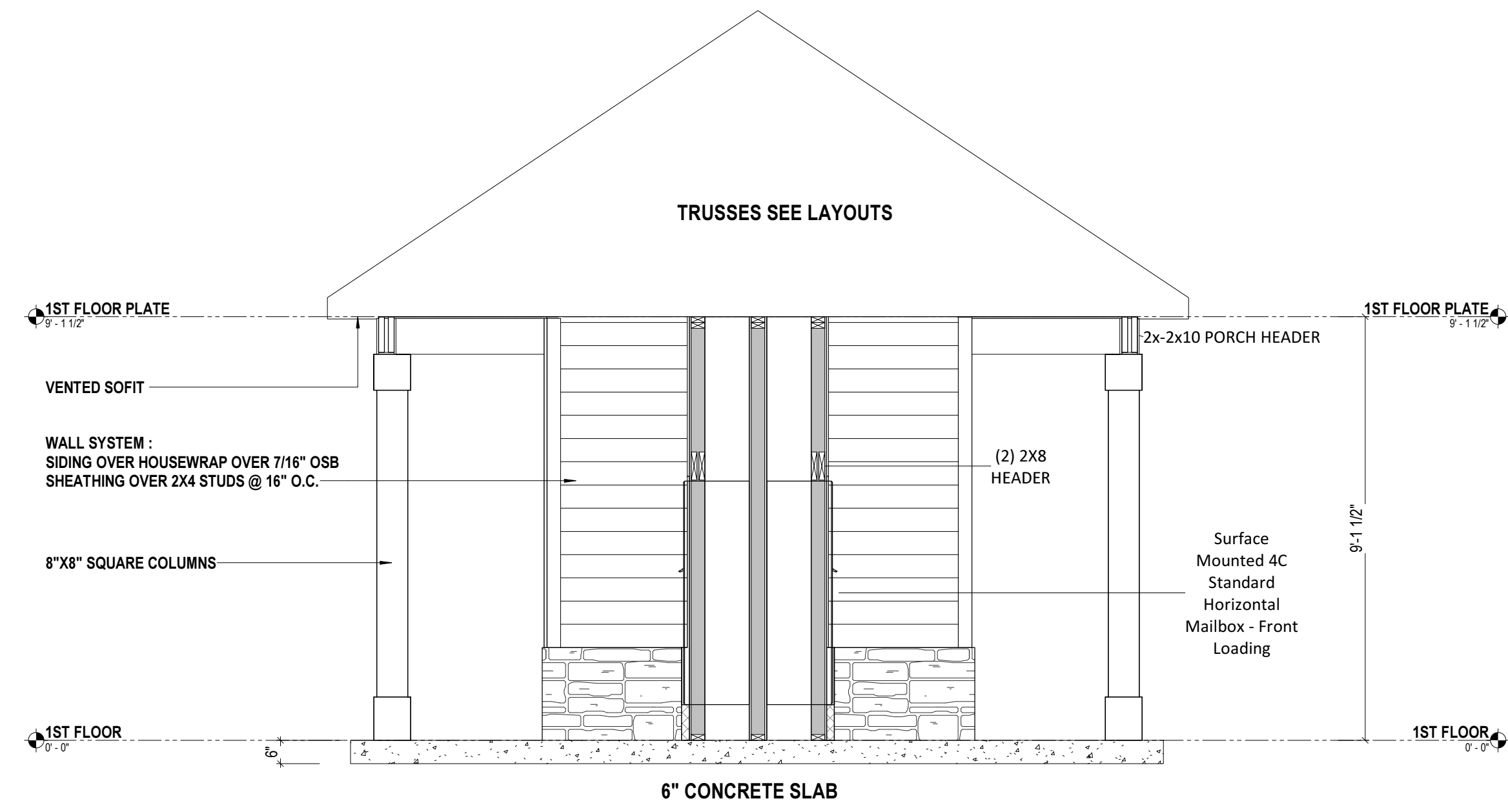


PERMIT SET

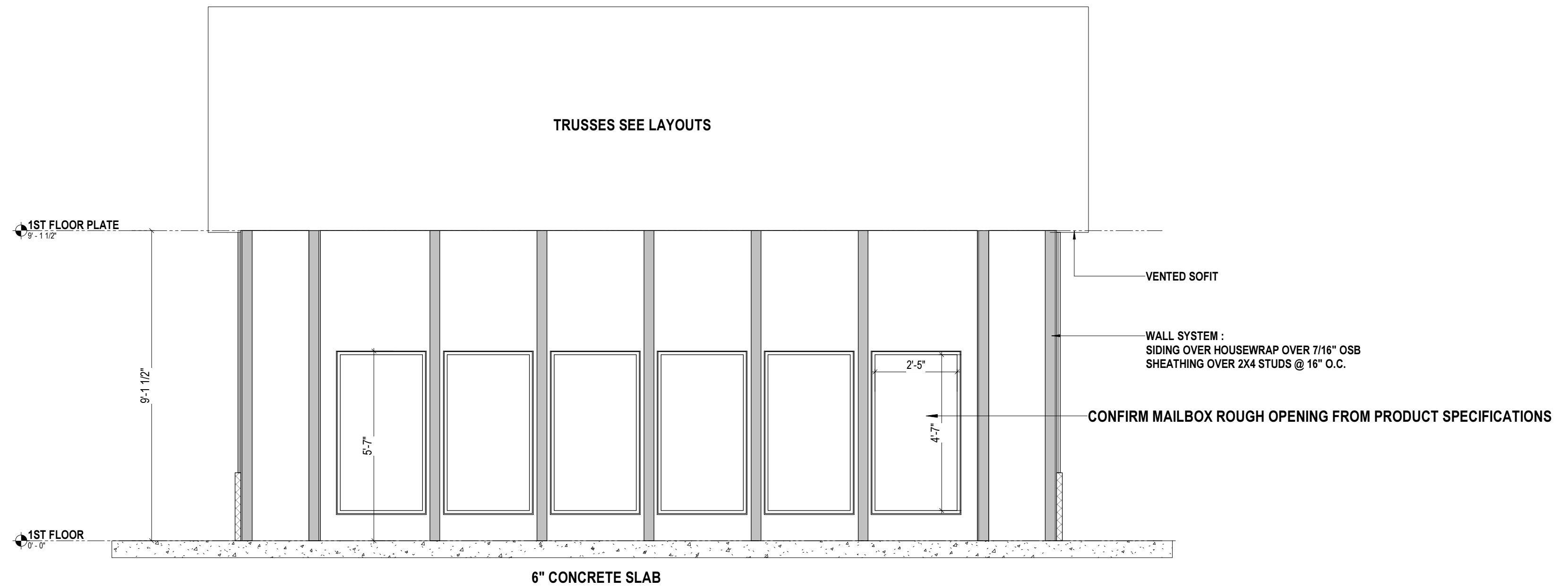
- NOTE:
 1. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD, U.N.O.
 2. ALL DOOR & WINDOW HEADERS IN EXTERIOR WALLS TO BE (2) 2X8 U.N.O.
 3. ALL INTERIOR DOOR HEADERS TO BE (2) 2X4, U.N.O.
 4. PROVIDE PRESSURE TREATED LUMBER @ HOUSE BAND WHERE ALL DECK, PORCH & APPURTENANCES ARE CONNECTED.



1 FLOOR PLAN
 A-1.00 1/2" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



2 BUILDING SECTION 1
 A-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



3 BUILDING SECTION 2
 A-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



Longevity Home Solutions
 age in place - multigenerational - adaptability

Rick Byers
 (804) 217-8367
 4932 Dominion Blvd
 Suite 106
 Glen Allen, VA, 23060

CLIENT **LONGEVITY SOLUTIONS**

ADDRESS **DANVILLE**

PROJECT **MULTI-FAMILY**

SERIES **ACCESSORIES**

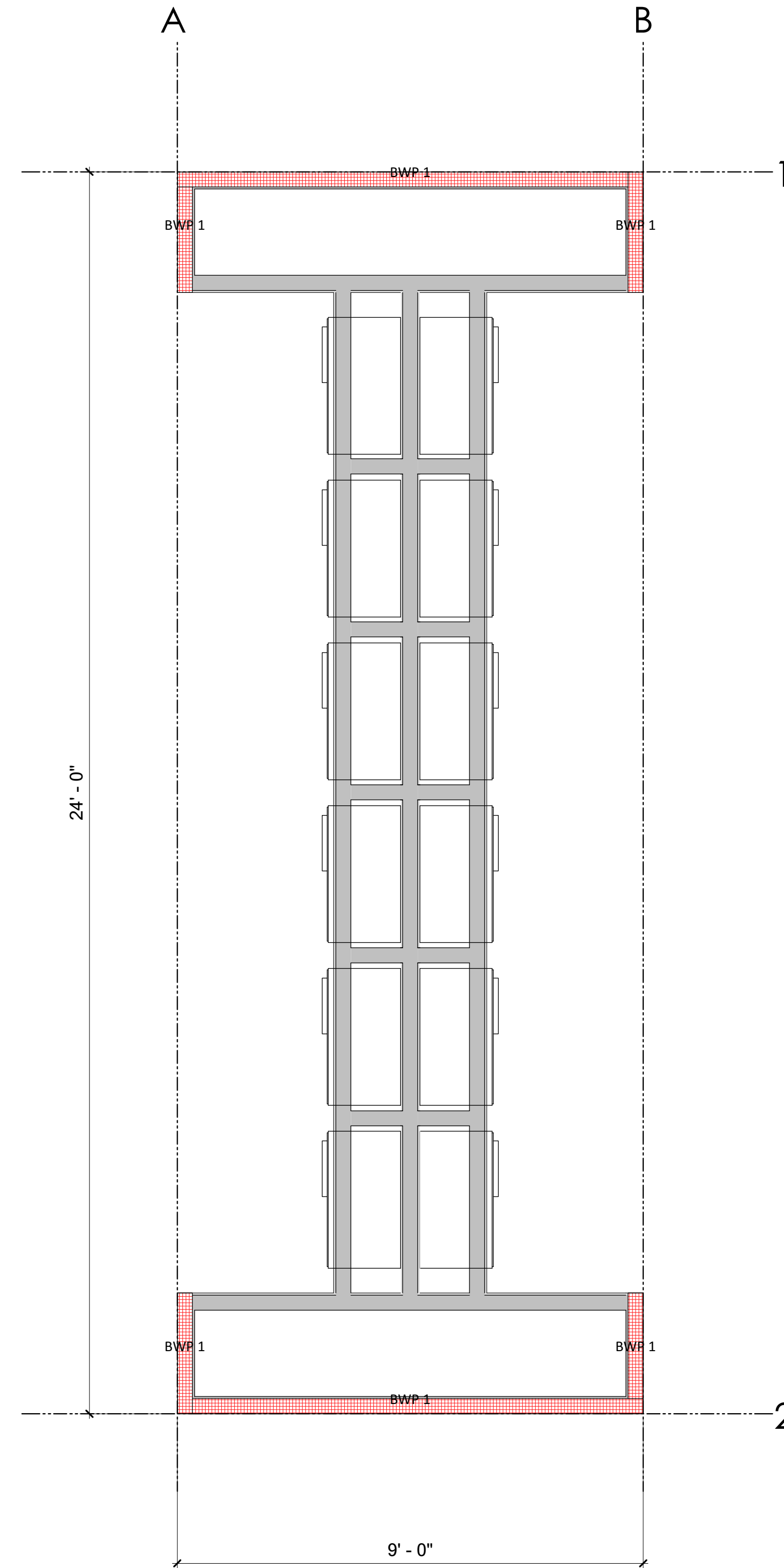
SHEET **Cluster Mailbox**

ISSUE DATE **1/24/25**

DRAWN BY **PINNACLE DESIGN**
 RVA

SHEET NUMBER **A-1.00**

- NOTE:
 1. ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD, U.N.O.
 2. ALL DOOR & WINDOW HEADERS IN EXTERIOR WALLS TO BE (2) 2X8 U.N.O.
 3. ALL INTERIOR DOOR HEADERS TO BE (2) 2X4, U.N.O.
 4. PROVIDE PRESSURE TREATED LUMBER @ HOUSE BAND WHERE ALL DECK, PORCH & APPURTENANCES ARE CONNECTED.



1 1ST FLOOR PLAN
 A-1.50
 1/2" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



Classic Wall Bracing Worksheet

per 2018 Virginia Residential Code Section R602.10

Ultimate Wind Speed (mph)	115																			
BWL Designation	1		2		A		B													
No. of Floors above BWL	0		0		0		0													
BWP Method	CS-WSP		CS-WSP		CS-WSP		CS-WSP													
Average BWL Spacing (ft)	24		24		9		9													
Tabular Requirement (%)	3.90		3.90		2.00		2.00													
Exposure	B	1.00	B	1.00	B	1.00	B	1.00												
Eave-to-Ridge Ht (ft)	6.58	0.79	6.58	0.79	6.58	0.79	6.58	0.79												
Max. Wall Ht (ft)	9.00	0.95	9.00	0.95	9.00	0.95	9.00	0.95												
No. of BWLs	2	1.00	2	1.00	2	1.00	2	1.00												
Omit Interior Finish?	Yes	1.40	Yes	1.40	Yes	1.40	Yes	1.40												
Added Hold-downs?	No	1.00	No	1.00	No	1.00	No	1.00												
Joints Blocked?	Yes	1.00	Yes	1.00	Yes	1.00	Yes	1.00												
Fasteners @ # o.c.?	Yes	0.83	Yes	0.83	Yes	0.83	Yes	0.83												
Required BWP Length (ft)	3.42		3.42		1.75		1.75													
Actual BWP's	Contributing Length (ft)	1	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length	Method	Length
	1	CS-WSP	9.00	CS-WSP	9.00	CS-WSP	2.33	CS-WSP	2.33											
	2					CS-WSP	2.33	CS-WSP	2.33											
	3																			
	4																			
	5																			
	6																			
Actual BWP Length (ft)	9.00		9.00		4.66		4.66													
Actual ≥ Required?	PASS		PASS		PASS		PASS													
BWP's ≤ 20' Apart?	Yes		Yes		Yes		Yes													
≥ 2 Panels in BWL?	Yes		Yes		Yes		Yes													
BWP 10' from Ends?	Yes		Yes		Yes		Yes													
Continuous Sheathing	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2	End 1	End 2
End Conditions	1	1	1	1	1	1	1	1												
BWL Compliance	PASS		PASS		PASS		PASS													

To report an error or bug, call 703-324-1842, TTY 711

A Fairfax County, Virginia Publication

Classic VRC2018 - 7/26/2021



Longevity Home Solutions
 age in place - multigenerational - adaptability

Rick Byers
 (804) 217-8367
 4932 Dominion Blvd
 Suite 106
 Glen Allen, VA, 23060

CLIENT
LONGEVITY SOLUTIONS

ADDRESS
DANVILLE

PROJECT
MULTI-FAMILY

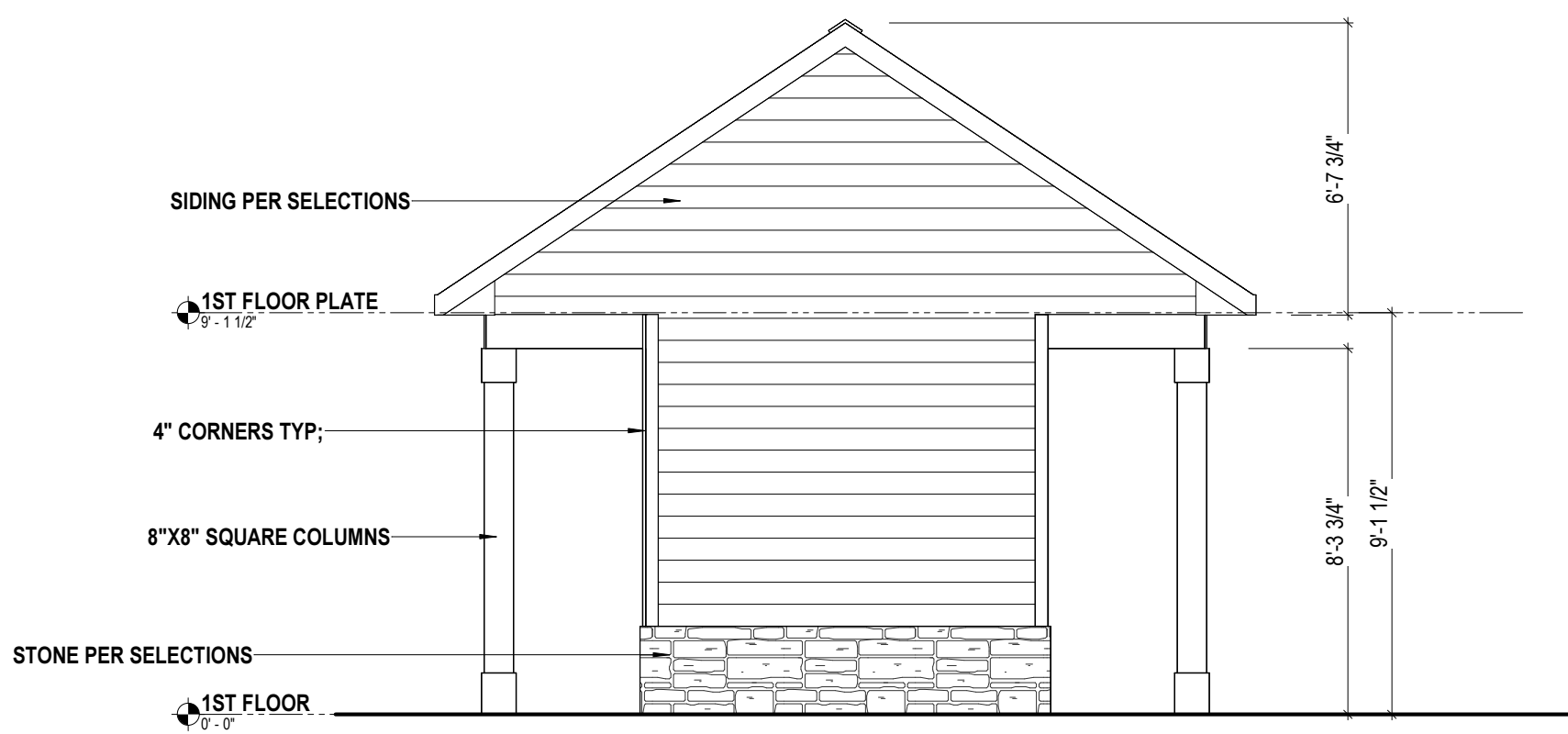
SERIES
ACCESSORIES

SHEET
Wall Bracing plan

ISSUE DATE
1/24/25

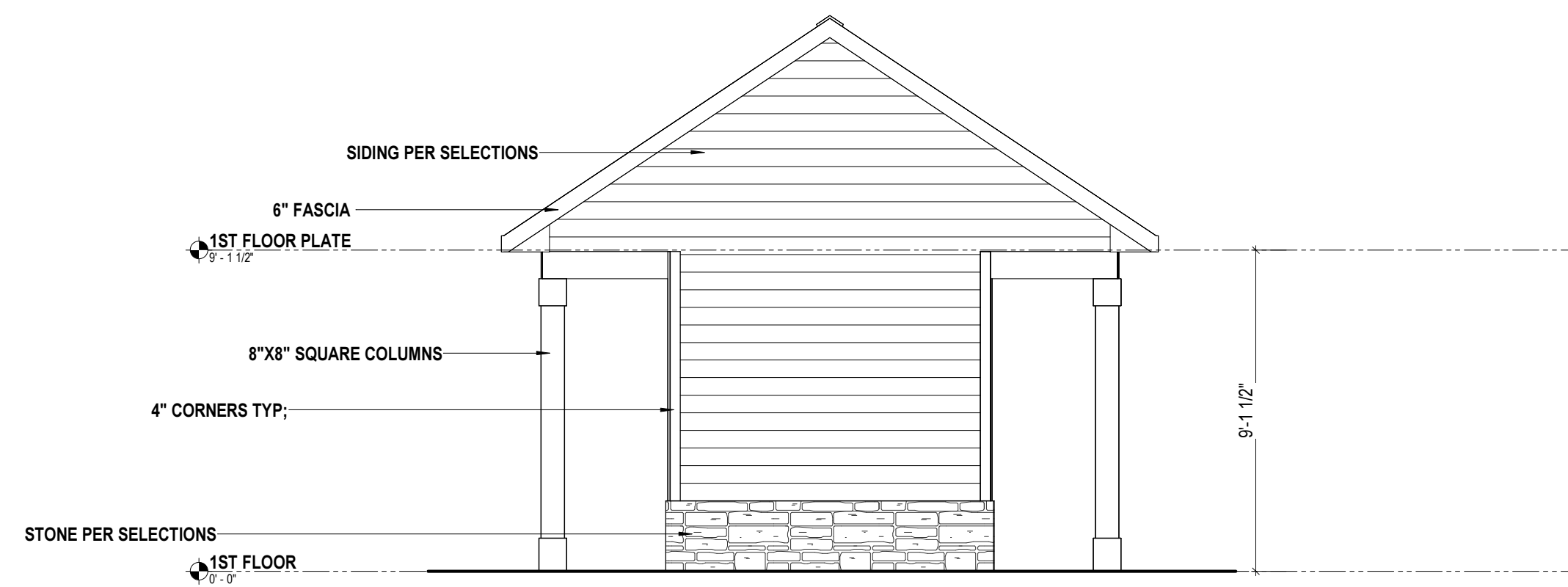
DRAWN BY
**PINNACLE DESIGN
 RVA**

SHEET NUMBER
A-1.50



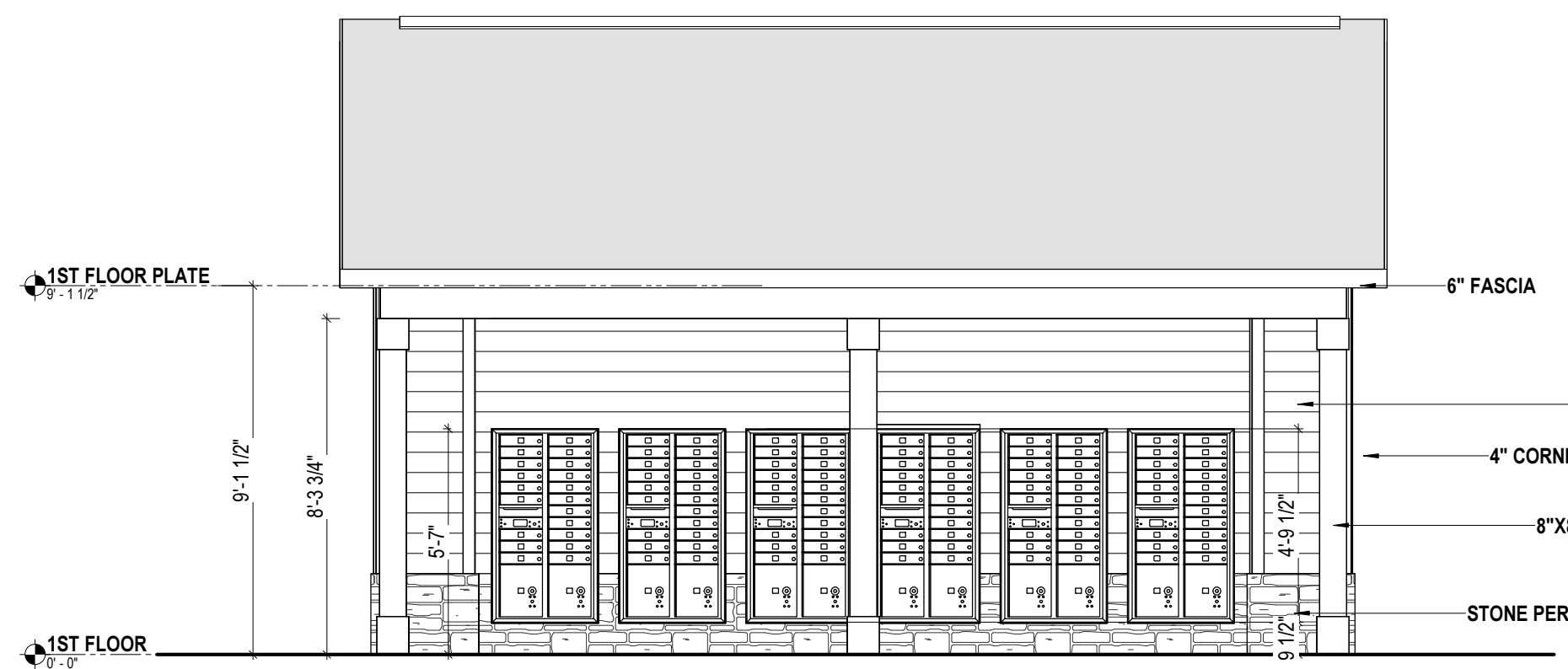
1 FRONT VIEW

A-3.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



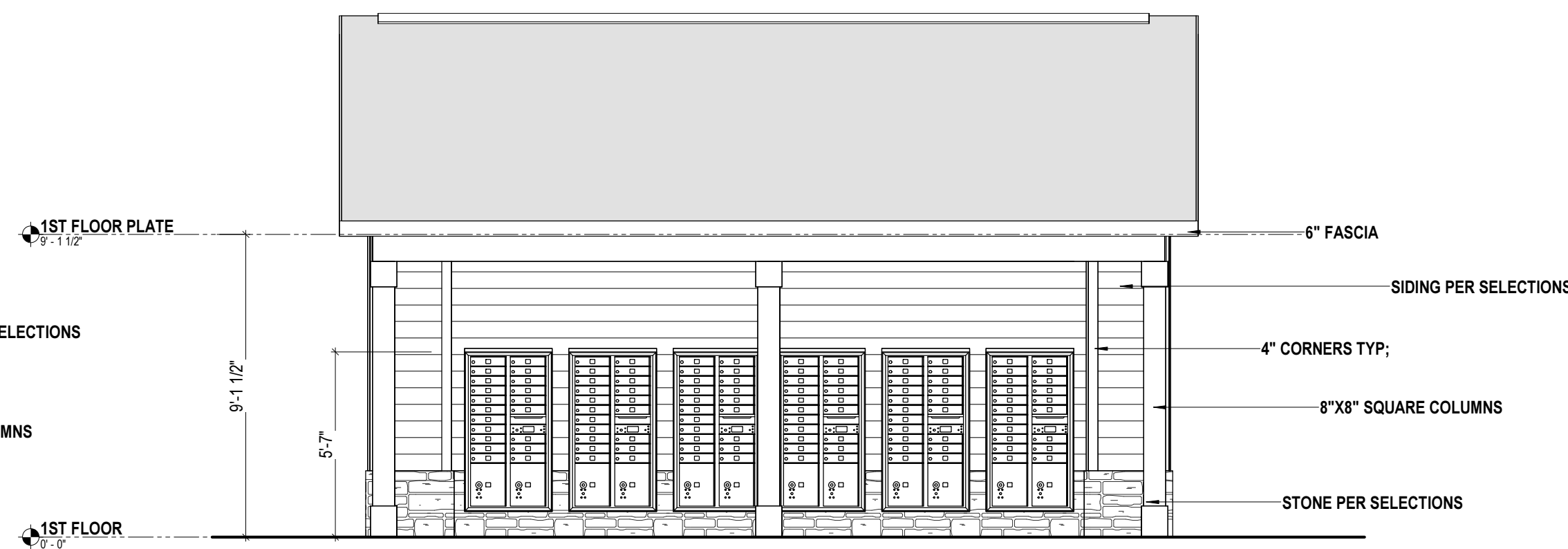
3 REAR VIEW

A-3.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



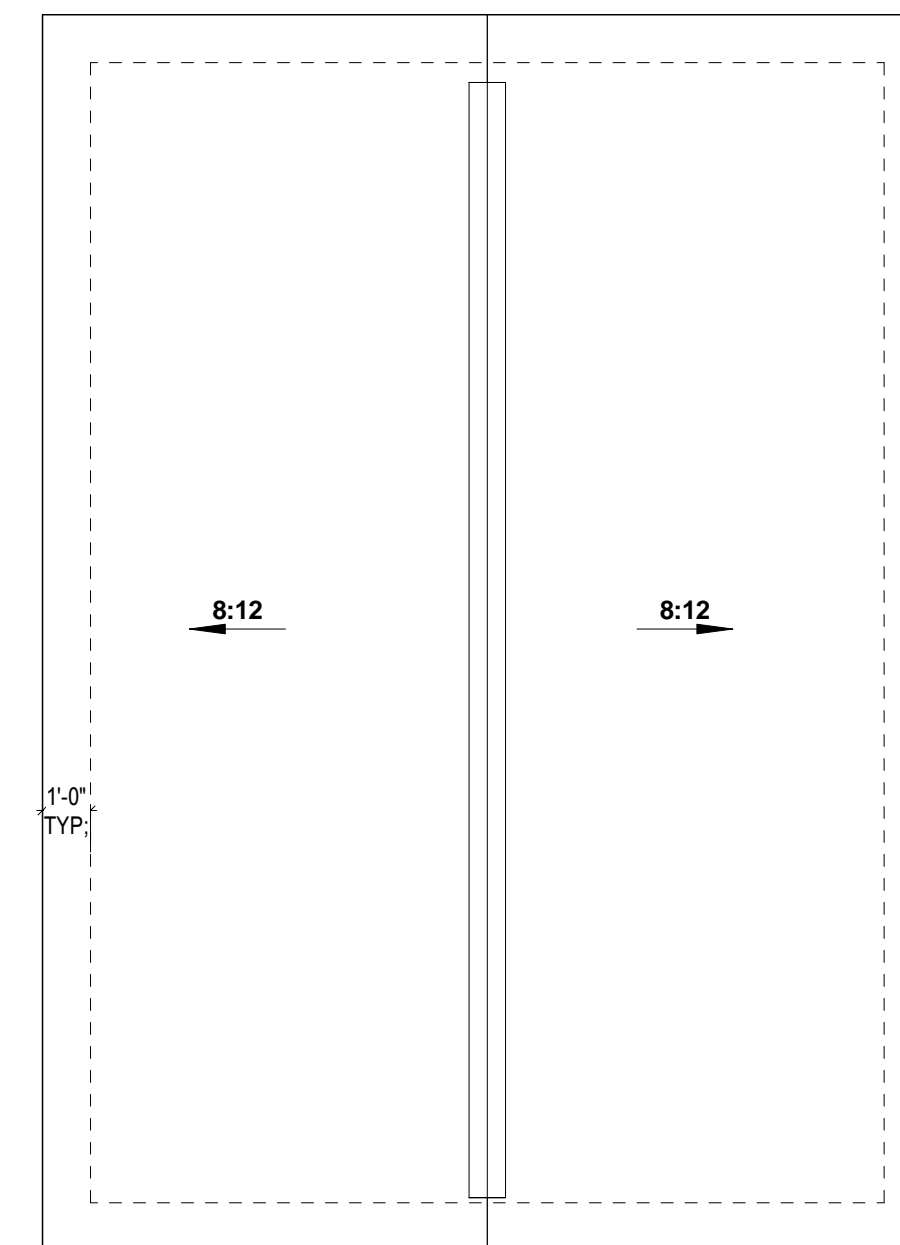
2 LEFT VIEW

A-3.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



4 RIGHT VIEW

A-3.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



5 ROOF PLAN

A-3.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



Longevity Home Solutions
age in place - multigenerational - adaptability

Rick Byers
(804) 217-8367
4932 Dominion Blvd
Suite 106
Glen Allen, VA, 23060

CLIENT **LONGEVITY SOLUTIONS**

ADDRESS **DANVILLE**

PROJECT **MULTI-FAMILY**

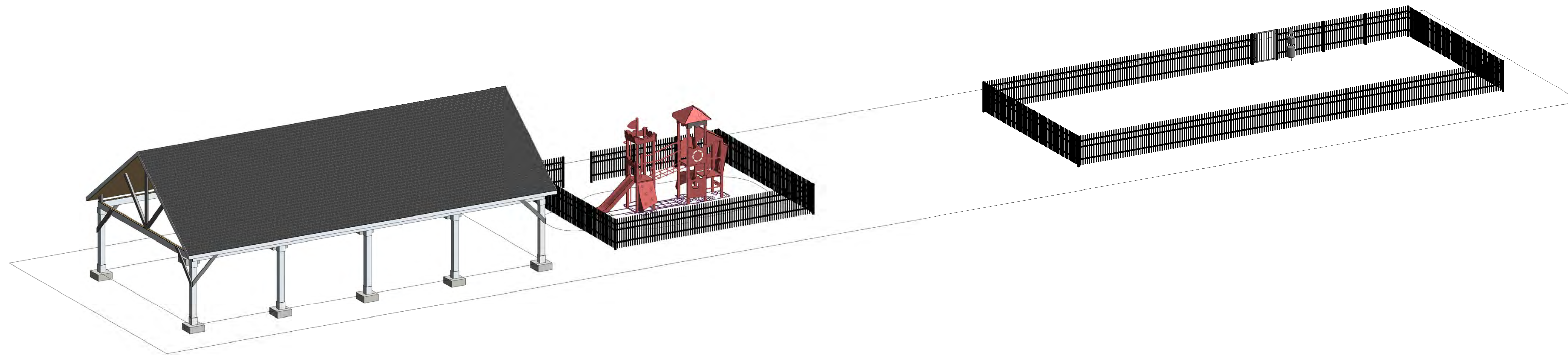
SERIES **ACCESSORIES**

SHEET **Elevations**

ISSUE DATE **1/24/25**

DRAWN BY **PINNACLE DESIGN**
RVA

SHEET NUMBER **A-3.00**



1 3-D VIEW
A-4.00

WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



Longevity Home Solutions
age in place - multigenerational - adaptability

Rick Byers
(804) 217-8367
4932 Dominion Blvd
Suite 106
Glen Allen, VA, 23060

CLIENT
LONGEVITY SOLUTIONS

ADDRESS
DANVILLE

PROJECT
MULTI-FAMILY

SERIES
ACCESSORIES

SHEET
3-D VIEW

ISSUE DATE

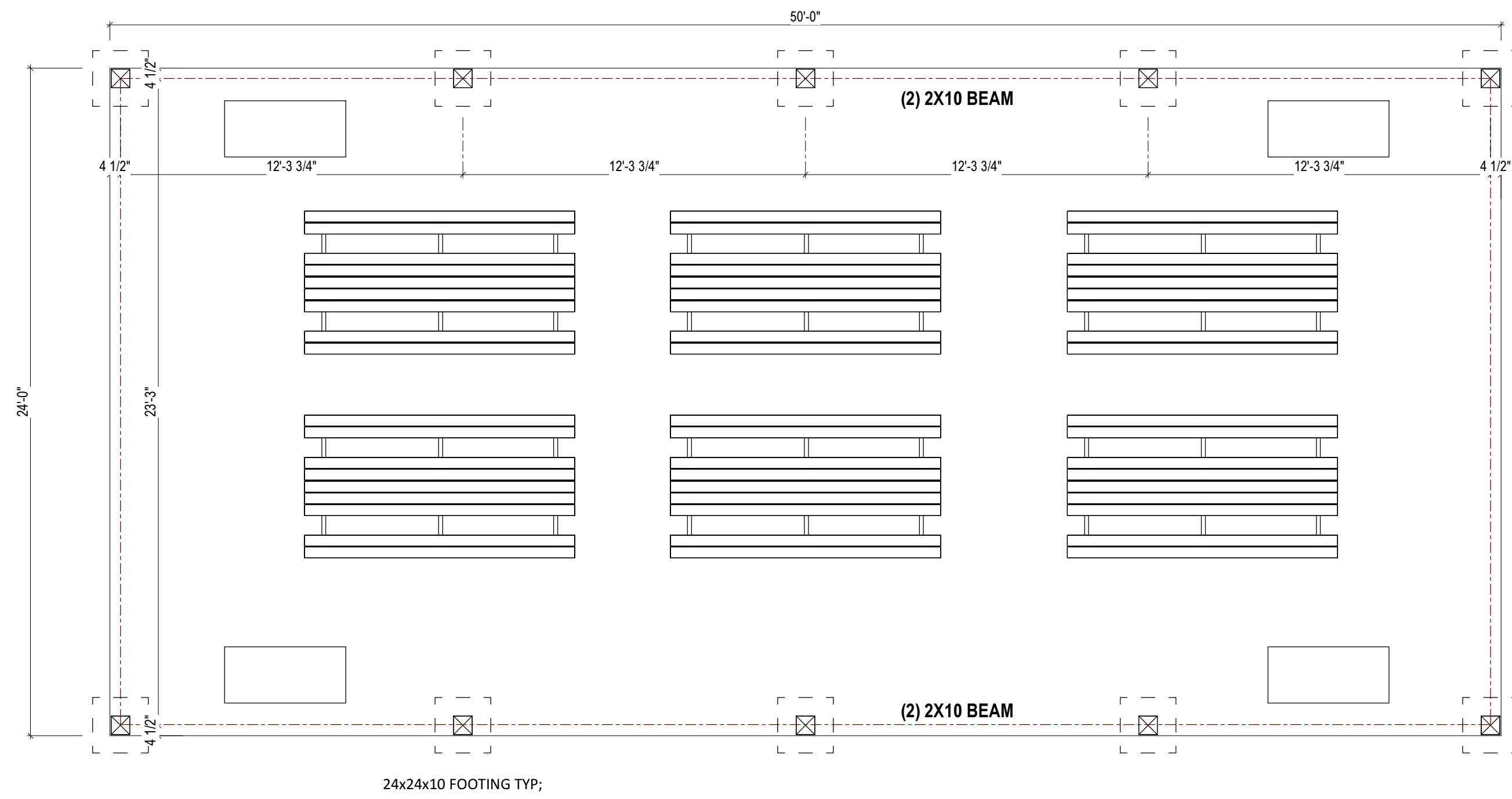
1/24/25

DRAWN BY

**PINNACLE DESIGN
RVA**

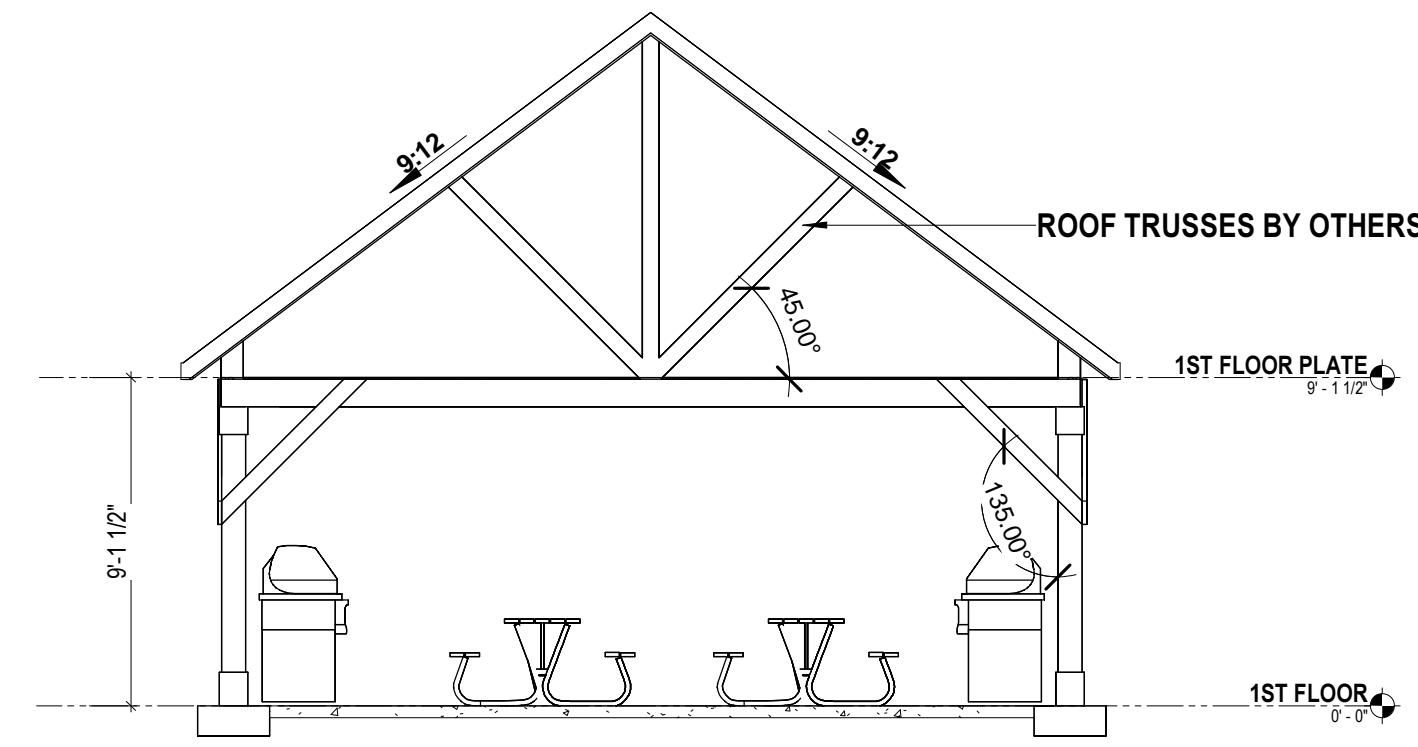
SHEET NUMBER

A-4.00



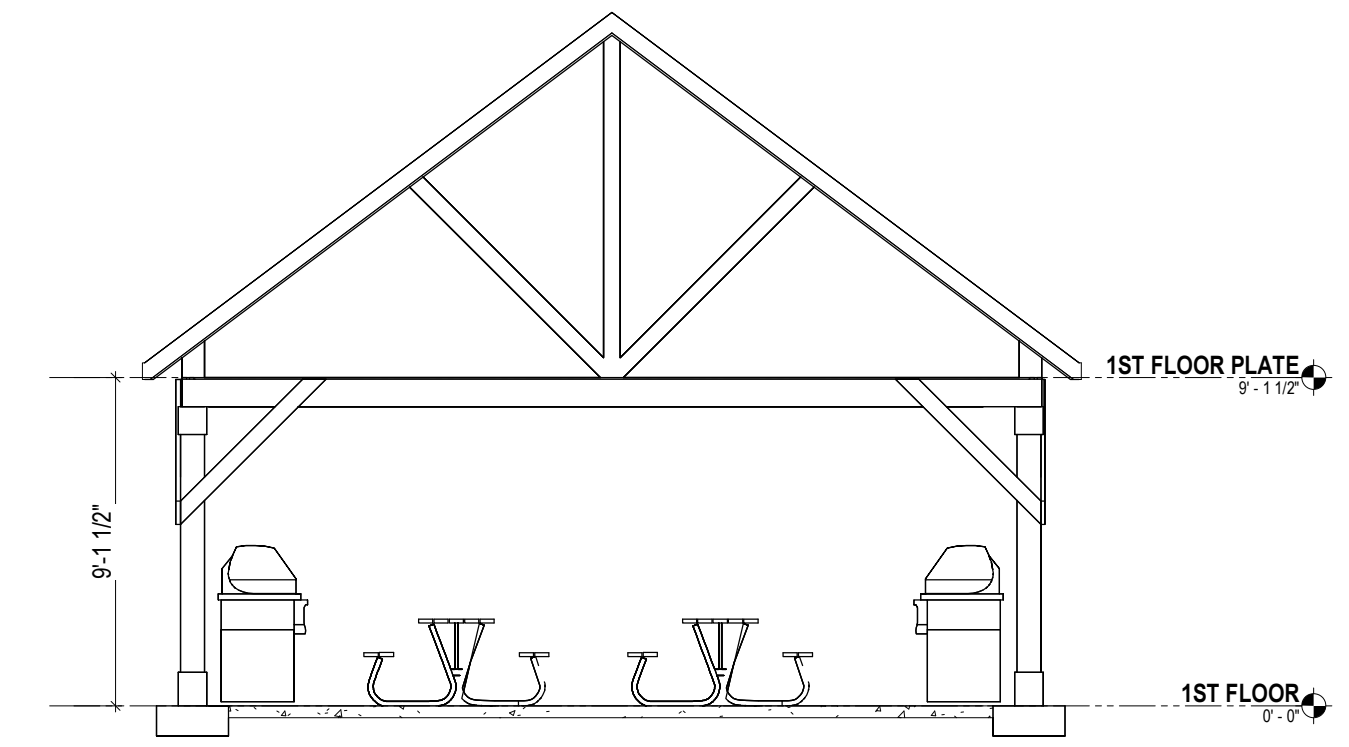
1 FLOOR PLAN

P-1.00 1/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



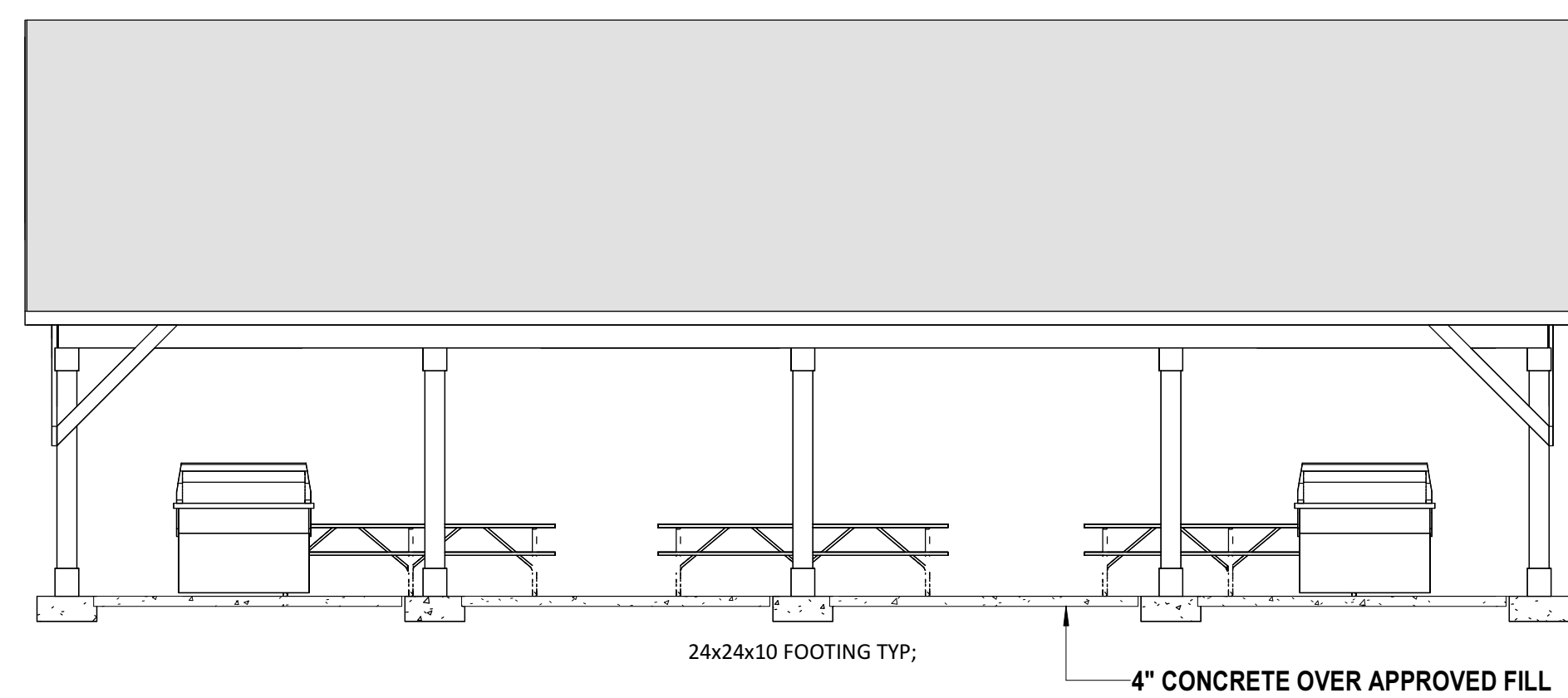
2 FRONT VIEW

P-1.00 3/16" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



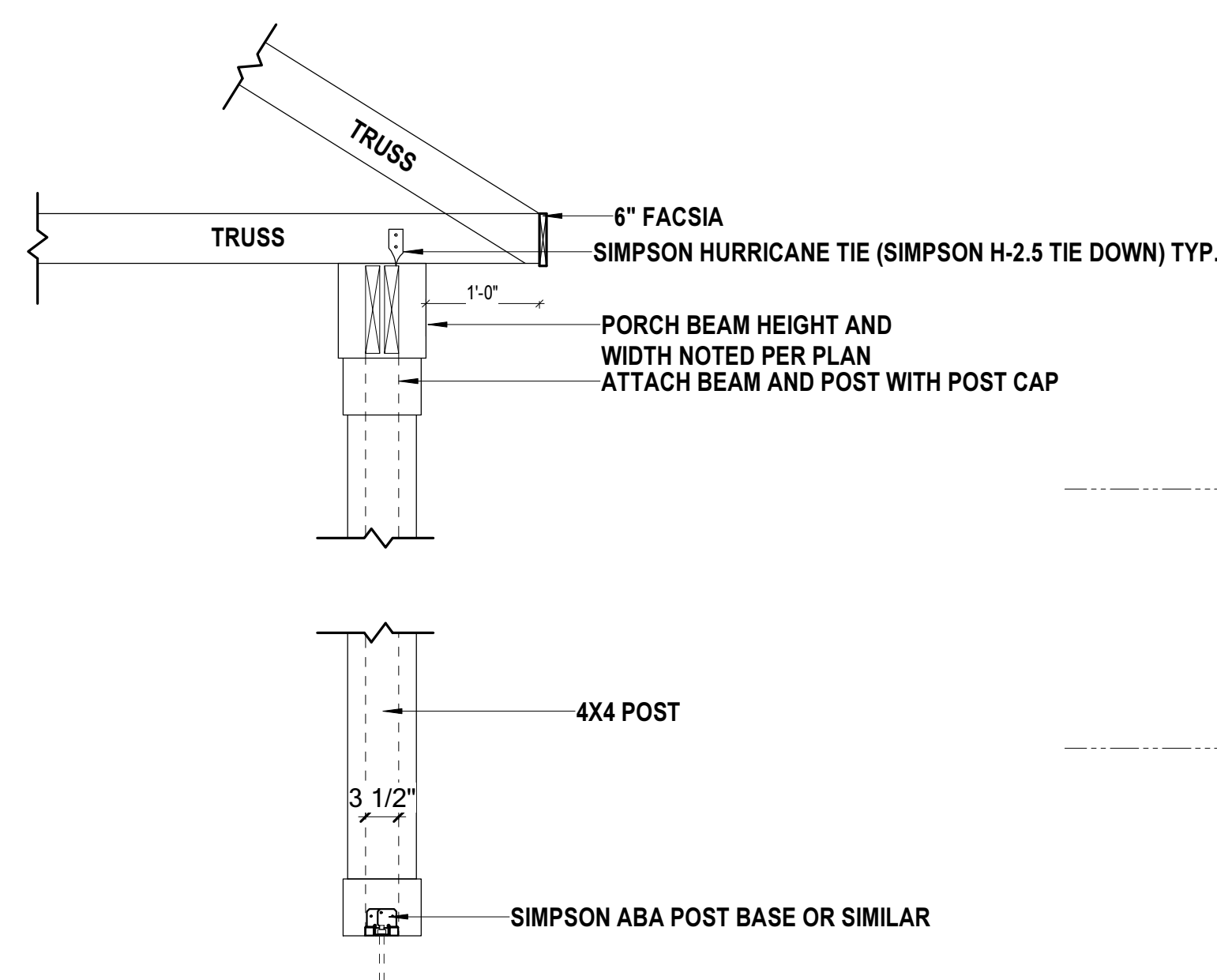
3 REAR VIEW

P-1.00 3/16" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



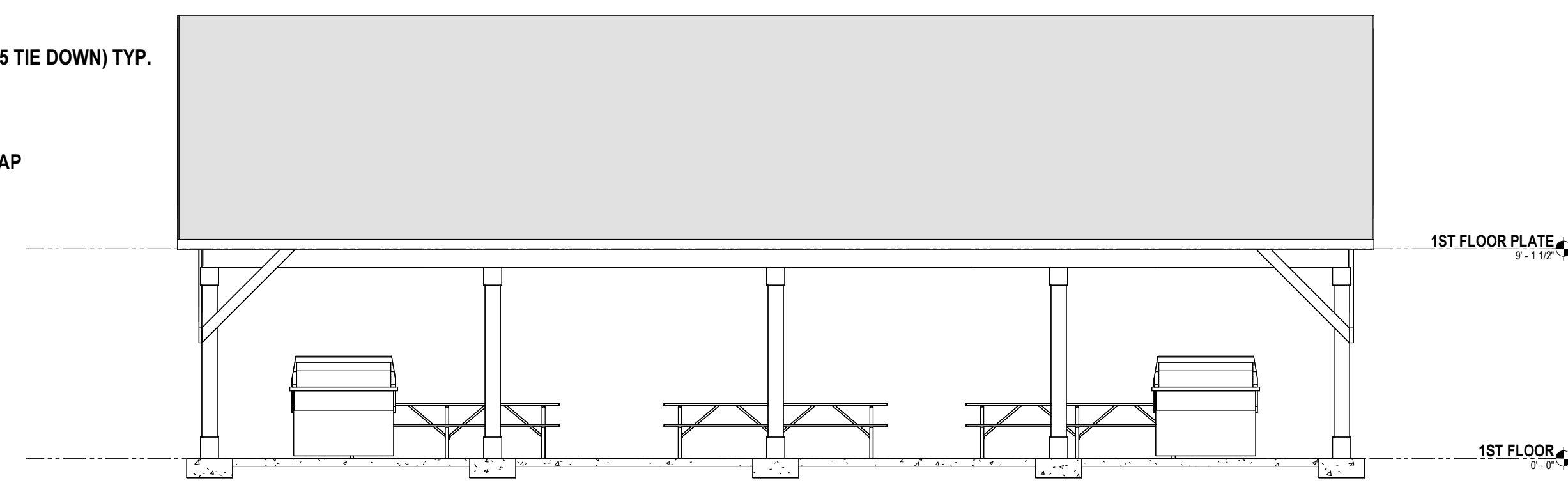
4 LEFT VIEW

P-1.00 3/16" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



6 PORCH BEAM ROOF DETAIL

P-1.00 3/4" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



5 RIGHT VIEW

P-1.00 3/16" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



Longevity Home Solutions
age in place - multigenerational - adaptability

Rick Byers
(804) 217-8367
4932 Dominion Blvd
Suite 106
Glen Allen, VA, 23060

CLIENT **LONGEVITY SOLUTIONS**

ADDRESS **DANVILLE**

PROJECT **MULTI-FAMILY**

SERIES **ACCESSORIES**

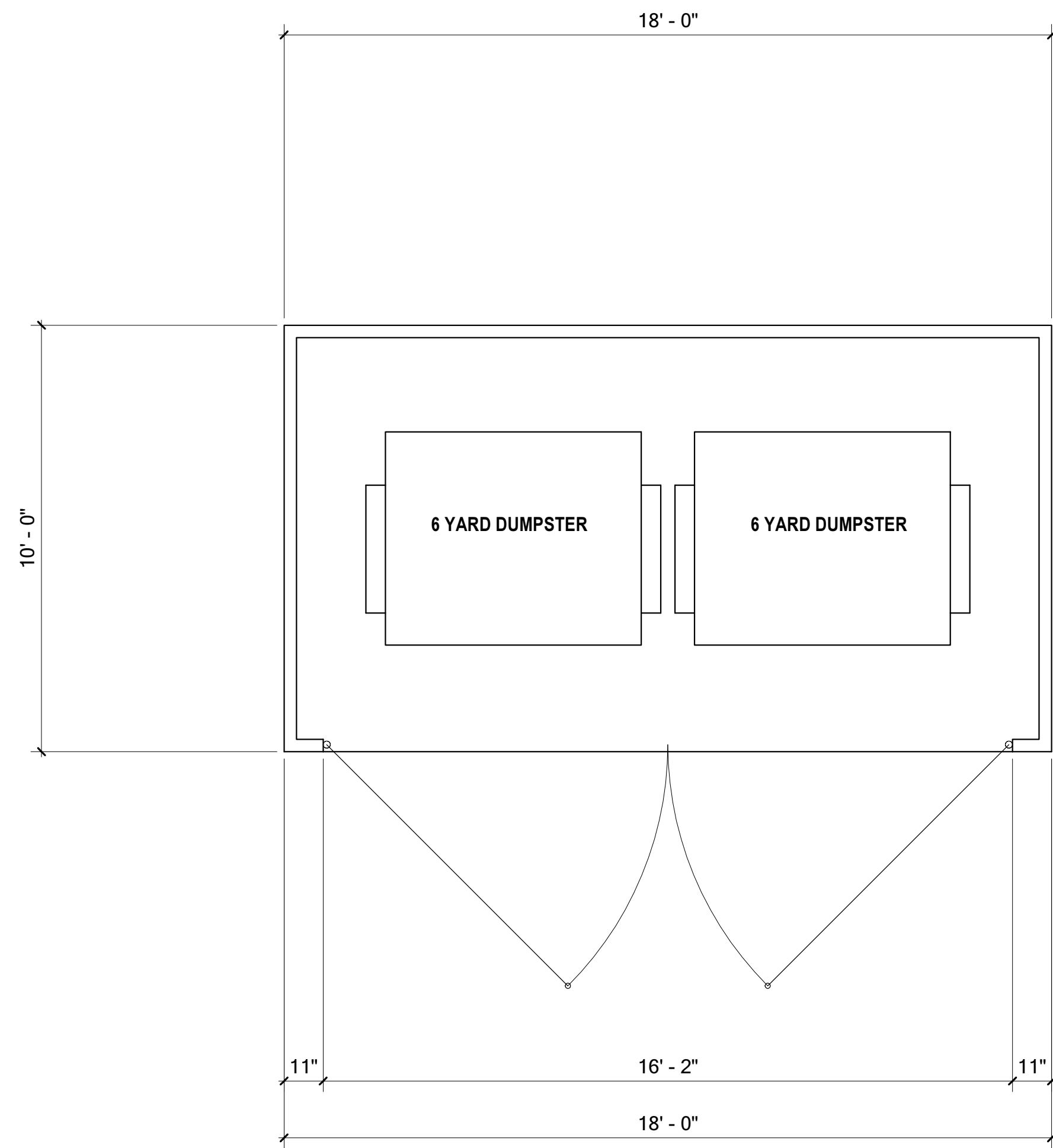
SHEET **Picnic Pavilion**

ISSUE DATE **1/24/25**

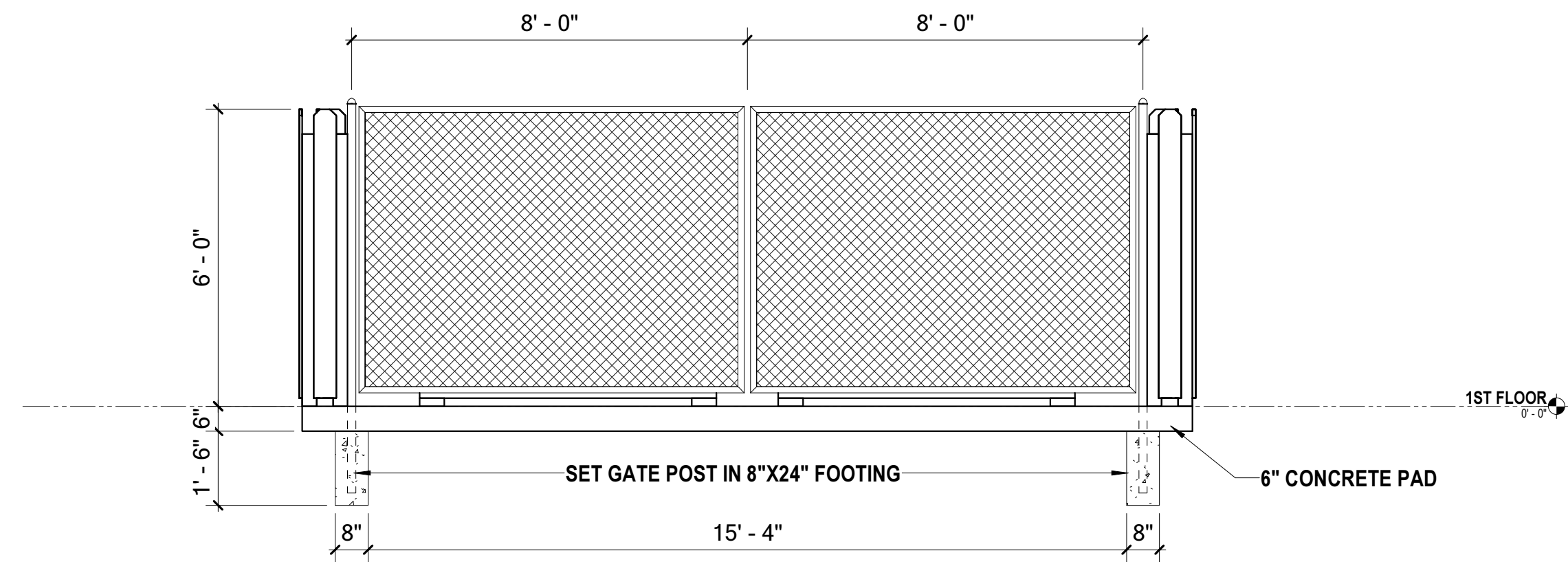
DRAWN BY **PINNACLE DESIGN**
RVA

SHEET NUMBER

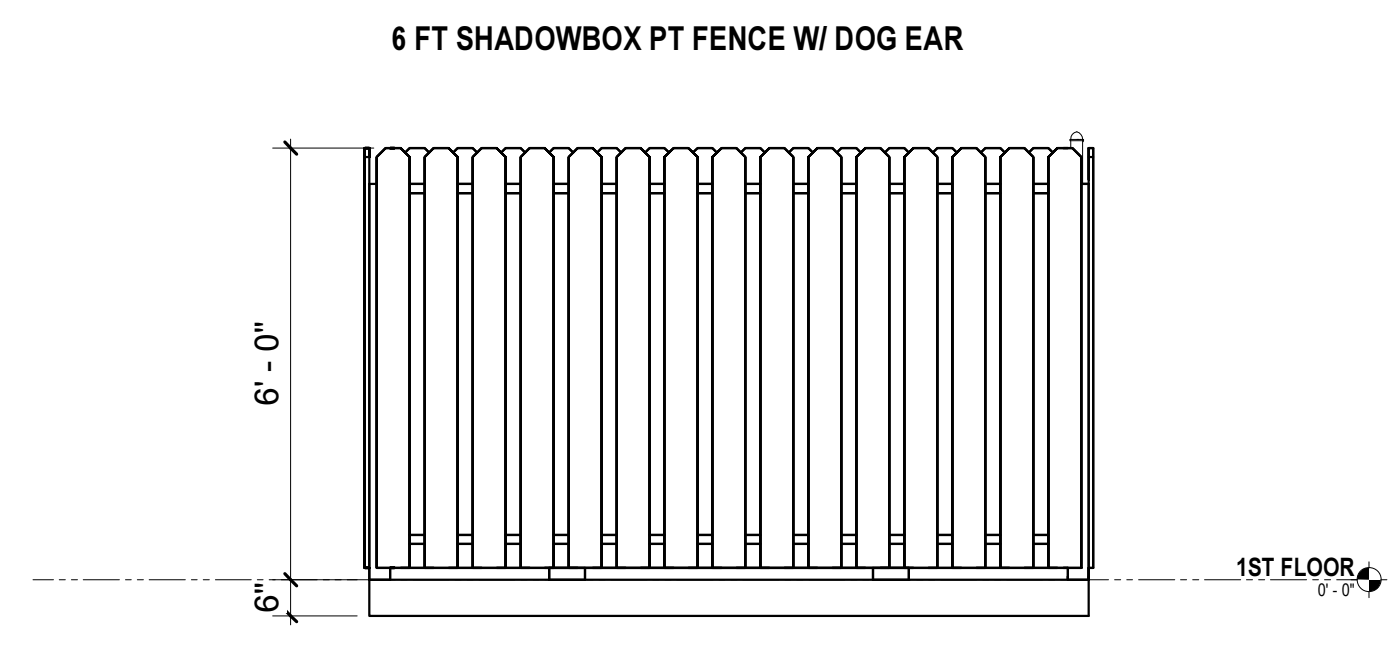
P-1.00



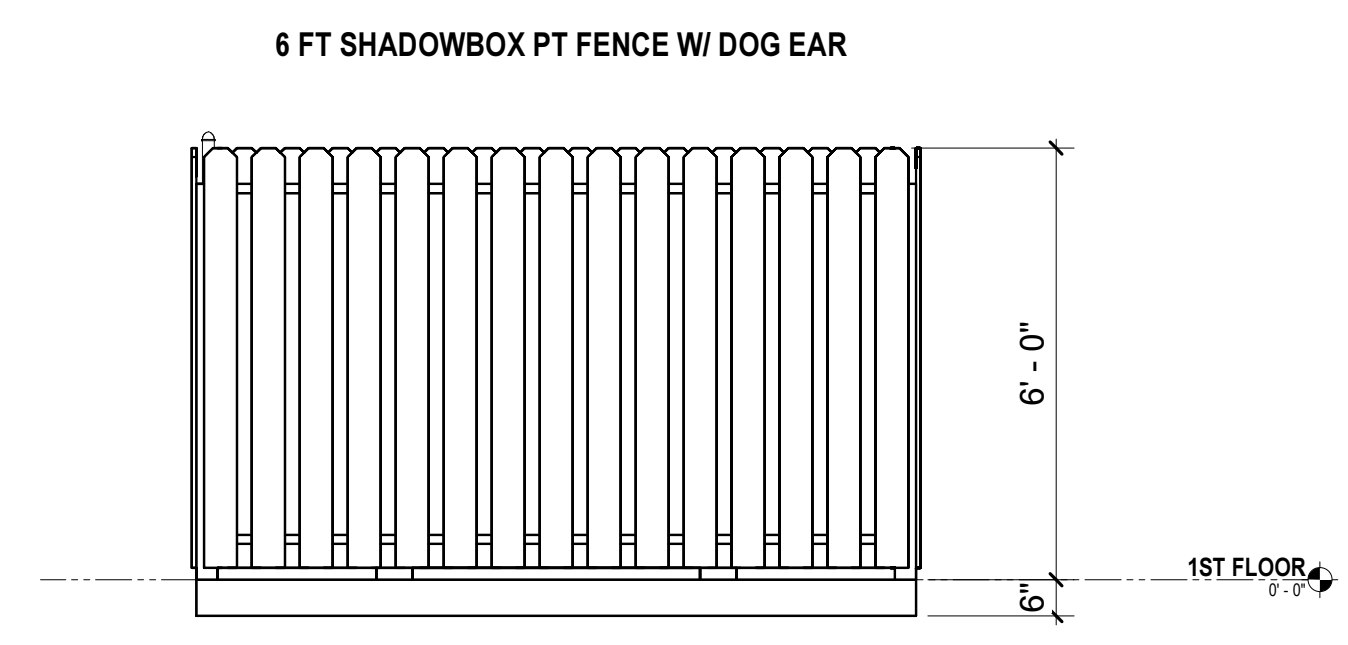
1 DUMPSTER PAD
 D-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



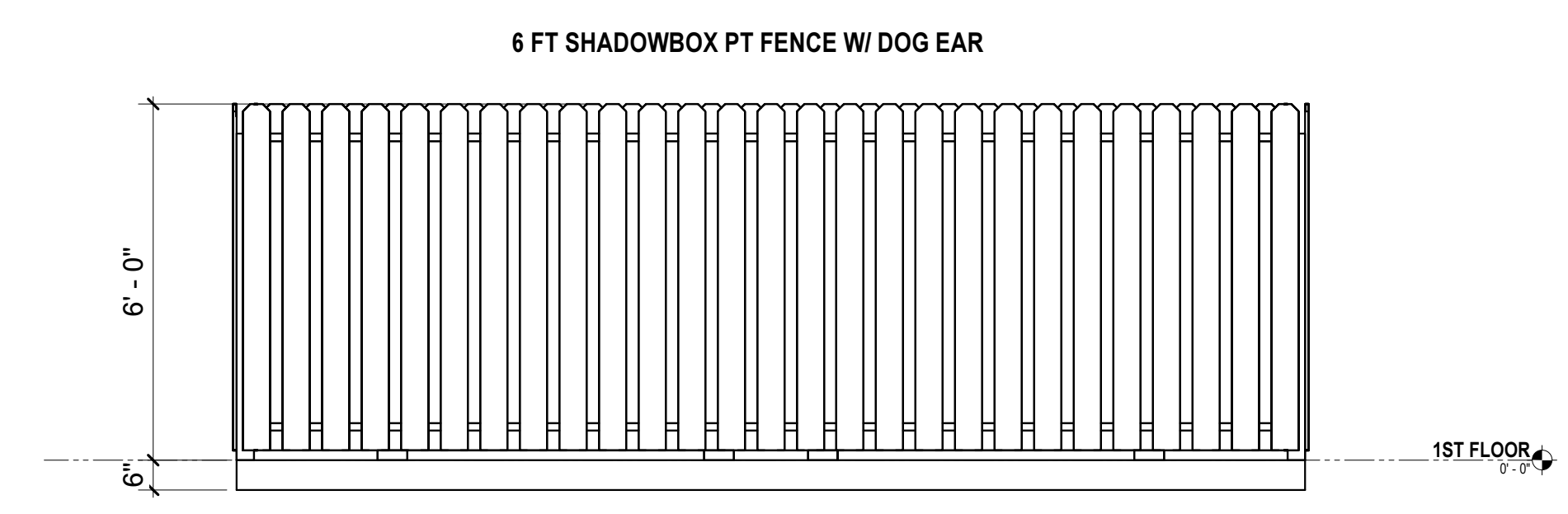
2 FRONT ELEVATION
 D-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



3 LEFT ELEVATION
 D-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



4 RIGHT ELEVATION
 D-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE



5 REAR ELEVATION
 D-1.00 3/8" = 1'-0" WHEN PRINTED ON 24"x36" / ARCH D PAPER SIZE

Pet Waste ELIMINATOR™

www.PetWasteEliminator.com • 1-800-790-8896



Superior Pet Waste Station (Item E3)

The ultimate in quality & convenience with everything you need to get started.

Superior Station Components: Assembly:

- 1 Rust-proof Aluminum Pet Waste Dispenser Box (10" w x 17"h x 4¾"d)
- 1 10-gallon Steel Trash Receptacle with Attached Lid
- 1 8' Rust-Proof Steel Sign Post
- 1 Aluminum Sign (12" x 18)
- 80 Pet Waste Bags on Header Cards
- 50 Trash Receptacle Liners
- 4 Hardware Kits

Easy to install. Minor field assembly required.

Construction:

Heavy-duty aluminum boxes are built to withstand rigorous use and extreme weather. Universal-fit dispenser has exclusive rain guard to keep both bags protected and avoid water accumulation inside the box.

Trash Receptacle with hinged lid is made of industrial grade galvanized steel. The attached lid keeps trash and odors in and rain out.

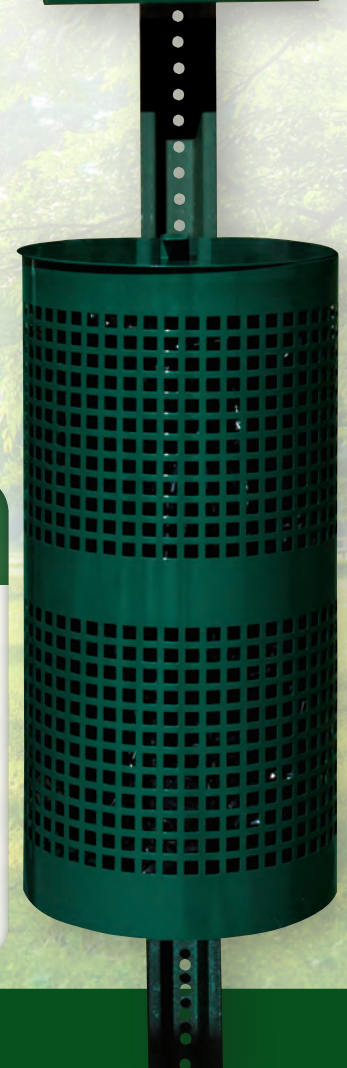
Both the dispenser box and trash receptacle are powder coated to eliminate rust and last in the elements.

Warranty:

The Superior Pet Waste Station is the ONLY station guaranteed for life and is covered by an Unconditional Lifetime Guarantee— no exceptions!

Superior Station Options:

- Additional Sign Options
- Available in Green & Black



Why Pet Waste Eliminator?

- Universal fit holds most brands of pet waste bags.
- Large capacity will fit up to 1,200 header bags, reducing maintenance frequency and costs.
- Sign included to encourage pick-up compliance (several sign options available)
- Same Day Shipping— all units in stock and ship today
- **LOWEST PRICE GUARANTEED** - See how we compare— we'll BEAT any comparable competitor price by 10%!

CAD Drawings and assembly instructions available upon request.

Tot Lot

Equipment Manufacturer



350-2221A



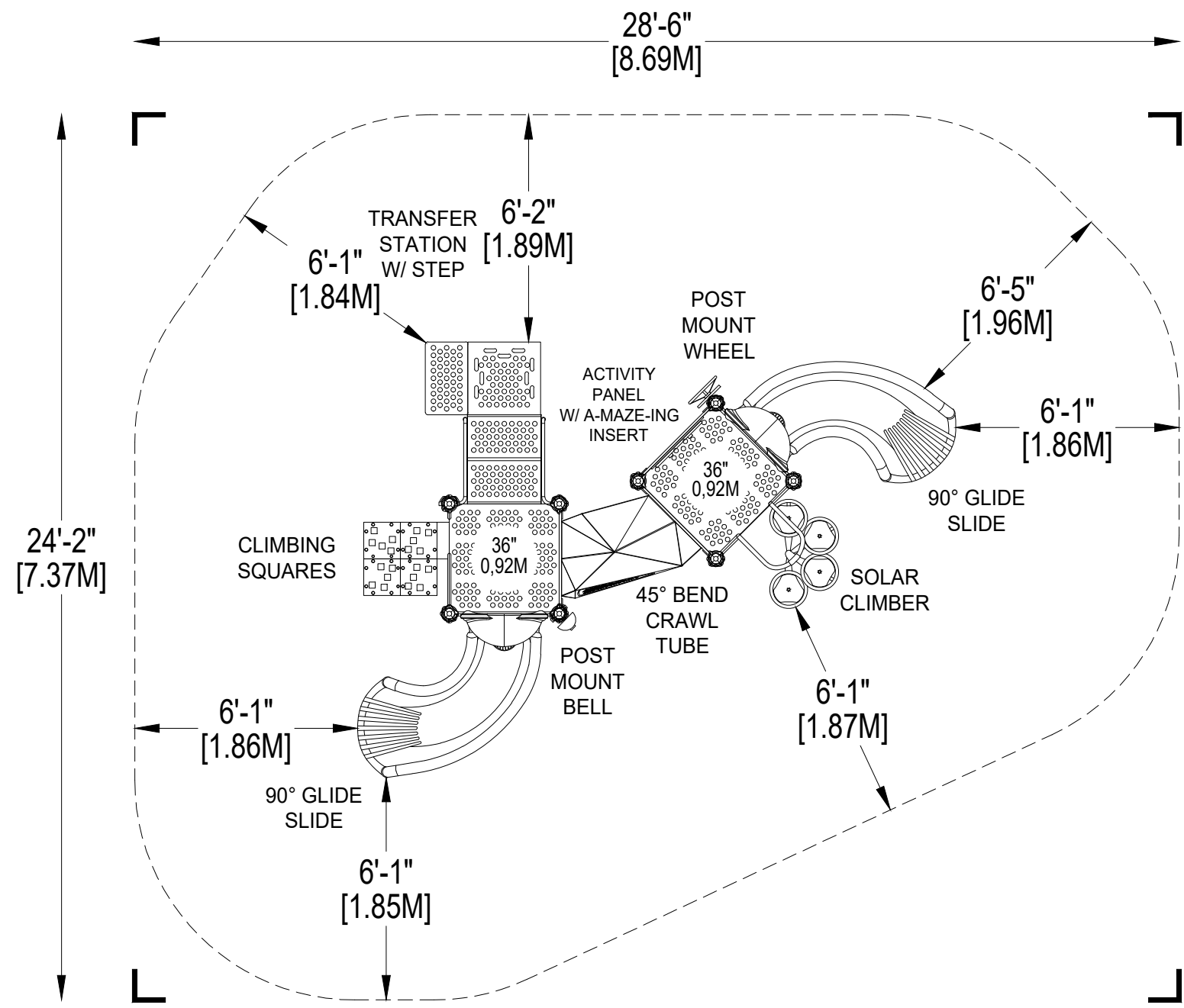
Tot Lot

Equipment Manufacturer



350-2221A





*PLAYGROUND SUPERVISION REQUIRED



PLAYWORLD SYSTEMS, INC.
 1000 Buffalo Road
 Lewisburg, PA
 17837-9795 USA

EQUIPMENT SIZE:
16'4" x 11'11" x 8'5"
 4,98M x 3,63M x 2,57M

USE ZONE:
28'6" x 24'2"
 8,69M x 7,37M

AREA: **560 SqFt.** PERIMETER: **87'5"**
 52,02 SqM. 26,65M

FALL HEIGHT:
3 Ft.
 0,92M

USER CAPACITY: **23** AGE GROUP: **2-5**

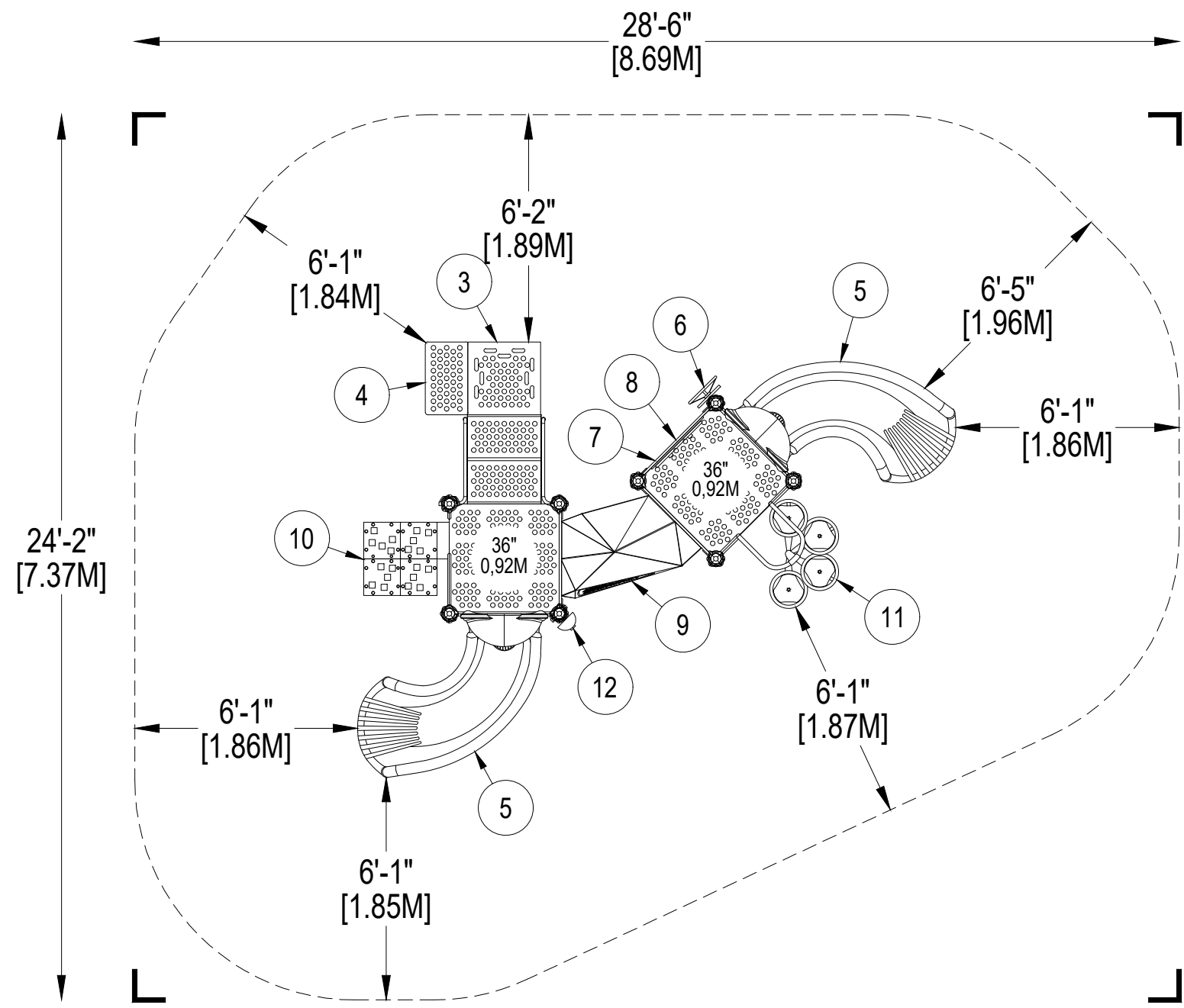
ADA SCHEDULE	Total Elevated Play Activities: 6		
	Total Ground-Level Play Activities: 2		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	3	2	2
Provided	6	2	2

✓ ASTM F1487-21
 ✓ CPSC #325



PROJECT NO: 350-2221	SCALE: 1/4"=1'-0"
DRAWN BY: M. MERTZ	Paper Size B
DATE: 22-SEPT-23	

TOT LOT
 CATALOG PRE-DESIGN



*PLAYGROUND SUPERVISION REQUIRED



PLAYWORLD SYSTEMS, INC.
 1000 Buffalo Road
 Lewisburg, PA
 17837-9795 USA

EQUIPMENT SIZE:
16'4" x 11'11" x 8'5"
 4,98M x 3,63M x 2,57M

USE ZONE:
28'6" x 24'2"
 8,69M x 7,37M

AREA: **560 SqFt.** PERIMETER: **87'5"**
 52,02 SqM. 26,65M

FALL HEIGHT:
3 Ft.
 0,92M

USER CAPACITY: **23** AGE GROUP: **2-5**

ADA SCHEDULE	Total Elevated Play Activities: 6		
	Total Ground-Level Play Activities: 2		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	3	2	2
Provided	6	2	2

✓ ASTM F1487-21
 ✓ CPSC #325

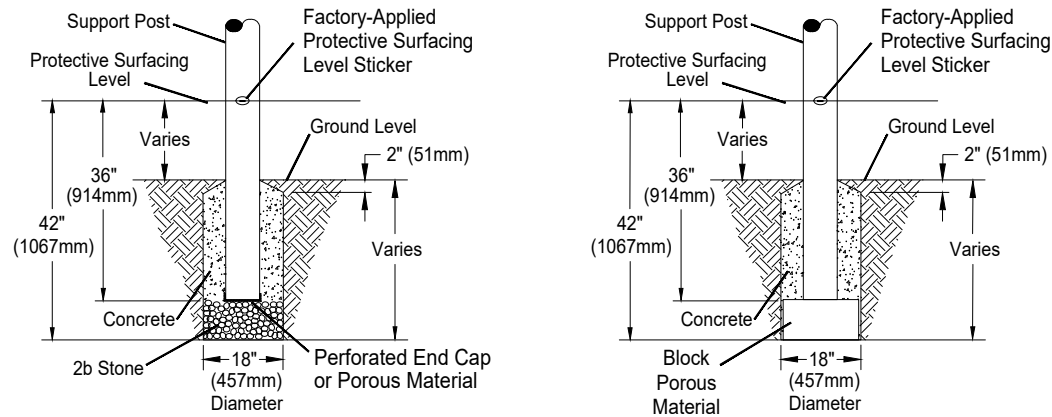


PROJECT NO: 350-2221	SCALE: 1/4"=1'-0"
DRAWN BY: M. MERTZ	Paper Size B
DATE: 22-SEPT-23	

TOT LOT
 CATALOG PRE-DESIGN

DETAIL 1

Support Post, Spiral Slide and Post Footing Detail

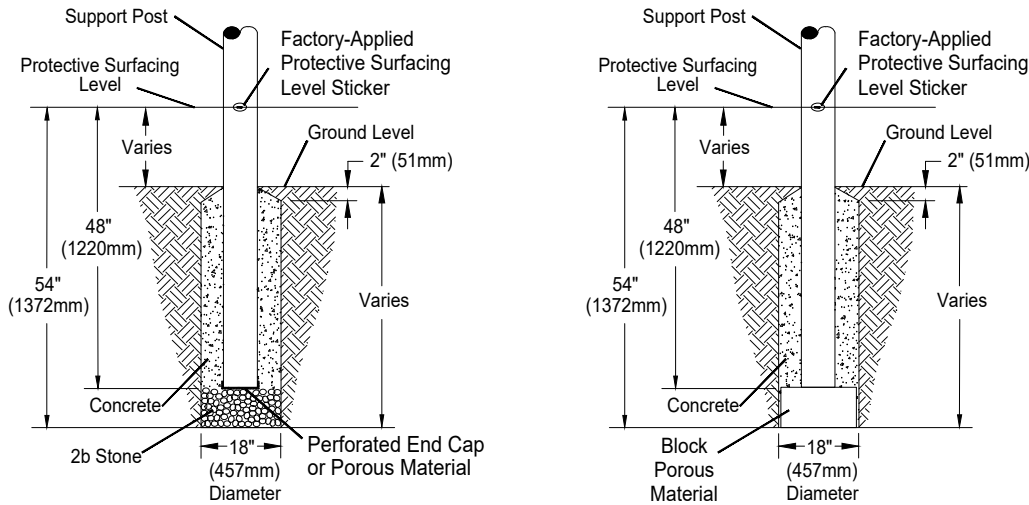


STONE OPTION OR BLOCK OPTION

When utilizing Post Extensions adjust depth of footing/concrete accordingly.

DETAIL 2

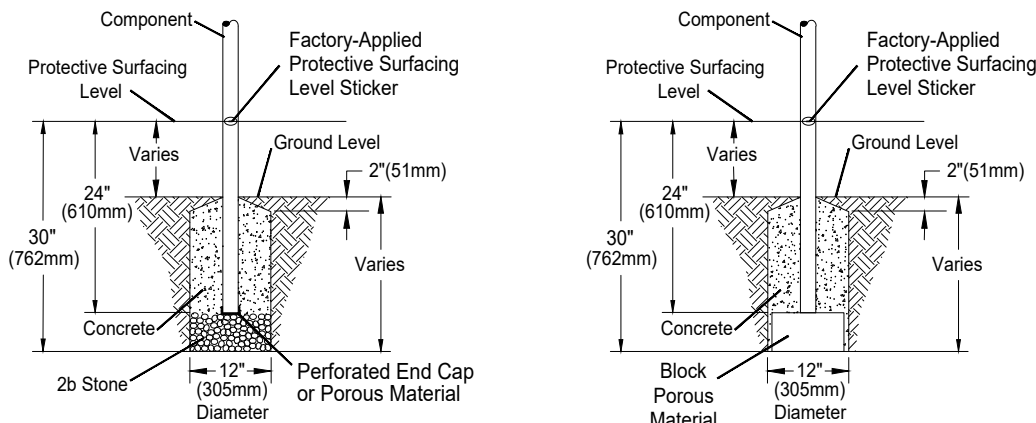
GroundZero, Cantilever and "T" Post Footing Detail



STONE OPTION OR BLOCK OPTION

DETAIL 3

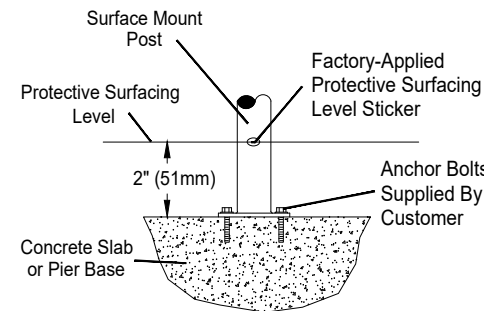
Component Footing Detail



STONE OPTION OR BLOCK OPTION

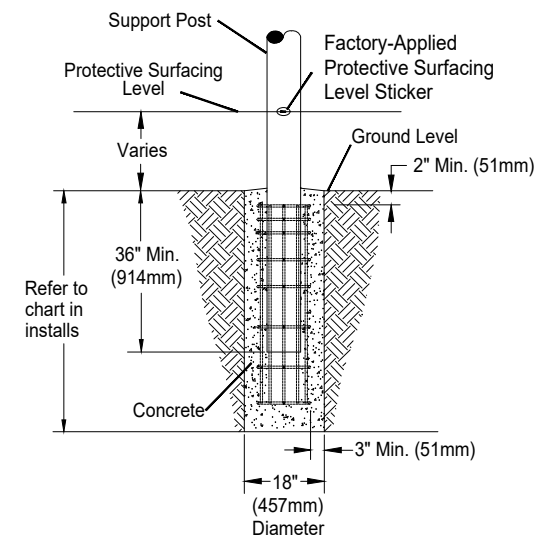
DETAIL 4

Surface Mount Detail



DETAIL 5

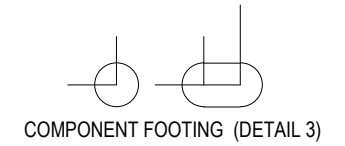
Shade Post Footing Detail



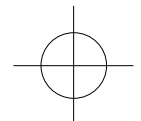
PLAYWORLD SYSTEMS, INC.

1000 Buffalo Road
Lewisburg, PA
17837-9795 USA

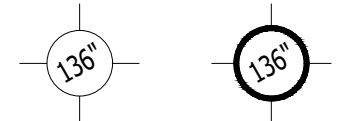
FOOTING LEGEND



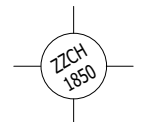
COMPONENT FOOTING (DETAIL 3)



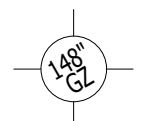
SPIRAL SLIDE CENTER POST FOOTING (DETAIL 1)



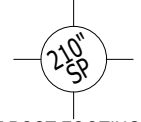
SUPPORT POST FOOTING (DETAIL 1 or 4)
(136" INDICATES POST LENGTH)
THICK BORDER INDICATES POST EXTENSION LOCATION



CANTILEVER, "T" POST, AND COMPONENT POST FOOTING (DETAIL 2)
(ZZCH1850 INDICATES PART NUMBER)



GROUND ZERO POST FOOTING (DETAIL 2)
(148" INDICATES POST LENGTH)



SHADE HAT POST FOOTING (DETAIL 5)
(210" INDICATES POST LENGTH)

SITE NOTES:

- 1) The site plan provided must be checked against the actual site area to ensure that placement of your structure meets required clearances.
- 2) The dimensions labeled are for location of footing holes, not exact placement of equipment. Assemble, plumb, and level equipment before pouring concrete.
- 3) There must be a minimum distance of 6' (1830mm) between any obstacle, sidewalk, etc., and your structure.
- 4) Slides must have a use zone that extends out from the lower exit section of the slide a distance that is at least 6' (1830mm) or equal to the vertical distance from the highest point of the sliding surface to the top of the protective surfacing, whichever is greater. The slide use zone should not extend greater than 8' (2438mm) from the end of the lower exit section.
- 5) The complete area, including the space under and around the equipment, must be covered with an impact attenuating material. See the 1997 publication, "Handbook for Public Playground Safety", published by the U.S. Consumer Product Safety Commission, for guidelines and recommendations on the type and depth of surfacing material. For a copy of the "Handbook for Public Playground Safety", write to: **U.S. Consumer Product Safety Commission, Office of Information and Public Affairs, Washington, D.C. 20207**

INSTALLATION NOTES:

- 1) Paved surfaces, such as asphalt and concrete, are not acceptable for use under your structure.
- 2) It is the consumer's responsibility to check with local utilities prior to excavating footings for any underground utility lines that may exist within the installation area.
- 3) It is the consumer's responsibility to check local soil conditions and drainage within the site area. Inquire with local contractors for appropriate recommendations.
- 4) If the structure is to be installed across uneven terrain, maintain the support post mark for protective surfacing level at the lowest grade. Adjust other footings accordingly.
- 5) The base of footings must be below frost lines.
- 6) Do not encase the bottom of support posts in concrete. Place all posts directly on packed stone.
- 7) Assemble the entire structure before pouring concrete unless specifically instructed to do so in the individual component installation instructions.
- 8) Read completely the installation instructions provided with your structure prior to beginning construction.

***PLAYGROUND SUPERVISION REQUIRED**

FOOTING DETAIL

SCALE:
NOT TO SCALE

DRAWN BY:
PW CAD

Paper Size

DATE:
18-NOV-20

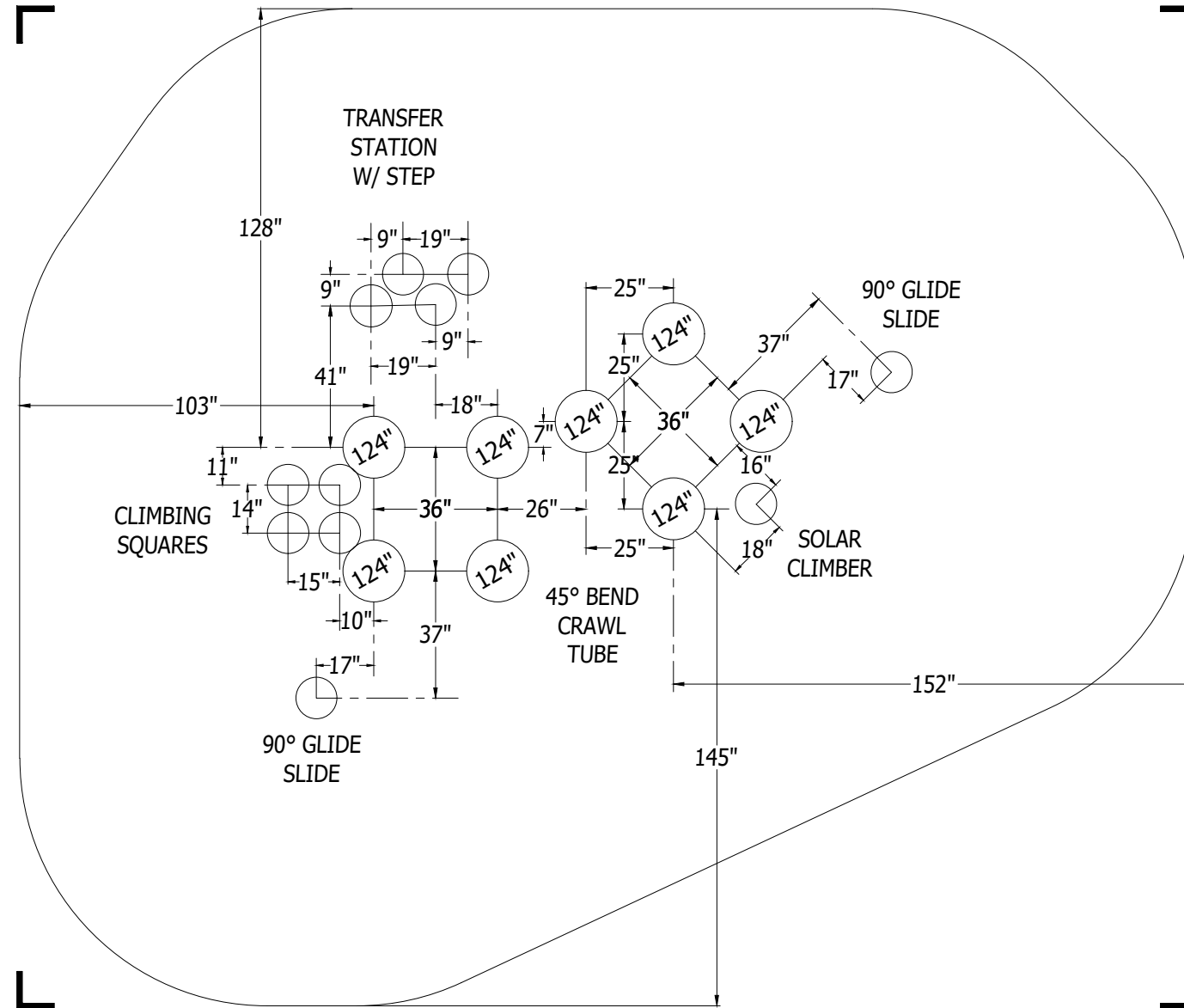
B

POST FOOTING DETAILS

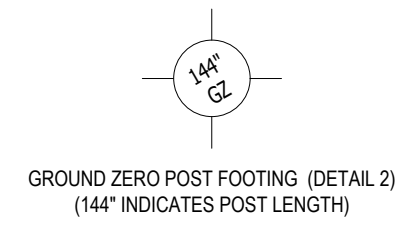
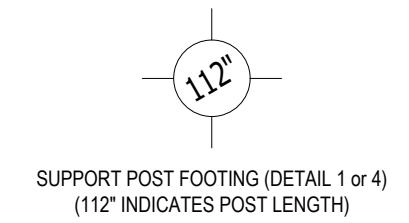
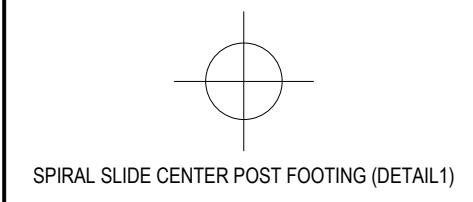
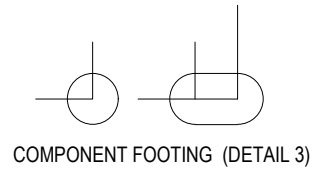
PLAYMAKERS / CHALLENGERS



PLAYWORLD SYSTEMS, INC.
 1000 Buffalo Road
 Lewisburg, PA
 17837-9795 USA



FOOTING LEGEND



PROJECT NO: 350-2221	SCALE: 1/4"=1'-0"
DRAWN BY: M. MERTZ	Paper Size B
DATE: 22-SEPT-23	

*PLAYGROUND SUPERVISION REQUIRED

TOT LOT
 CATALOG PRE-DESIGN

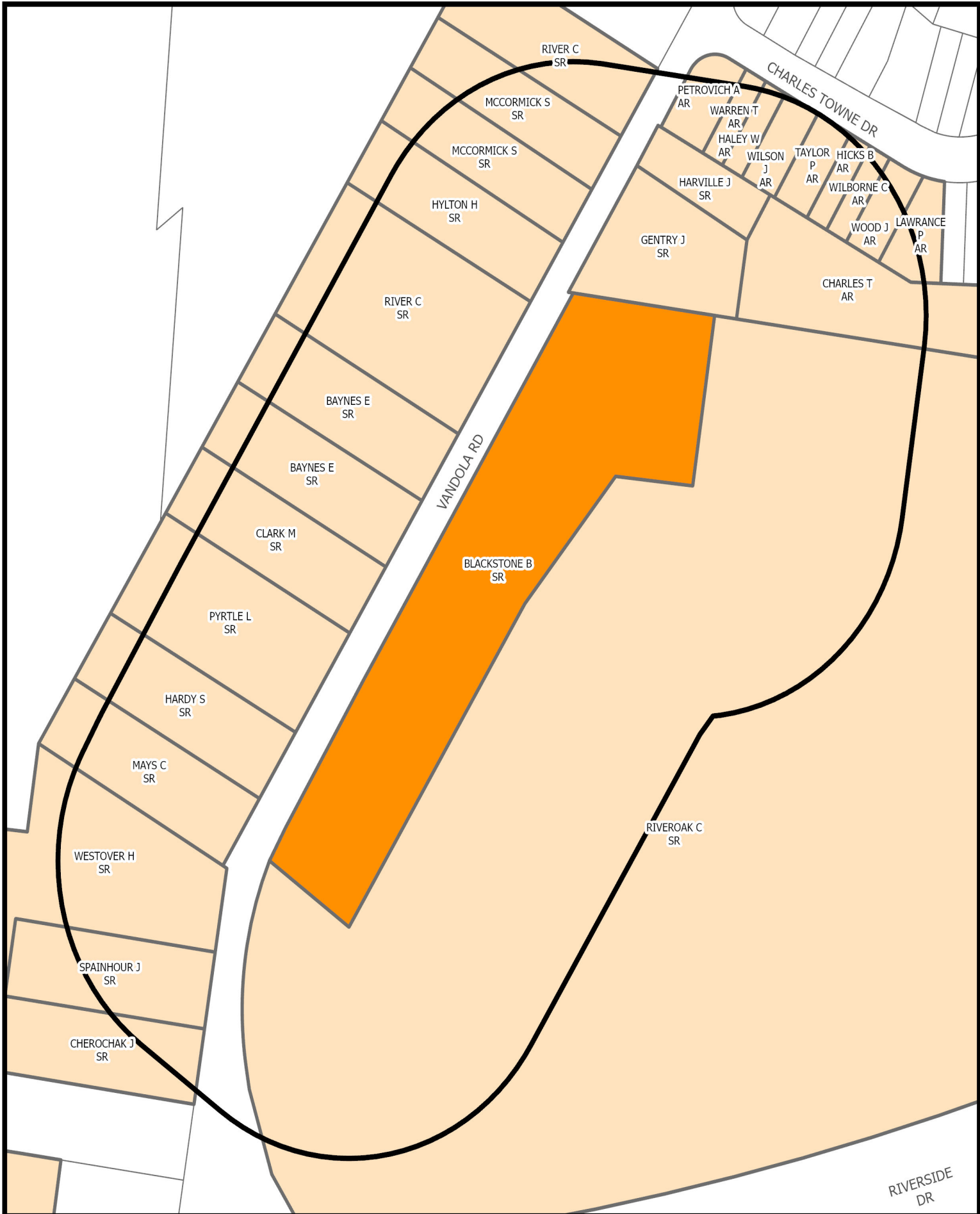


2025 AERIAL IMAGERY OF SUBJECT PROPERTY

Prepared by:
Planning Division
3/11/2025



Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.



SURROUNDING PROPERTY OWNERS AND ZONING WITHIN 300 FEET OF SUBJECT PROPERTY

Prepared by:
 Planning Division
 3/10/2025



Disclaimer: Information contained on this map is to be used for reference purposes only. The City of Danville is not responsible for any inaccuracies herein contained. The City of Danville makes no representation of warranty as to this map's accuracy, and in particular, its accuracy in labeling, dimensions, contours, property boundaries, or placement or location of any map features thereon. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein provided.

**PLANNING COMMISSION MINUTES
MARCH 10, 2025**

MEMBERS PRESENT

**Mr. Petrick
Mr. Dodson
Mr. Townes
Ms. Evans
Mr. Khan
Mr. Ranson**

MEMBERS ABSENT

Mr. Jones

STAFF

**Renee Burton
Cynthia Lester
Clarke Whitfield
Shanika Williams**

ITEMS FOR PUBLIC HEARING:

1. Rezoning application PZ25-00080 filed by Grevail LLC to rezone 1985 Blair Loop Road (Parcel 72915) from S-R Suburban Residential to M-R Multifamily Residential.

Mr. Petrick opened the Public Hearing.

Ms. McWilliams stated. Purchase the property a few months ago, doing some renovations and it was already set up to be a triplex it already had utilities since 2000. I have one tenant in there right now. I would love to expand the property and mirror what is done on the other side of Blair Loop Road to help with the housing crisis and continue my investment portfolio.

Mr. Dodson stated. Do you have any problem with parking, that would be required if this is approved?

Ms. McWilliams stated. Absolutely not we will most definitely have at least 2 parking spaces per unit. Making sure we abide by all parking regulations for the city, there wouldn't be anything out of compliance.

Mr. Ranson stated. So, you would build three similar units like the ones across the street?

Ms. McWilliams stated. Yes.

Mr. Townes stated. I see some homes in the back, how close would this be to that property?

Ms. McWilliams stated. It would be 10 feet away from any property line gated along the whole side. Whatever the law permits.

Ms. Burton stated. Rear yard setback requirement is 30 feet.

Ms. McWilliams stated. We will pull permits and get all that taken care of before we start building. Everything will be in line with the codes.

Ms. Evans stated. There are a lot of complaints from the neighbors indicating people parking on the road. Would you be opposed to us requiring that all parking be in the driveway and no parking on the road?

Ms. McWilliams stated. I'd be open to that but is that an issue right now?

Ms. Evans stated. Yes, from the property across the street that you will be mirroring.

McWilliams stated. Maybe I could try to build some visitor parking on the side. If there is enough space to offset that. There is a garage and a driveway for each of the units across the street. I will do anything to address the issues, and I don't want any problem with the neighbors. I don't want it to be a nuisance to anybody. We'll most definitely have adequate parking for each unit. And if it needed to be no off-street parking then that is what it will be.

Mr. Ranson stated. I have a question for staff, is on-street parking prohibited in this area?

Ms. Burton stated. It is not prohibited, however for development to a multi-family development, it is required that you provide at least 1 space per unit. So, she will need to be able to provide parking.

Mr. Ranson state. If the people that live there and have visitors, they can park on the street

Ms. Burton stated. It is not prohibited.

Ms. Gibbing stated. There are a lot of cars that are parking across the street, broken glass in the road. Are they building duplexes, apartment building or what is going in there? What we are in now is a townhouse.

Ms. Burton stated. There have been no plans submitted. It would be a rezoning to multi-family which would give them the opportunity to do either.

Ms. Gibbing stated. So, we don't know who's going to be moving in?

Ms. Burton stated. No.

Ms. Gibbing stated. So, is it going to be like Section 8?

Mr. Ranson stated. What difference does it make who is going to move in there?

Ms. Gibbing stated. It makes a great deal of difference, safety.

Mr. Ranson stated. Is statistics indicating that or is that just a feeling?

Ms. Gibbing stated. I'm just wondering.

Mr. Ranson stated. I'm wondering too.

Mr. Petrick stated. Depending on how she would be able to develop that with parking.

Ms. Burton stated. It would be no more than 5 that would be able to fit in that particular area. But I suspect probably 4 at this point, if she just does townhomes because you still have to allow room for parking.

Mr. Osborne stated. The other property was 31,000 square feet. That's about $\frac{3}{4}$ of an acre, not an acre. There is already a parking issue with the tenant that have moved in this property with on street parking.

Mr. Petrick stated. What are the problems?

Mr. Osborne stated. They park on the street. I have spoken to members of city council in the past. About having the street widen and prohibiting on street parking. These are county road they are not high-density street. The city has never upgraded these streets.

Ms. Ostrowski stated. I have been there for seven years. The streets are very narrow there is not room for on street parking. Safety issue for people that live there.

Ms. Mills stated. Blair Loop road was a very busy road, prior to any multi-family dwellings. At this address there is a sound ordinance being abused.

Mr. Dodson stated. Question for staff, is there anything we can do about on street parking is it prohibited or anything like that, widen the road, anything to help these people?

Ms. Burton stated. You can include in your motion that off-street parking which would be required as far as the development. Any on street parking that is blocking or causing any hindrance to traffic, I recommend conversation with the police department. They are the enforcement body for that. As far as this particular board, there's nothing particular that you could say or add to the rezoning motion.

Ms. Mills stated. Can they put a no parking sign so when it does happen something can be done about it?

Ms. Burton stated. Again, that would be law enforcement. I will send them an email after this meeting to let them know there are some concerns and then it would be up to them how they would enforce that.

Ms. Mills stated. I want to point out this is not personal toward anybody. This is just about safety.

Ms. Bandy stated. There seems to be a conglomeration of adults with a lot of cars, sometimes parked going the wrong way. My biggest concern is not so much right now, but what is going to happen.

Ms. McWilliams stated. There are 2 driveways at this property right now. I have a question is it prohibited from parking on the street right now?

Ms. Burton stated. It is not prohibited.

Ms. McWilliams stated. So, they are not breaking any law parking on the street.

Ms. Burton stated. No, they are not breaking the law.

Ms. McWilliams stated. I will definitely address the 5 a.m. noise today.

Ms. Evans stated. The persons renting 1985 is that a single family, related?

Ms. McWilliams stated. Yes, boyfriend, girlfriend and children.

Mr. Petrick stated. I have a question for staff, refresh me again was the property grandfathered in or it was used as a multi-family dwelling and zoned single family? What was the issue there?

Ms. Burton stated. That's correct, it is zoned single-family OTR, but it is developed as a triplex. The best we can tell at least since 2000 that's when we have been able to find utility records of three separate services into this structure.

Mr. Petrick stated. It's been used as a multi-family for several years.

Mr. Petrick closed the Public Hearing.

Mr. Ranson stated. One of the people stated that there are lots of undeveloped acres on Blair Loop Road, it is almost inevitable that some of those become developed. And they will come before this commission or somebody else and drag the same people out with the same complaints which are legitimate complaints. So, there is no plan to improve Blair Loop Road or is it? This seems to highlight to me that something needs to be done about Blair Loop Road.

Ms. Burton stated. There are no plans this time for any construction along Blair Loop Road. This particular rezoning knowing that with the townhome development, it would be no more than 4 would be the maximum. That would probably even be there and I'm not sure that will be the number that she will end on because of the topography or the parking, those types of things. So, it would not require a traffic impact analysis at this time as Blair Loop Road continues to develop. I believe we will probably be looking at that in the future.

Mr. Ranson stated. I understand what you are saying, and I appreciate that. It just seems as if it's going to be an ongoing situation.

Ms. Evans stated. Are you speaking if she goes with patio homes, which would be 8 families or 4 families 2 units.

Ms. Burton stated. 4 units would be the maximum in a townhome development.

Ms. Evans stated. I have concerns, again Mr. Ranson said more property will be developed and I think we need to put the horse before the cart and improve the road before we move forward.

Mr. Ranson made a motion to approve rezoning application PZ25-00080. Mr. Khan seconded the motion. The motion failed by a 3-3 vote and goes without lack of recommendation

2. Special Use Permit application PZ25-00160 filed by Kare Partners, LLC to allow uses permitted by right and by special use permit in the HR-C Highway Retail Commercial zoning district (Child Therapeutic Day Support Services) in accordance with Article 3.O Section C Item 15 at (Parcel 77074) 119 Cane Creek Boulevard.

Mr. Petrick opened the Public Hearing.

Ms. Lund, Ms. Jones and Ms. Galahar stated. We offer ABA, occupational, speech and physical therapy to children with special needs in this case ABA's primarily for children with autism. We offer to other children who may have any other need for these services.

Ms. Jones stated. All of our services are one-on-one meaning one tech to one learner, thus allowing the child to really grow. And also, over the course of time, we will bring 200 plus jobs to the community.

Ms. Galahar stated. We are coming in as we do upfits in the building, we want to work with some local contractors, painters, anyone we can get. So, we did have some initial meetings with them already and also signage. We are hoping down the road also, we will have some partnerships and collaboration with some local business entrepreneurs in the city that need some space that we can work.

Mr. Petrick stated. Do you anticipate as far as your staffing what percentage of people are being brought in from other areas?

Ms. Jones stated. None, we are trying to get all local people.

Mr. Townes stated. I noticed there are a few facilities that kind of do what you are doing, have you all collaborated with them or had any conversation with the ones that already here.

Ms. Jones stated. We have met one therapist from the area. But we haven't had the opportunity to collaborate, but we're definitely looking forward to doing that.

Mr. Petrick stated. I think the word has gotten out and for those families who are in need of your services they are very much looking forward to you locating here because they are having to go out of town to receive these services.

Mr. Petrick closed the Public Hearing.

Ms. Evans made a motion to approve application PZ25-00160. Mr. Dodson seconded the motion. The motion was approved by a 6-0 vote.

Mr. Petrick stated. We have 2 items not for public hearing.

1. Right of way dedication for Memorial Drive

Mr. Dodson made a motion to approve the Right of Way on Memorial Drive. Ms. Evan seconded the motion. The motion was approved by a 6-0 vote.

2. Plat review encompassing Parcels #70631 & 70609 on Pine Crest Drive

Ms. Evans made a motion to approve subdivision plats on Pinecrest Drive. Mr. Khan seconded the motion. The motion was approved by a 6-0 vote.

PLANNING DIRECTOR'S REPORT

Ms. Burton introduced the new Associated Planner Stefanie Jackson to the team.

MINUTES

The February 10, 2025, minutes were approved by unanimous vote.

With no further business, the meeting adjourned at 2:56 p.m.

s/Cynthia Lester

APPROVED